



Application for Conditional Use Permit

Applicant Name: Batten International Airport

Address: 3239 N Green Bay Road

City: Racine

State: WI Zip: 53404

Telephone: (262) 631-5620

Cell Phone:

Email: tsandberg@battenairport.aero

Agent Name: Anderson Ashton - Jaime Vega

Address: 2746 S 166th St

City: New Berlin

State: WI Zip: 53151

Telephone: (262) 786-4640

Cell Phone: (414) 659-3252

Email: jvega@andersonashton.com

Property Address (Es): 3239 N Green Bay Road Racine WI 53404

Current Zoning: Airport

Current/Most Recent Property Use: Airport

Proposed Use: Airport





The application will be evaluated using the standards of Sec. 114-154 of the Municipal Code (below). Please use the space to justify and explain how your proposal addresses these conditions; use an additional sheet if necessary.

- (1) The establishment, maintenance, or operation of the conditional use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare;

It is an airplane hangar at an airport which is consistent with property use.

- (2) The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

No, it will enhance that underutilized location which currently stores 2 old abandoned cargo planes that will be removed as a result of this proposal.

- (3) The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;

No, consistent with approved property use.

- (4) Adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided;

Yes, As well as life safety (access for emergency equipment the addition of a hydrant.)

- (5) Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;

Secured entrance limits access to authorized personnel only and new hangar is private with it's own access road.

- (6) The proposed conditional use is not contrary to the objectives of the current land use plan for the city; and

Consistent with the it's approved use.

- (7) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the plan commission.

Acknowledged.





If the required supplemental materials, which constitute a completed application, are not submitted, the application will not be processed.

Required Submittal Format

1. An electronic submission via email/USB drive/CD/Download link; and
2. One (1) paper copy, no larger than 11” x 17” size.

Required Submittal Item	Applicant Submitted	City Received
1. Conditional Use Review Application	<input checked="" type="checkbox"/>	
2. Written description of project, including: <ol style="list-style-type: none"> a. Hours of operation b. Anticipated delivery schedule c. Maintenance plan d. General use of the building and lot 	<input checked="" type="checkbox"/>	
3. Site Plan (drawn to scale), including: <ol style="list-style-type: none"> a. Fully dimensioned property boundary b. All buildings (existing and proposed) c. Setbacks from property lines d. Identification as to whether all elements are “Existing” or “Proposed” e. Dimensioned parking spaces and drive aisle layout f. Trash enclosure location and materials g. Loading spaces h. Fire hydrant locations i. Location of signage, with setbacks 	<input checked="" type="checkbox"/>	
4. Zoning Analysis Table <ol style="list-style-type: none"> a. Land area (in acres and square feet) b. Building area (in square feet) c. Setbacks (required yards in feet) d. Floor Area Ratio (building area divided by lot area) e. Lot Coverage (building footprint divided by lot area) f. Height of all buildings and structures g. Percentage of greenspace (landscaped areas divided by lot area) h. Parking spaces 	<input checked="" type="checkbox"/>	
5. Landscape Plan <ol style="list-style-type: none"> a. Bufferyards b. Parking Areas c. Screening and fencing locations d. Plant lists including the following: Latin and Common Names, Number of each planting material, and Size at planting. 	<input checked="" type="checkbox"/>	





DEPARTMENT OF CITY DEVELOPMENT



Required Submittal Item	Applicant Submitted	City Received
6. Lighting Plan a. Location of light fixtures b. A cut sheet of light fixtures with indication of cut-offs or shielding c. Illumination diagram indicating intensity of lighting on the property.	<input checked="" type="checkbox"/>	
7. Floor Plan a. Preliminary floor plan layout of all buildings/structures b. Labels for the type of use of the area c. Labels for square footage of the area	<input checked="" type="checkbox"/>	
8. Engineering Plan a. Stormwater Plan (Drainage pattern, flow, detention) b. Existing and proposed roadway and access configurations c. Cross access	<input checked="" type="checkbox"/>	
9. Signage Plan a. dimensioned color elevations of signage b. A diagram showing the location of the proposed signage	<input checked="" type="checkbox"/>	
10. Building/site elevations (if new building or exterior changes planned) a. Building elevations showing all four sides of the buildings in color b. Elevation of trash enclosure area	<input checked="" type="checkbox"/>	
11. Building Material Samples (if making exterior changes)	<input checked="" type="checkbox"/>	
12. Review Fee	<input checked="" type="checkbox"/>	

Acknowledgement and authorization signatures

A conditional use is not like a building permit; applying does not mean it will be approved.

The approval may contain conditions related to the improvement of the site which must be met prior to the issuance of a building occupancy permit. Conditions related to the operational aspect(s) of the business must be complied with at all times. That, in the event site improvement work required by ordinance cannot be completed prior to desired occupancy, a financial assurance, at 100% of the improvement estimate, guaranteeing completion of the required improvements must be placed on file with the City of Racine. Estimates and Assurance documents are subject to the review and final approval by the City. Improvements may include but are not limited to landscaping, fencing, lighting, pavement surfacing and sealing, dumpster enclosures, and exterior building improvements;

The signature(s) hereby certify that the statements made by myself and constituting part of this application are true and correct. I am fully aware that any misrepresentation of any information on this application may be grounds for denial of this application.

Owner Signature (acknowledgement and authorization) *Don Sankary* Date: 4/25/2024

Applicant Signature (acknowledgement): *[Signature]* Date: 4/25/24



FRONT RIGHT VIEW

BATTEN INT'L AIRPORT - CORPORATE HANGAR

3239 N GREEN BAY RD
RACINE, WI 53404



BACK RIGHT VIEW

SYMBOLS OF MATERIALS			
	EARTH		GYPSUM BOARD
	GRAVEL		STEEL
	CONCRETE		CAST STONE
	CONCRETE MASONRY UNIT		BATT INSULATION
	BRICK		RIGID INSULATION
	WOOD ROUGH		ALL METALS - SMALL SCALE
	PLYWOOD		

DRAWING KEY	
	GRID LINES
	SECTIONS
	CALLOUTS
	ELEVATIONS
	ROOM NAME
	ROOM NUMBER
	DOOR NO. ON PLAN
	REVISION NO.
	WALL TYPE

DRAWING INDEX	
A-SITE	
AS01	ARCHITECTURAL SITE PLAN (SCHEME 1)
ARCHITECTURAL	
A101	PLANS
A111	REFLECTED CEILING PLAN
A121	ROOF PLAN
A200	ELEVATIONS
ELECTRICAL	
E-5-0	SITE PHOTOMETRIC PLAN

OWNER MAILING ADDRESS	
CLIENT NAME	
ORGANIZATION NAME	
OWNER MAILING ADDRESS	

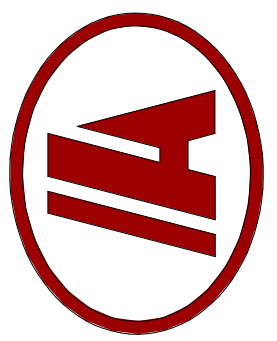
SUPERVISING PROFESSIONAL		PROFESSIONAL STAMP & DATE
THESE PLANS ARE THE SOLE PROPERTY OF ANDERSON-ASHTON, INC. AND SHALL NOT BE COPIED OR USED BY ANY COMPANY OR INDIVIDUALS UNLESS SPECIFICALLY AUTHORIZED BY THE FOLLOWING SUPERVISING PROFESSIONAL LISTED BELOW:		
ROBERT R. STENSBERG, #12238-5		
NADINE LOVE-FILER, #34212-6		
2746 S. 166th STREET NEW BERLIN, WI 53151		

PLAN REVISIONS		
REV	DESCRIPTION	DATE

VICINITY MAP		

DRAFTED BY: MFP	
DESIGNER: RRS	
ISSUE: 4/26/2024 11:10:45 AM	
SUBMITTAL DATE: XX-XX-XX	
DESIGN NO. 4059	
CONSTRUCTION NO. ###	

ANDERSON
ASHTON
DESIGN / BUILD
2746 South 166th Street
New Berlin, WI 53151
Phone: (262) 786-4640
WWW.ANDERSONASHTON.COM

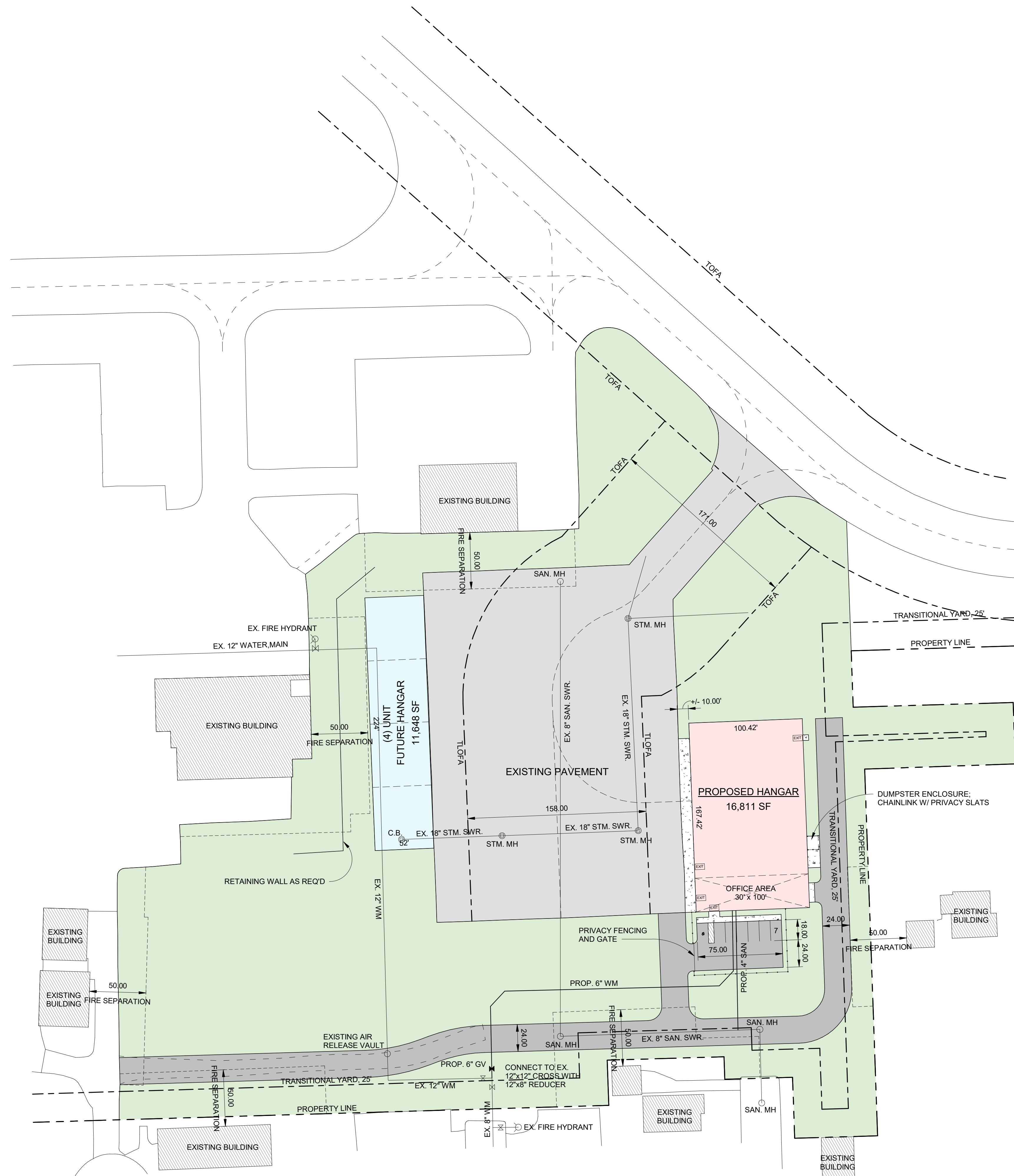


PROPOSED NEW BUILDING FOR:
BATTEN INT'L AIRPORT - CORPORATE HANGAR
3239 N GREEN BAY RD
RACINE, WI 53404

DRAFTED BY: MFP
DESIGNER: RRS
ISSUE: 4/26/2024 11:10:45 AM
SUBMITTAL DATE: XX-XX-XX
DESIGN NO. 4059
CONSTRUCTION NO. ###

T101

COPYRIGHT PROTECTED 2022



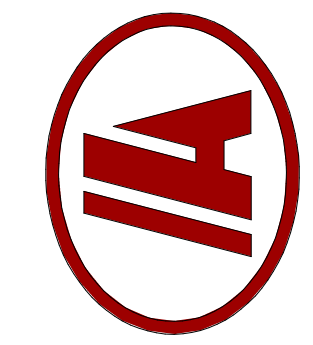
ZONING	
ZONED:	I-2
MIN. BUILDING SETBACKS (FT):	TRANSITIONAL YARD: 25' TOFA: 171' TLOFA: 158'
MAX. BUILDING HEIGHTS (FT):	PRINCIPAL BUILDING: 50'

SITE STATISTICS	
NAME	AREA
FUTURE HANGAR	11,648 SF
LANDSCAPE	7,400 SF
PAVEMENT	27,522 SF
PROPOSED CONCRETE	2,346 SF
PROPOSED HANGAR	16,811 SF

- AREAS**
- EXISTING PAVEMENT
 - FUTURE HANGAR
 - LANDSCAPE
 - PAVEMENT
 - PROPOSED CONCRETE
 - PROPOSED HANGAR

REVISIONS

ANDERSON ASHTON DESIGN / BUILD
2746 South 168th Street
New Berlin, WI 53151
Phone: (262) 786-4640
WWW.ANDERSONASHTON.COM



PRELIMINARY NOT FOR CONSTRUCTION

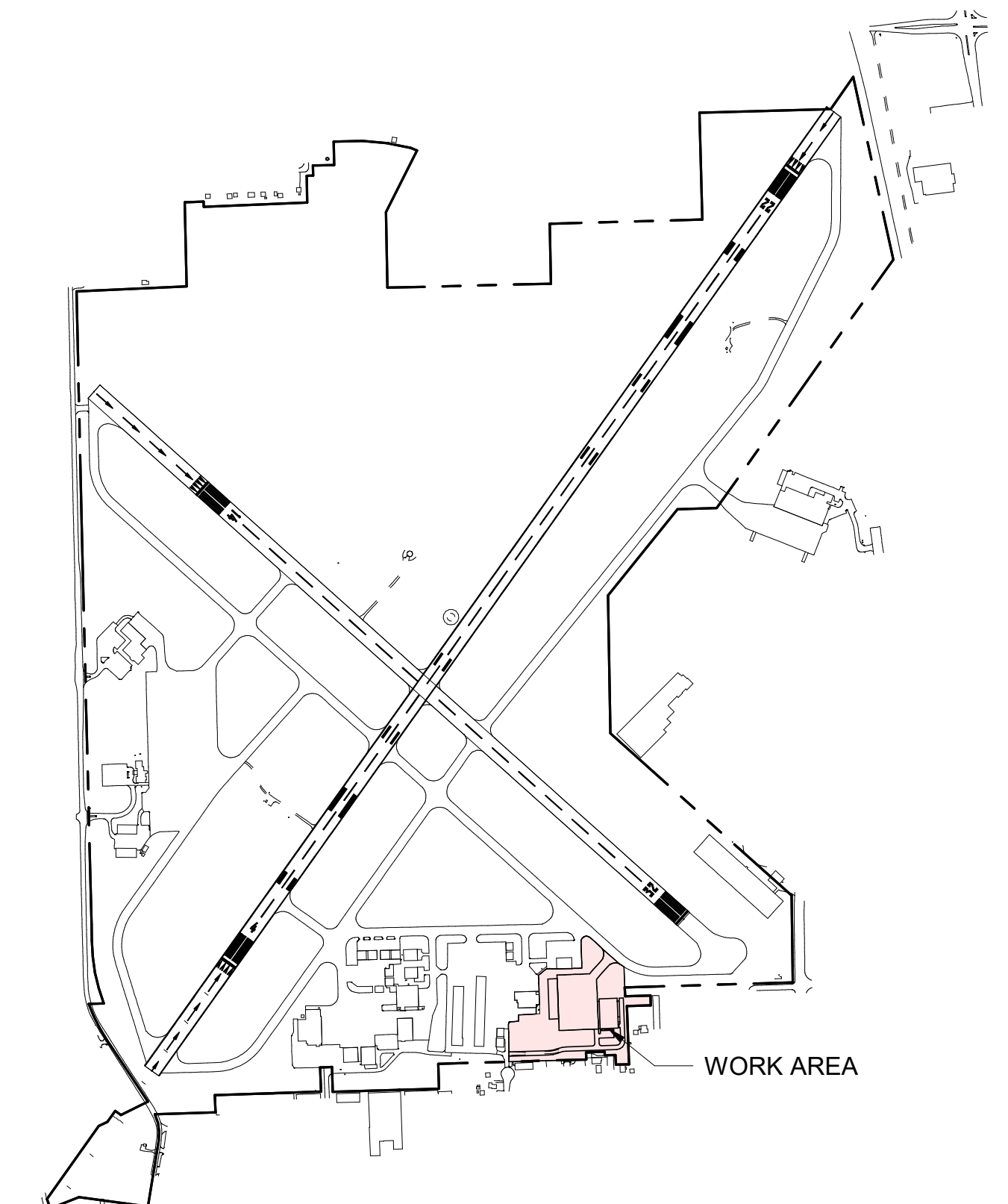
PROPOSED NEW BUILDING FOR:
**BATTEN INT'L AIRPORT -
CORPORATE HANGAR**

3239 N GREEN BAY RD
RACINE, WI 53404

DRAFTED BY: MFP
DESIGNER: RRS
ISSUE 4/26/2024 11:13:11 AM
SUBMITTAL DATE XX-XX-XX
DESIGN NO. 4059
CONSTRUCTION NO. ###

ARCHITECTURAL SITE PLAN (SCHEME 1)

AS01



KEY PLAN

1 PRELIMINARY ARCHITECTURAL SITE PLAN
1" = 50'-0"

COPYRIGHT PROTECTED 2023

WALL SCHEDULE							
TYPE MARK	DESCRIPTION	STUD SIZE	STUD HEIGHT	WALL INSULATION TYPE	FIRE RATING	TESTING AGENCY	REMARKS
1A	5/8" GWB BOTH SIDES	3 5/8"	10' - 0" A.F.F.	SOUND BATT	--	--	--
1B	5/8" GWB BOTH SIDES	6"	10' - 0" A.F.F.	SOUND BATT	--	--	--
1C	5/8" GWB BOTH SIDES	6"	EXTEND TO ROOF PANEL	SOUND BATT	--	--	--
2A	(2) 5/8" GWB BOTH SIDES	3 5/8"	10' - 0" A.F.F.	SOUND BATT	2 HR	--	--

FLOOR PLAN LEGEND

ROOM

- 100 ROOM NUMBER
- 100 DOOR NUMBER
- EX EXISTING DOOR TO REMAIN NUMBER
- # PARTITION TYPE
- PLAN NOTES
- SURFACE MOUNTED FIRE EXTINGUISHER
- F.E.
- EXIT / EXIT DISCHARGE TO A PUBLIC WAY

EXIT

- EXIT LIGHT
- INDICATES 1-HOUR CONSTRUCTION
- NEW CONSTRUCTION
- NEW DOOR & FRAME
- EXISTING DOOR & FRAME TO REMAIN
- 5" CONCRETE FILLED GALVANIZED BOLLARD W/ YELLOW COVERS

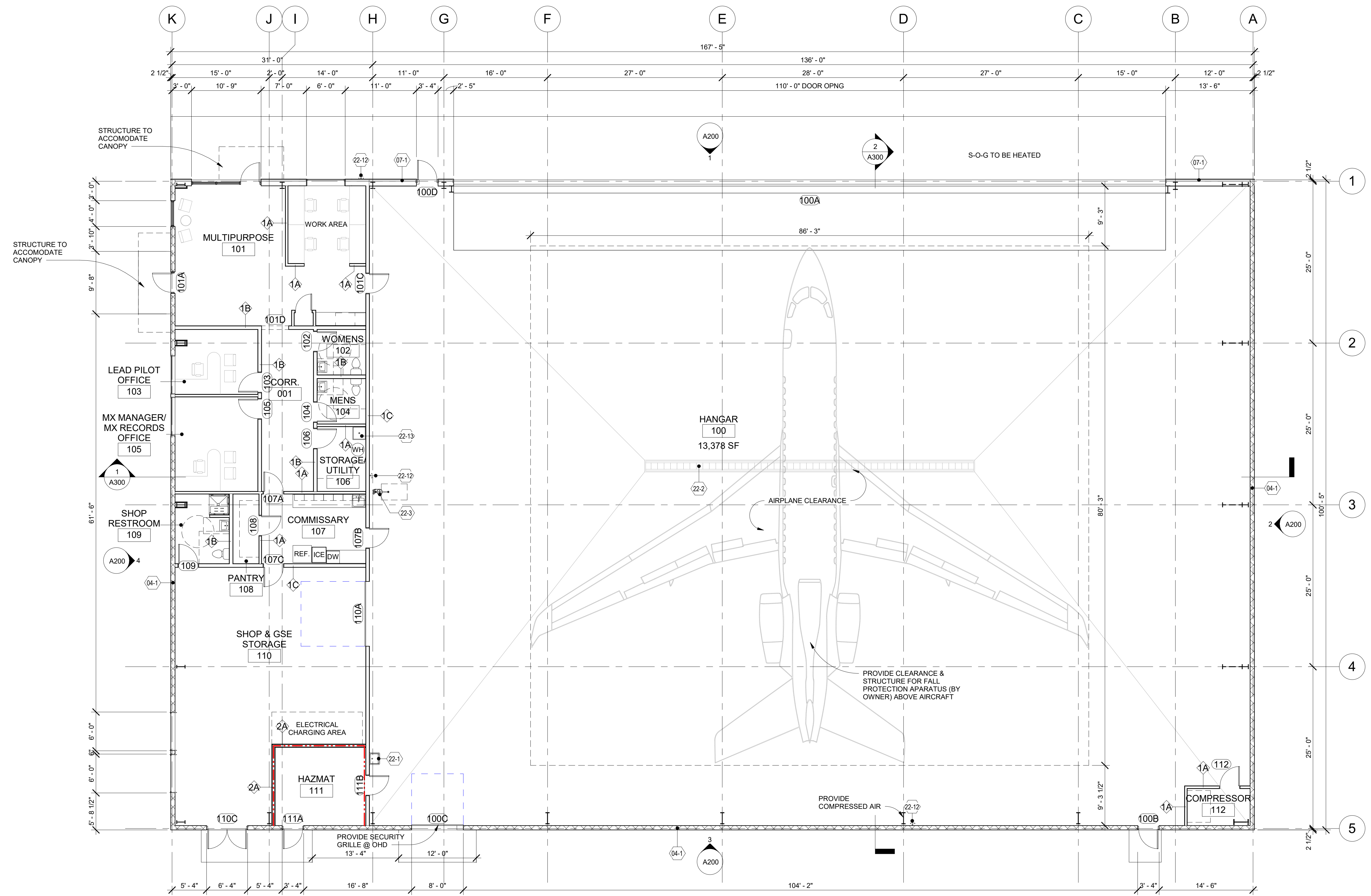
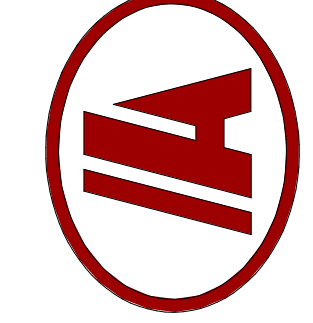
KEYNOTE LEGEND

TAG	DESCRIPTION
04-1	4' - 0" H. SMOOTH FACE CONCRETE MASONRY UNIT (CMU) WAINSCOT; 8" THICK; PERLITE INSULATION R-5.68; BURNISHED OR INTEGRAL COLOR (COLOR: ECHELON IRONWOOD OR APPROVED OTHER)
07-1	SHADOWALL EX WALL PANEL (BMC); 8" SINGLE LAYER BLANKET INSULATION R-25; DARK BRONZE
22-1	UTILITY SINK
22-2	TRENCH DRAIN TIED INTO OIL/WATER SEPARATOR
22-3	EMERGENCY SHOWER/EYEWASH STATION
22-12	HOSE BIBB (PROVIDE ANTI-FREEZE HOSE BIBB AT EXTERIOR APPLICATIONS)
22-13	FLOOR MOUNTED MOP BASIN

REVISIONS

THIS IS A SCHEMATIC DRAWING. NOT A WORKING DRAWING. ANDERSON ASHTON IS NOT RESPONSIBLE FOR DIMENSIONS, CONSTRUCTION DETAILS, ENGINEERING DESIGN, REGULATORY APPROVALS, OR LOCAL, STATE, OR FEDERAL REQUIREMENTS. IT IS HIGHLY RECOMMENDED THAT A LOCAL ARCHITECT BE ENGAGED TO DEVELOP CONTRACT DOCUMENTS BASED ON THESE SCHEMATIC DRAWINGS AND CORRESPONDING OUTLINE SPECIFICATIONS. ANDERSON ASHTON SHALL NOT BE RESPONSIBLE FOR ANY LEGALLY BINDING CONTRACTS OR AGREEMENTS DEVELOPED BY ARCHITECTS OR BE DEVELOPED IN A CONTRACTUAL AGREEMENT.

ANDERSON ASHTON
DESIGN / BUILD
2746 South 168th Street
New Berlin, WI 53151
Phone: (262) 786-4640
WWW.ANDERSONASHTON.COM



PRELIMINARY NOT FOR CONSTRUCTION

PROPOSED NEW BUILDING FOR:
BATTEN INT'L AIRPORT - CORPORATE HANGAR

3239 N GREEN BAY RD
RACINE, WI 53404

DRAFTED BY: MFP
DESIGNER: RRS
ISSUE 4/26/2024 11:11:14 AM
SUBMITTAL DATE XX-XX-XX
DESIGN NO. 4099
CONSTRUCTION NO. ###

PLANS

A101

1 FLOOR PLAN
1/8" = 1'-0"

COPYRIGHT PROTECTED 2022

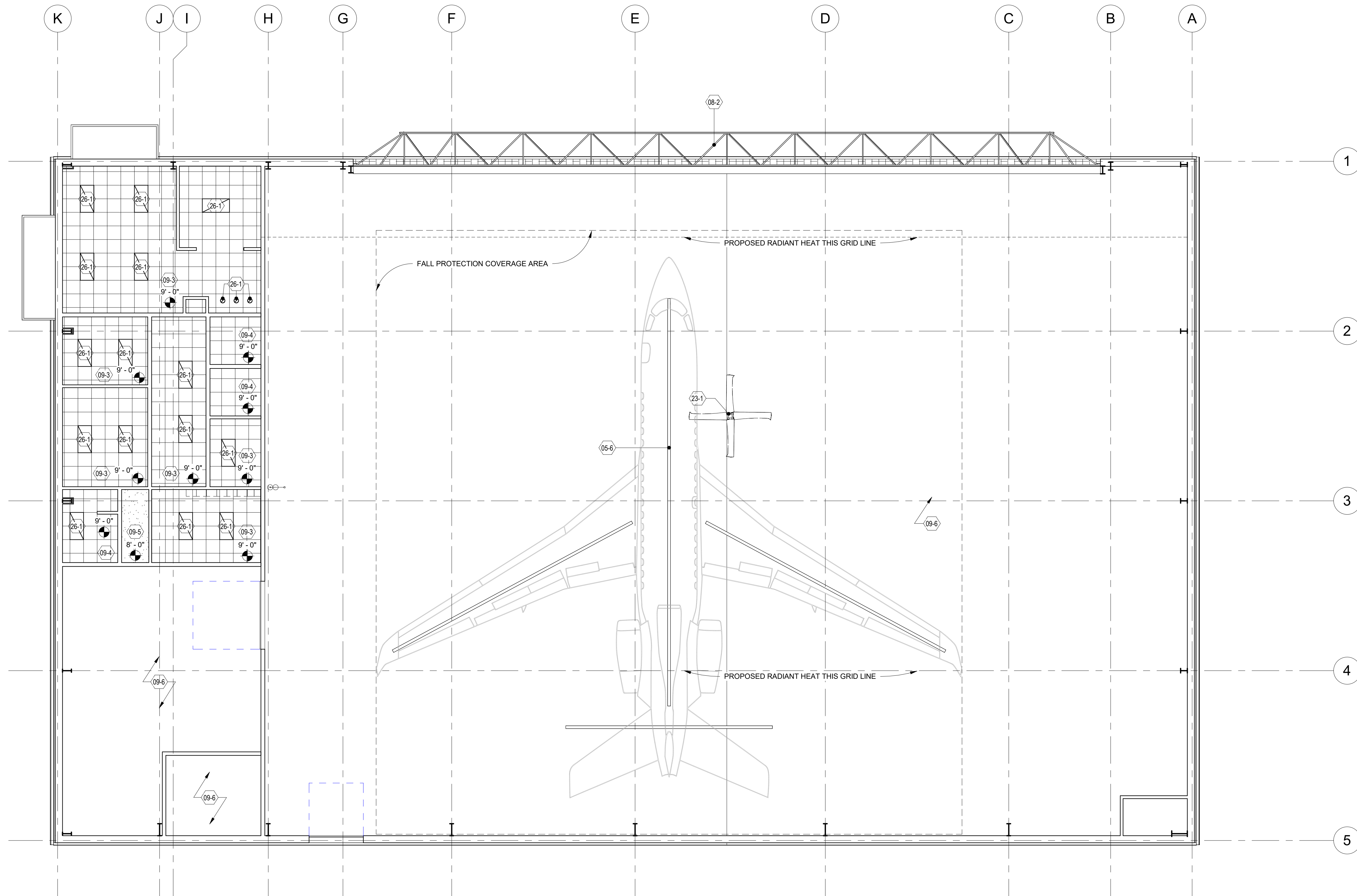
KEYNOTE LEGEND	
TAG	DESCRIPTION
05-6	FALL PROTECTION
08-2	HIGHER POWER HANGAR DOOR; 110' x 30'; FACTORY FINISHED; DARK BRONZE
09-3	ACOUSTICAL CEILING TILE; 5/8"; 2X2 WHITE METAL GRID
09-4	VINYL FACED DRYWALL TILE; 2X2 WHITE ALUMINUM GRID
09-5	TYPE "X" GYPSUM CEILING
09-6	EXPOSED STRUCTURE ABOVE
23-1	RITEHITE HVLS FAN
26-1	LIGHT FIXTURES SHOWN FOR REFERENCE ONLY. SEE ELECTRICAL DRAWINGS FOR FINAL DESIGN, EMERG. EGRESS LIGHTING, AND TYPES AND LOCATIONS OF LIGHT FIXTURES - TYP.

GENERAL CEILING NOTES:

1. EXPOSED TO STRUCTURE WHERE NO CEILING MATERIAL IS SPECIFIED
2. REFER TO ROOM FINISH SCHEDULE FOR CEILING MATERIALS AND FINISHES

ELECTRICAL NOTES

1. ELECTRICAL CONTRACTOR RESPONSIBLE FOR CODE COMPLIANT (IBC 1008) EXIT LIGHTING - A SET OF COMPLETE EXIT LIGHTING BY ELECTRICAL CONTRACTOR TO REMAIN ON SITE DURING CONSTRUCTION

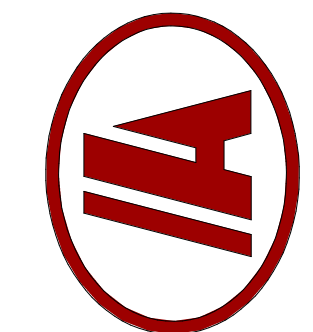


1 REFLECTED CEILING PLAN
1/8" = 1'-0"

REVISIONS

THIS IS A SCHEMATIC DRAWING, NOT A WORKING DRAWING. ANDERSON ASHTON IS NOT RESPONSIBLE FOR DIMENSIONS, CONSTRUCTION DETAILS, ENGINEERING DESIGN, REGULATION, LOCAL CODES, OR NORMALLY ASSUMED CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION AND DOCUMENTS. IT IS HIGHLY RECOMMENDED THAT A LOCAL ARCHITECT BE ENGAGED TO DEVELOP CONTRACT DOCUMENTS BASED ON THESE SCHEMATIC DRAWINGS AND CORRESPONDING OUTLINE SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

ANDERSON ASHTON
DESIGN / BUILD
2746 South 168th Street
New Berlin, WI 53151
Phone: (262) 786-4640
WWW.ANDERSONASHTON.COM



PRELIMINARY NOT FOR CONSTRUCTION

PROPOSED NEW BUILDING FOR:

**BATTEN INT'L AIRPORT -
CORPORATE HANGAR**

3239 N GREEN BAY RD
RACINE, WI 53404

DRAFTED BY: MFP
DESIGNER: RRS
ISSUE 4/26/2024 11:11:30 AM
SUBMITTAL DATE XX-XX-XX
DESIGN NO. 4059
CONSTRUCTION NO. ###

REFLECTED CEILING PLAN

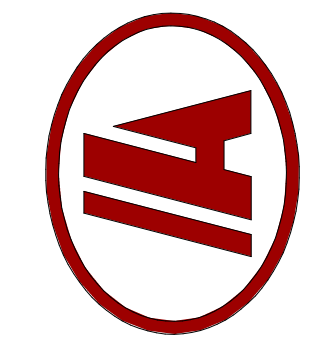
A111

COPYRIGHT PROTECTED 2022

KEYNOTE LEGEND	
TAG	DESCRIPTION
07-2	MR-24 ROOF PANEL (BMC); TBS INSULATION SYSTEM (THERMAL SPACER BLOCKS + 6" TOP LAYER + 9" BOTTOM LAYER) R-49; MEDIUM BRONZE
07-4	PREFINISHED GABLE TRIM - 26 GA. PREFINISHED METAL TRIM (BMC); DARK BRONZE
07-5	PREFINISHED GUTTER/DOWNSPOUT - 26 GA. 4" NARROW GUTTER (BMC); 26 GA. 4" DOWNSPOUTS (BMC); DARK BRONZE

REVISIONS

THIS IS A SCHEMATIC DRAWING. NOT A WORKING DRAWING. ANDERSON ASHTON IS NOT RESPONSIBLE FOR DIMENSIONS, CONSTRUCTION DETAILS, ENGINEERING DESIGN, REGULATION COMPLIANCE, OR LOCAL PERMITS. ENGINEERS AND ARCHITECTS SHOULD VERIFY ALL DIMENSIONS AND REQUIREMENTS WITH LOCAL PERMITS. IT IS HIGHLY RECOMMENDED THAT A LOCAL ARCHITECT BE ENGAGED TO DEVELOP CONTRACT DOCUMENTS BASED ON THESE SCHEMATIC DRAWINGS AND CORRESPONDING OUTLINE SPECIFICATIONS. THE DRAWING IS FOR INFORMATION ONLY AND DOES NOT REPRESENT A CONTRACT. CONTRACTORS AND ARCHITECTS SHOULD BE DEVELOPED IN A CONTRACTUAL AGREEMENT.



ANDERSON ASHTON
DESIGN / BUILD
2746 South 168th Street
New Berlin, WI 53151
Phone: (262) 786-4640
WWW.ANDERSONASHTON.COM

PRELIMINARY NOT FOR CONSTRUCTION

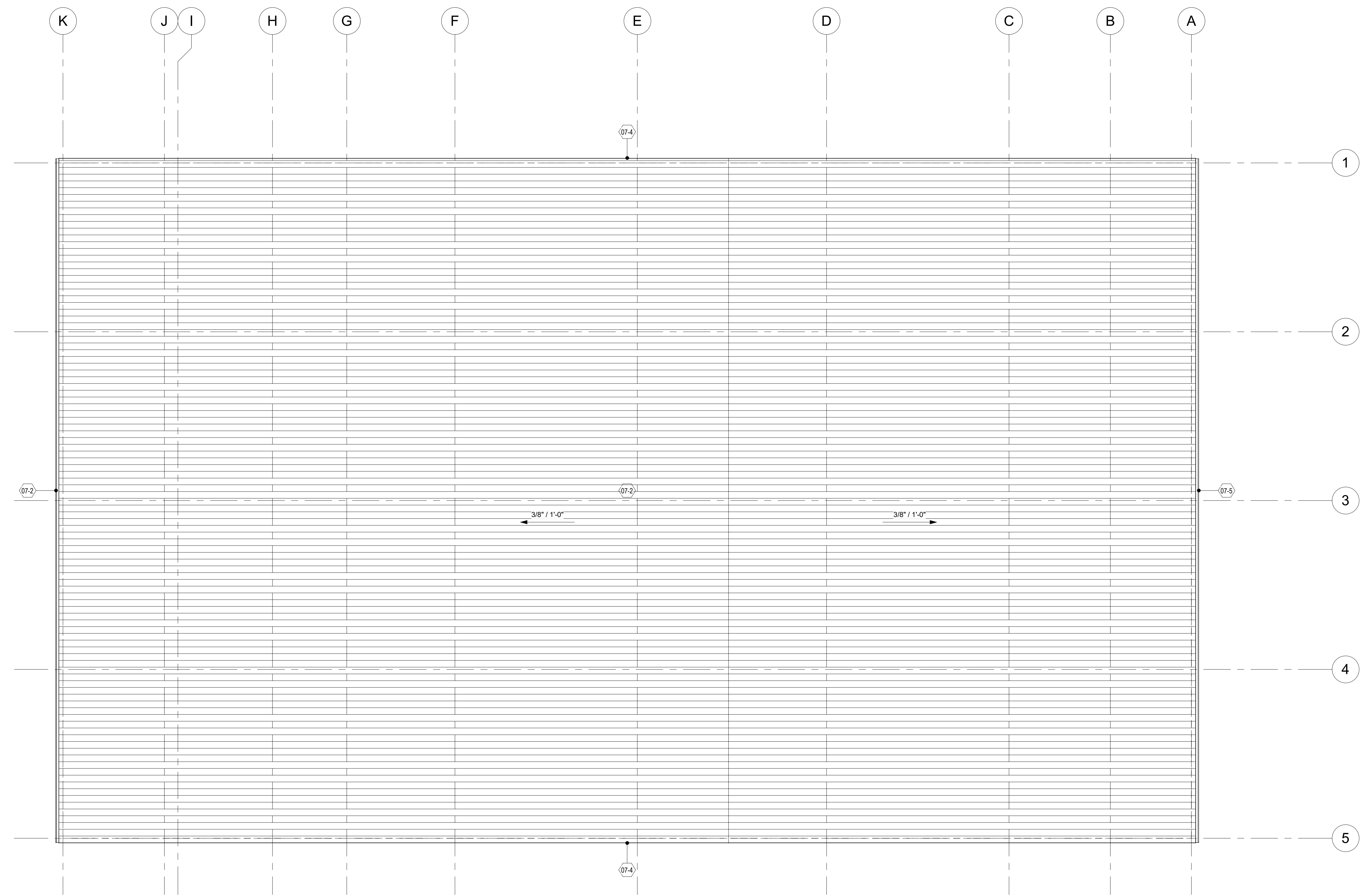
PROPOSED NEW BUILDING FOR:
**BATTEN INT'L AIRPORT -
CORPORATE HANGAR**

3239 N GREEN BAY RD
RACINE, WI 53404

DRAFTED BY: MFP
DESIGNER: RRS
ISSUE 4/26/2024 11:12:25 AM
SUBMITTAL DATE XX-XX-XX
DESIGN NO. 4059
CONSTRUCTION NO. ###

ROOF PLAN

A121



1 ROOF PLAN
1/8" = 1'-0"

THIS IS A SCHEMATIC DRAWING. NOT A WORKING DRAWING. ANDERSON ASHTON IS NOT RESPONSIBLE FOR DIMENSIONS, CONSTRUCTION DETAILS, ENGINEERING DESIGN, REGULATION COMPLIANCE, OR LOCAL PERMITS. ENGINEERS AND ARCHITECTS SHOULD VERIFY ALL DIMENSIONS AND REQUIREMENTS WITH LOCAL PERMITS. IT IS HIGHLY RECOMMENDED THAT A LOCAL ARCHITECT BE ENGAGED TO DEVELOP CONTRACT DOCUMENTS BASED ON THESE SCHEMATIC DRAWINGS AND CORRESPONDING OUTLINE SPECIFICATIONS. THE DRAWING IS FOR INFORMATION ONLY AND DOES NOT REPRESENT A CONTRACT. CONTRACTORS AND ARCHITECTS SHOULD BE DEVELOPED IN A CONTRACTUAL AGREEMENT.

ANDERSON ASHTON
DESIGN / BUILD
2746 South 168th Street
New Berlin, WI 53151
Phone: (262) 786-4640
WWW.ANDERSONASHTON.COM



PRELIMINARY NOT FOR CONSTRUCTION

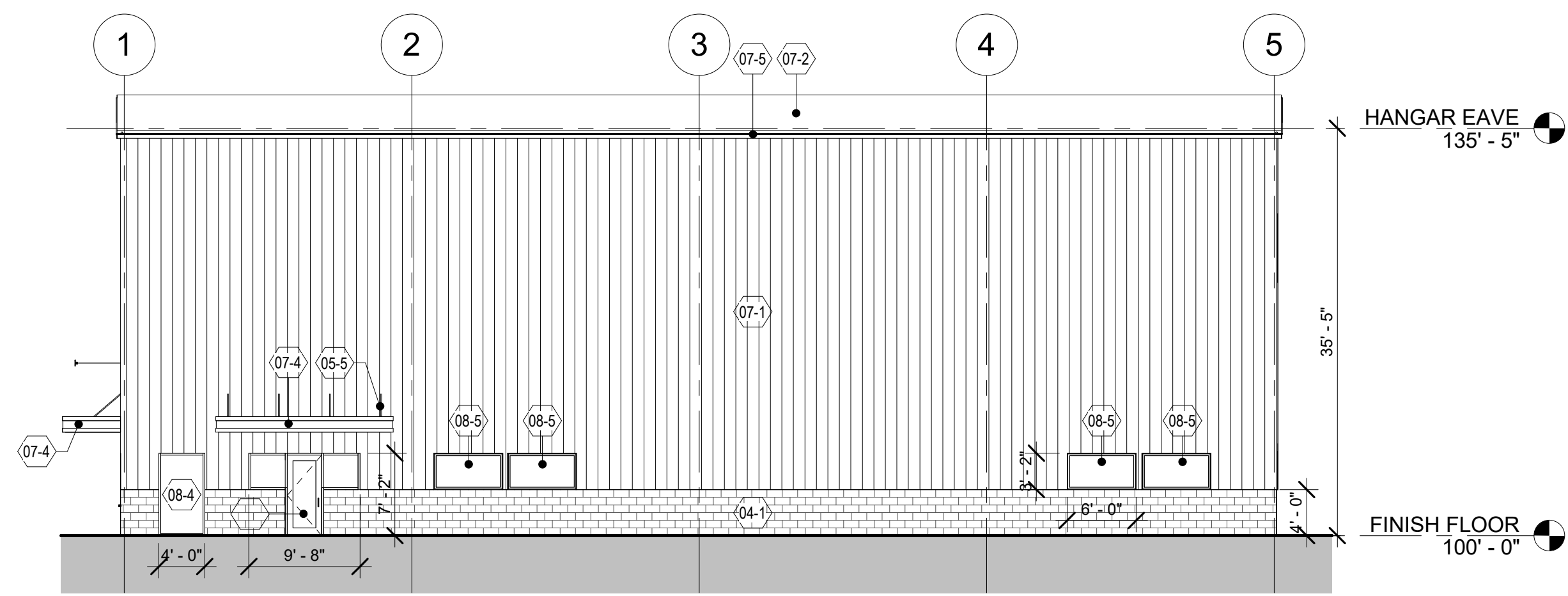
PROPOSED NEW BUILDING FOR:
**BATTEN INT'L AIRPORT -
CORPORATE HANGAR**

3239 N GREEN BAY RD
RACINE, WI 53404

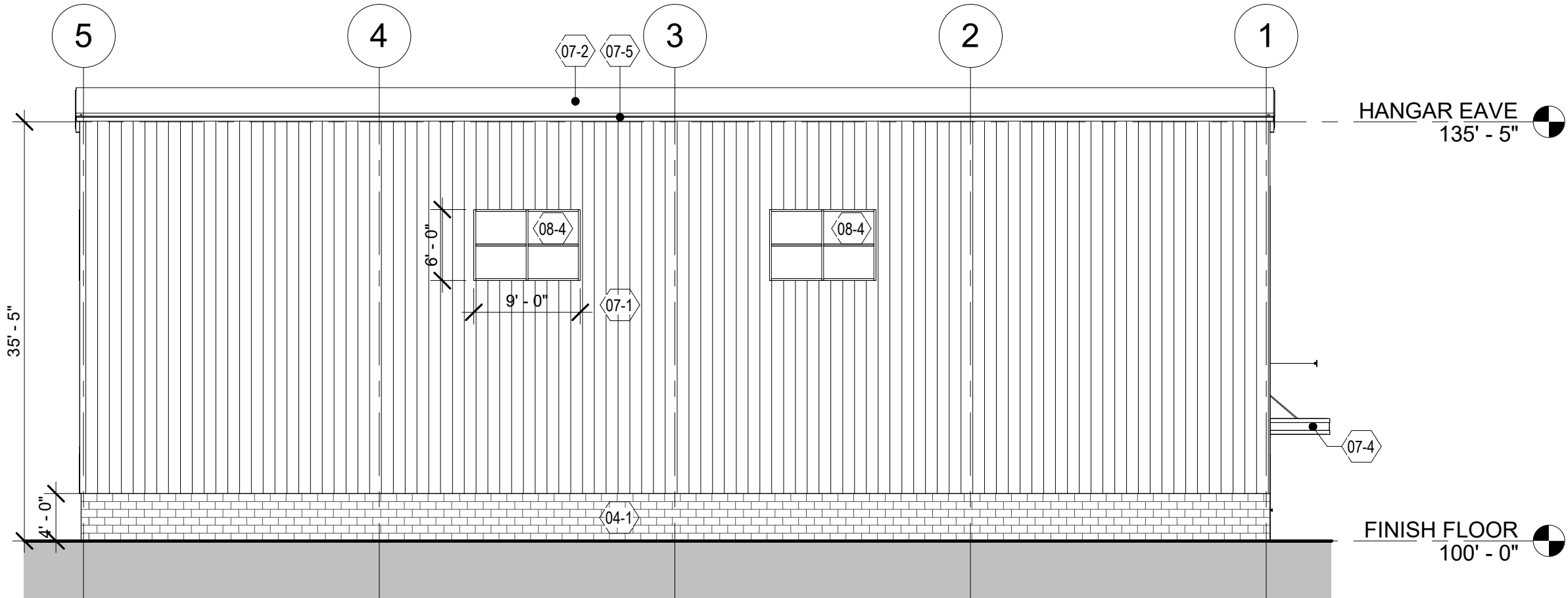
DRAFTED BY: MFP
DESIGNER: RRS
ISSUE 4/26/2024 11:12:25 AM
SUBMITTAL DATE XX-XX-XX
DESIGN NO. 4059
CONSTRUCTION NO. ###

ROOF PLAN

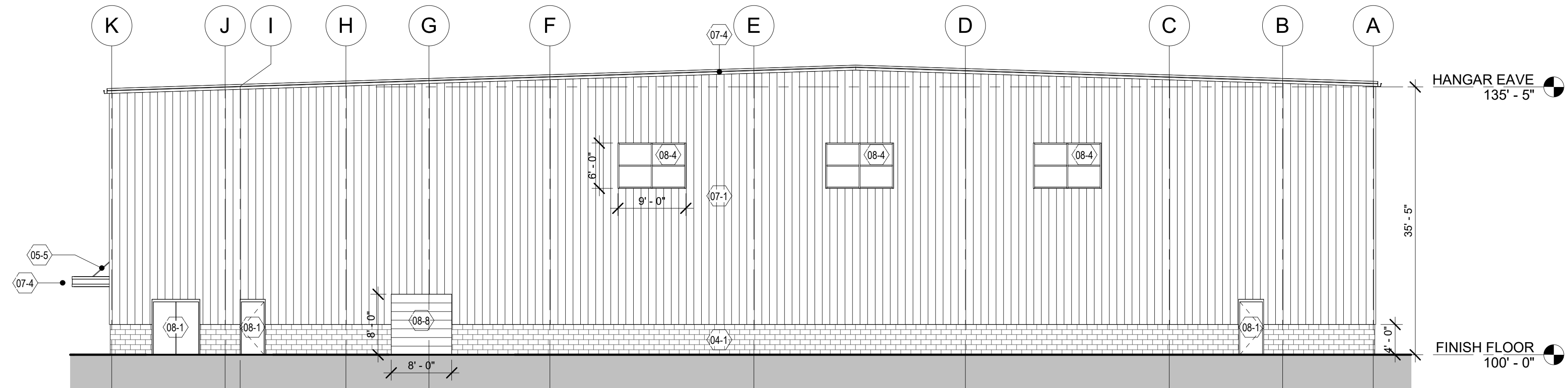
A121



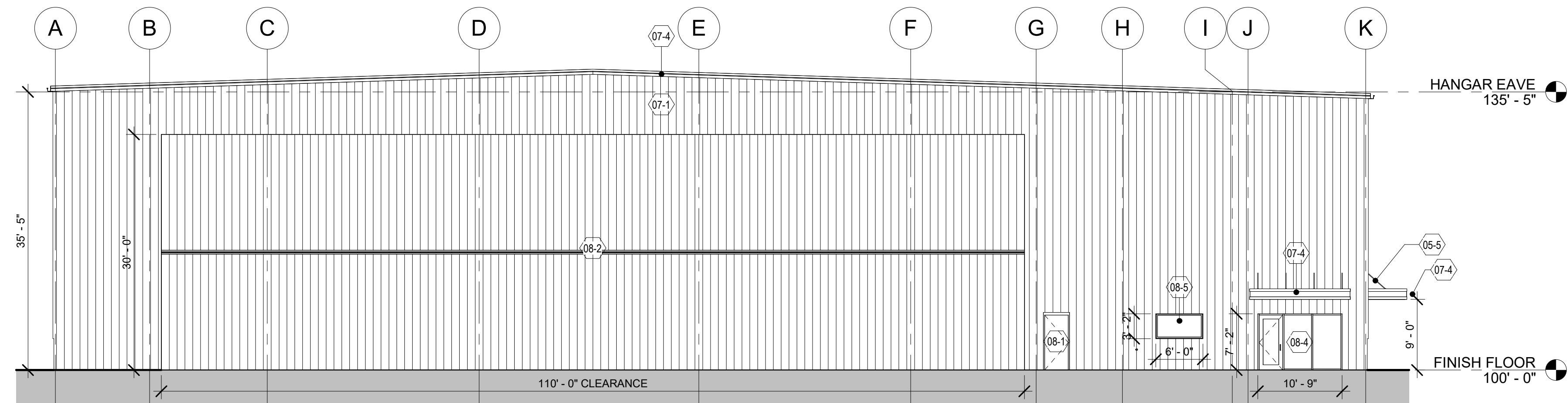
4 WEST ELEVATION
3/32" = 1'-0"



2 EAST ELEVATION
3/32" = 1'-0"



3 SOUTH ELEVATION
3/32" = 1'-0"



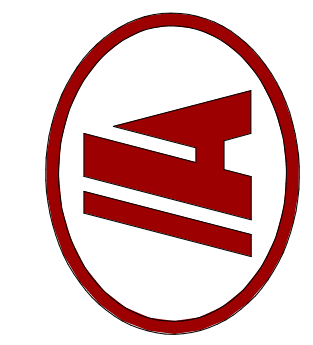
1 NORTH ELEVATION - SLIDING DOOR
3/32" = 1'-0"

KEYNOTE LEGEND	
TAG	DESCRIPTION
04-1	4'-0" H. SMOOTH FACE CONCRETE MASONRY UNIT (CMU) WAINSCOT; 8" THICK; PERLITE INSULATION R-5.68; BURNISHED OR INTEGRAL COLOR (COLOR: ECHELON IRONWOOD OR APPROVED OTHER)
05-5	METAL STAIRS - CONSTRUCTION TO BE STEEL PAN STAIR WITH CONCRETE FILLED STEEL PAN AND CLOSED RISERS; RISERS AT 7" MAX & TREADS @ 11". 1 1/2" DIA. STEEL PIPE HANDRAILS AT 36" AND STEEL PIPE GUARDRAIL AT 42"
07-1	SHADOWWALL EX WALL PANEL (BMC); 8" SINGLE LAYER BLANKET INSULATION R-25; DARK BRONZE
07-2	MR-24 ROOF PANEL (BMC); TBS INSULATION SYSTEM (THERMAL SPACER BLOCKS + 6" TOP LAYER + 9" BOTTOM LAYER) R-49; MEDIUM BRONZE
07-4	PREFINISHED GABLE TRIM - 26 GA. PREFINISHED METAL TRIM (BMC); DARK BRONZE
07-5	PREFINISHED GUTTER/DOWNSPOUT - 26 GA. 4" NARROW GUTTER (BMC); 26 GA. 4" DOWNSPOUTS (BMC); DARK BRONZE
08-1	PAINTED HOLLOW METAL SERVICE DOOR AND FRAME WITH EMERGENCY EGRESS CODE REQUIRED LIGHTING; DARK BRONZE
08-2	HIGHER POWER HANGAR DOOR, 110' x 30'; FACTORY FINISHED; DARK BRONZE
08-4	ALUMINUM STOREFRONT WINDOW SYSTEM
08-5	PREFINISHED ALUMINUM FRAMED WINDOW W/ CLEAR LOW-E 1" INSULATED GLAZING
08-8	OVERHEAD DOOR (OHD); FACTORY FINISHED

REVISIONS

THIS IS A SCHEMATIC DRAWING. NOT A WORKING DRAWING. ANDERSON ASHTON IS NOT RESPONSIBLE FOR DIMENSIONS, CONSTRUCTION DETAILS, ENGINEERING DECISIONS, REGULATORY APPROVALS, OR LOCAL, STATE, OR FEDERAL REQUIREMENTS. THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS. IT IS HIGHLY RECOMMENDED THAT A LOCAL ARCHITECT BE ENGAGED TO DEVELOP CONTRACT DOCUMENTS BASED ON THESE SCHEMATIC DRAWINGS AND CORRESPONDING OUTLINE SPECIFICATIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. ANDERSON ASHTON SHALL BE DEVELOPED IN A CONTRACTUAL AGREEMENT.

ANDERSON ASHTON
DESIGN / BUILD
2746 South 168th Street
New Berlin, WI 53151
Phone: (262) 786-4640
WWW.ANDERSONASHTON.COM



PRELIMINARY NOT FOR CONSTRUCTION

PROPOSED NEW BUILDING FOR:
**BATTEN INT'L AIRPORT -
CORPORATE HANGAR**

3239 N GREEN BAY RD
RACINE, WI 53404

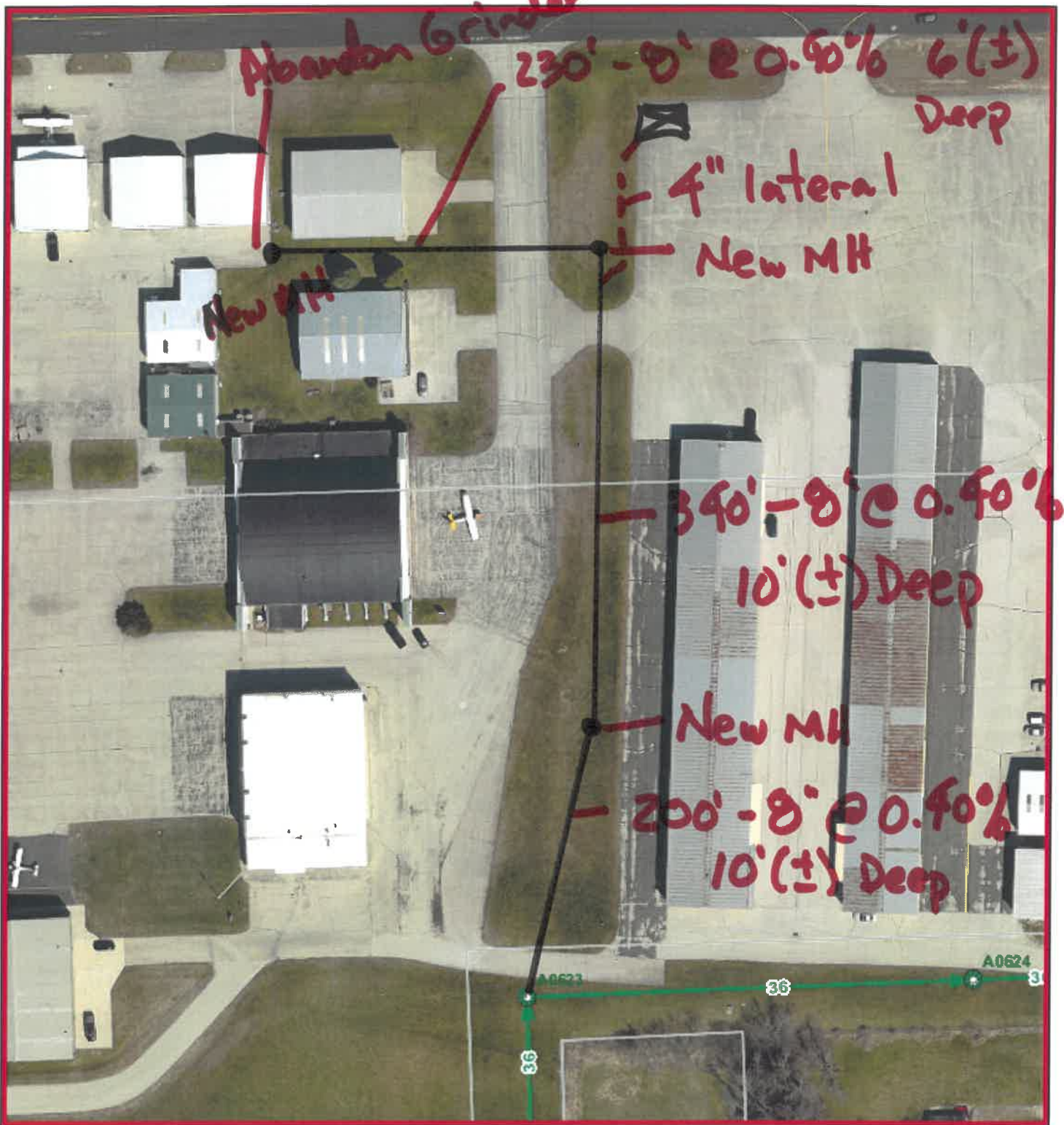
DRAFTED BY: MFP
DESIGNER: RRS
ISSUE 4/26/2024 11:12:40 AM
SUBMITTAL DATE XX-XX-XX
DESIGN NO. 4059
CONSTRUCTION NO. ###

ELEVATIONS

A200

COPYRIGHT PROTECTED 2022

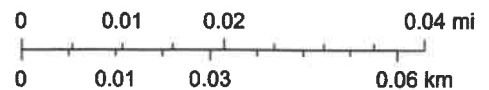
ArcGIS WebMap



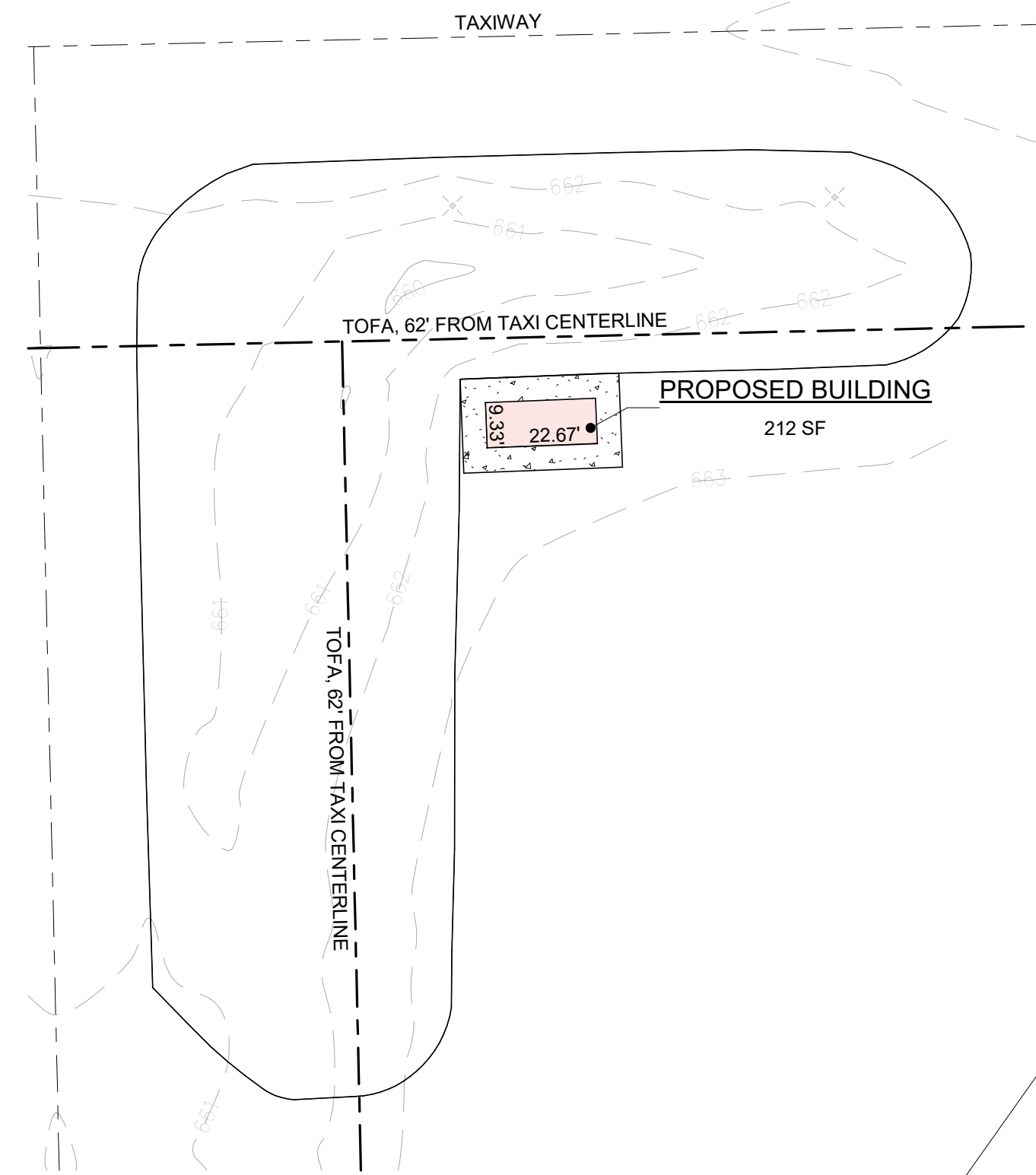
October 17, 2023

1:1,200

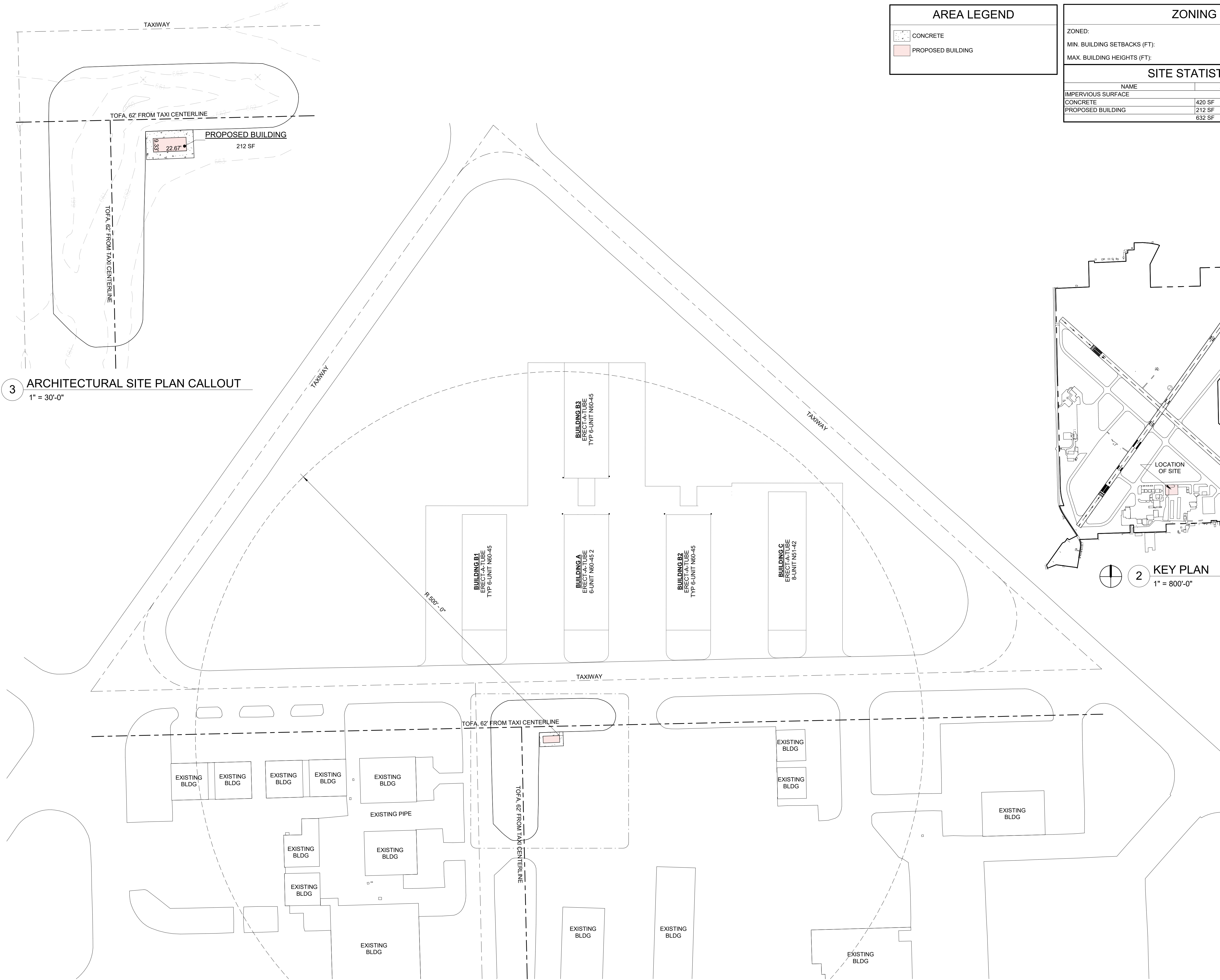
- | | | | |
|--------------------|--------------|-----------------------|------------------------|
| Sanitary Manhole | ● Non Active | Meter | ■ Active |
| ● Other | Pump | ■ Unknown | ■ Non Active |
| ● Active | ● Active | Sanitary Gravity Main | — Abandoned (in place) |
| ● Non Active | ● Active | → Active (in use) | |
| Sanitary Structure | ● Non Active | | |
| ● Active | | | |



3 ARCHITECTURAL SITE PLAN CALLOUT
1" = 30'-0"



1 ARCHITECTURAL SITE PLAN
1" = 60'-0"



AREA LEGEND

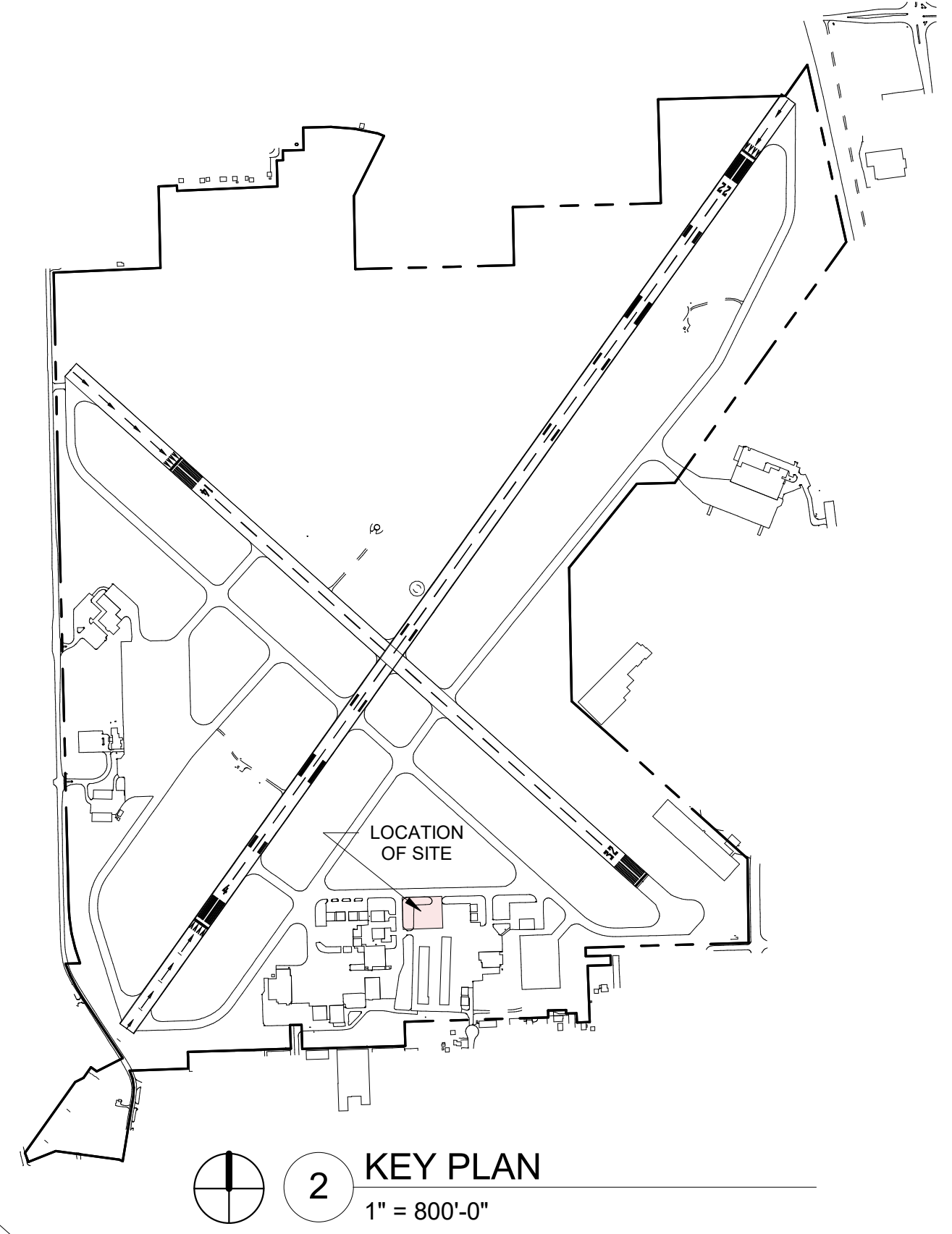
	CONCRETE
	PROPOSED BUILDING

ZONING

ZONED: I-2
 MIN. BUILDING SETBACKS (FT): TAXIWAY YARD: 62'
 MAX. BUILDING HEIGHTS (FT): PRINCIPAL BUILDING: 50'

SITE STATISTICS

NAME	AREA	AREA RATIO
IMPERVIOUS SURFACE		
CONCRETE	420 SF	67%
PROPOSED BUILDING	212 SF	33%
	632 SF	100%



REVISIONS

THIS IS A SCHEMATIC DRAWING, NOT A WORKING DRAWING. ANDERSON ASHTON IS NOT RESPONSIBLE FOR DIMENSIONS, CONSTRUCTION DETAILS, ENGINEERING DECISIONS, REGULATORY PERMITS, OR LOCAL, STATE, OR FEDERAL REQUIREMENTS. IT IS HIGHLY RECOMMENDED THAT A LOCAL ARCHITECT BE ENGAGED TO DEVELOP CONTRACT DOCUMENTS BASED ON THESE SCHEMATIC DRAWINGS AND CORRESPONDING OUTLINE SPECIFICATIONS. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY AND ALL REGULATORY PERMITS, CONTRACTS, OR AGREEMENTS DEVELOPED BY ARCHITECTS OR BE DEVELOPED IN A CONTRACTUAL AGREEMENT.

ANDERSON ASHTON
 DESIGN / BUILD
 2746 South 16th Street
 New Berlin, WI 53151
 Phone: (262) 786-4640
 WWW.ANDERSONASHTON.COM

PRELIMINARY NOT FOR CONSTRUCTION

PROPOSED NEW BUILDING FOR:
**BATTEN INT'L AIRPORT
 T-HANGARS**

3238 N GREEN BAY RD
 RACINE, WI 53404

DRAFTED BY: MFP
 DESIGNER: RRS
 ISSUE: 12/7/2023 8:54:17 AM
 SUBMITTAL DATE: XXXXXXXX
 DESIGN NO. P-02330
 CONSTRUCTION NO. ####

ARCHITECTURAL SITE PLAN

AS01

COPYRIGHT PROTECTED 2023
 SHEET SIZE 24X36

ROOM FINISH SCHEDULE																	
NUMBER	ROOM NAME	FLOOR			WALL								CEILING		COMMENTS		
		SUBSTRATE	FINISH	BASE FINISH	NORTH		SOUTH		EAST		WEST		MATERIAL	FINISH			
101	SINGLE FAMILY	CONC-1	--	VB-1	GWB-MR	PT-1	GWB-MR	PT-1	GWB-MR	PT-1	GWB-MR	PT-1	GWB-MR	PT-1	GCB-MR	PT-1	--
102	MAINTENANCE	CONC-1	--	VB-1	GWB-MR	PT-1	GWB-MR	PT-1	GWB-MR	PT-1	GWB-MR	PT-1	GWB-MR	PT-1	GCB-MR	PT-1	--
103	SINGLE FAMILY	CONC-1	--	VB-1	GWB-MR	PT-1	GWB-MR	PT-1	GWB-MR	PT-1	GWB-MR	PT-1	GWB-MR	PT-1	GCB-MR	PT-1	--

DOOR SCHEDULE									
NUMBER	LOCATION	FIRE RATING	DOOR		FRAME		HARDWARE GROUP	COMMENTS	
			SIZE	STYLE	FINISH	STYLE			
FINISH FLOOR									
101	SINGLE FAMILY	--	3'-0" X 7'-0"	DHM1	PT-1	F-HM1	PT-1	1	--
102	MAINTENANCE	--	3'-0" X 7'-0"	DHM1	PT-1	F-HM1	PT-1	1	--
103	SINGLE FAMILY	--	3'-0" X 7'-0"	DHM1	PT-1	F-HM1	PT-1	1	--

FINISH SCHEDULE KEY	
KEY NAME	DESCRIPTION
FLOOR FINISH	
CONC-1	CONCRETE (UNFINISHED)
WALL BASE	
VB-1	NONABSORBENT 4" COVED VINYL BASE
WALL FINISH	
GWB-MR	5/8" MOISTURE RESISTANT GYPSUM WALL BOARD
APPLIED FINISHES	
PT-1	PAINT -
CEILING FINISHES	
GCB-MR	5/8" MOISTURE RESISTANT GYPSUM CEILING BOARD

- ### DOOR NOTES
- HOLLOW METAL DOORS & FRAMES**
-DOORS AND FRAMES TO BE FACTORY PRIMED, THEN PAINTED ON SITE BY PAINTING CONTRACTOR
-FRAMES TO BE TO BE 16 GA STEEL
-DOOR LEAVES TO BE 18 GA STEEL
-PANIC HARDWARE TO BE VON DUPRIN OR EQUAL
-DOOR CLOSERS TO BE LCN 4040 OR EQUAL
 - GENERAL HARDWARE NOTES**
-EXTERIOR LOCKSETS, PRIVACY & PASSAGE SETS TO BE SCHLAGE HEAVY DUTY "D" SERIES
-INTERIOR LOCKSETS, PRIVACY & PASSAGE SETS TO BE SCHLAGE HEAVY DUTY "AL" SERIES
-HANDLES TO BE LEVER STYLE PER ADA REQUIREMENTS AT ALL DOORS
-ALL HARDWARE TO BE BRUSHED CHROME FINISH
-DOOR CLOSERS TO BE PAINTED BY PAINTING CONTRACTOR TO MATCH BRUSHED CHROME FINISH
-EXTERIOR RAIN DRIPS TO BE ALUMINUM
-THRESHOLD TO BE REESE S256A
-WEATHER STRIP TO BE REESE 756A
-SWEEP TO BE REESE 967C (PROVIDE INTERIOR AND EXTERIOR SWEEPS)

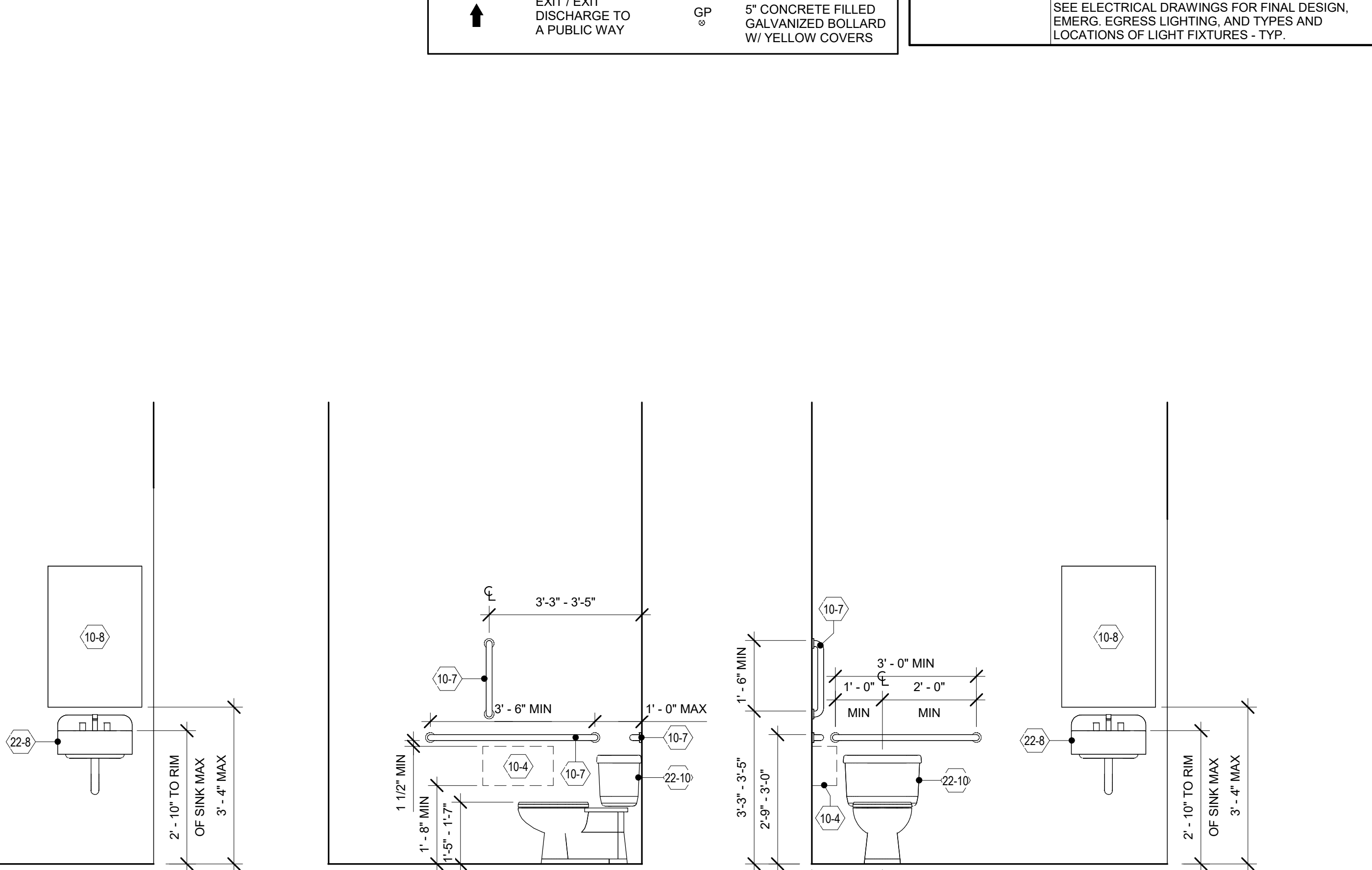
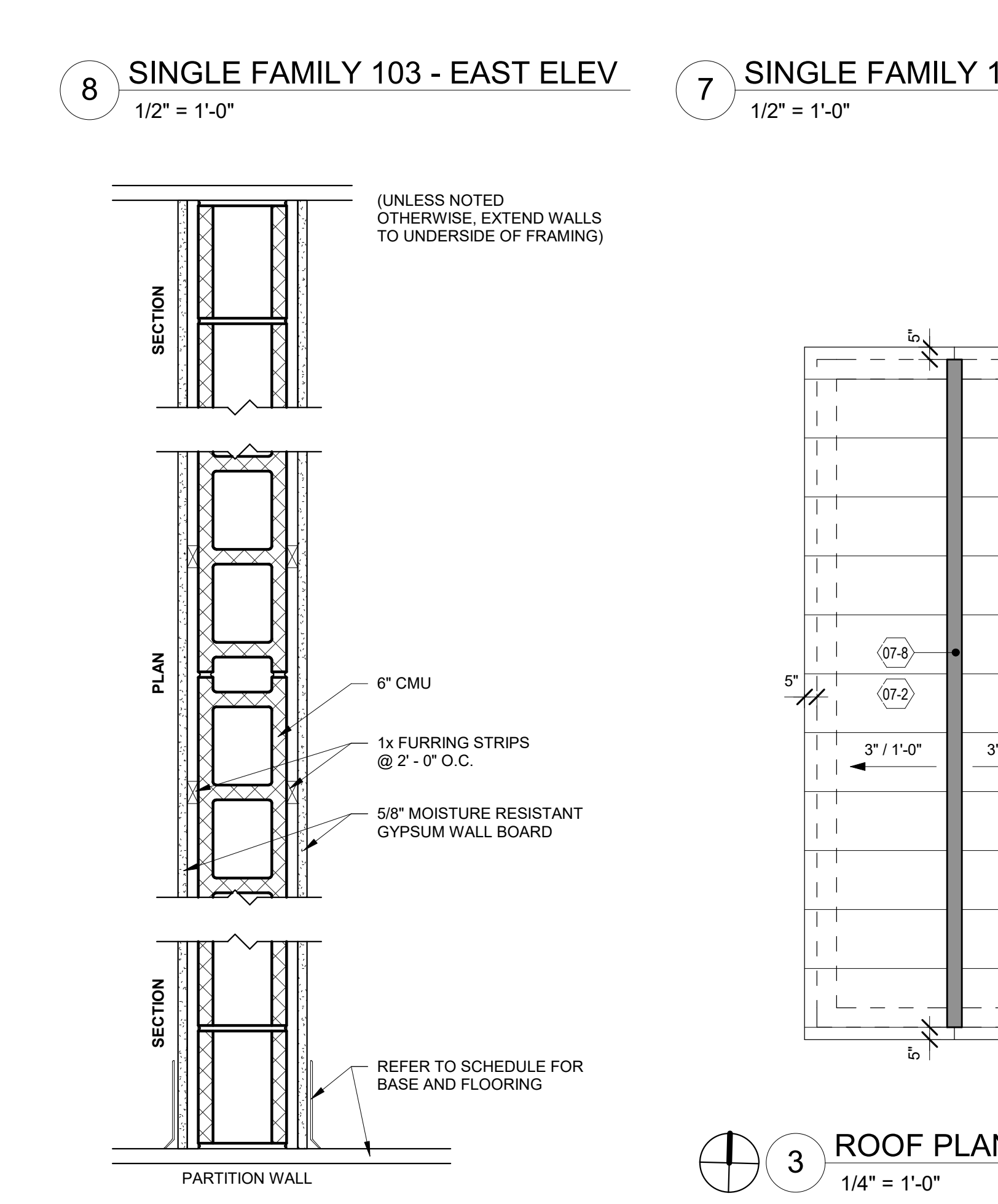
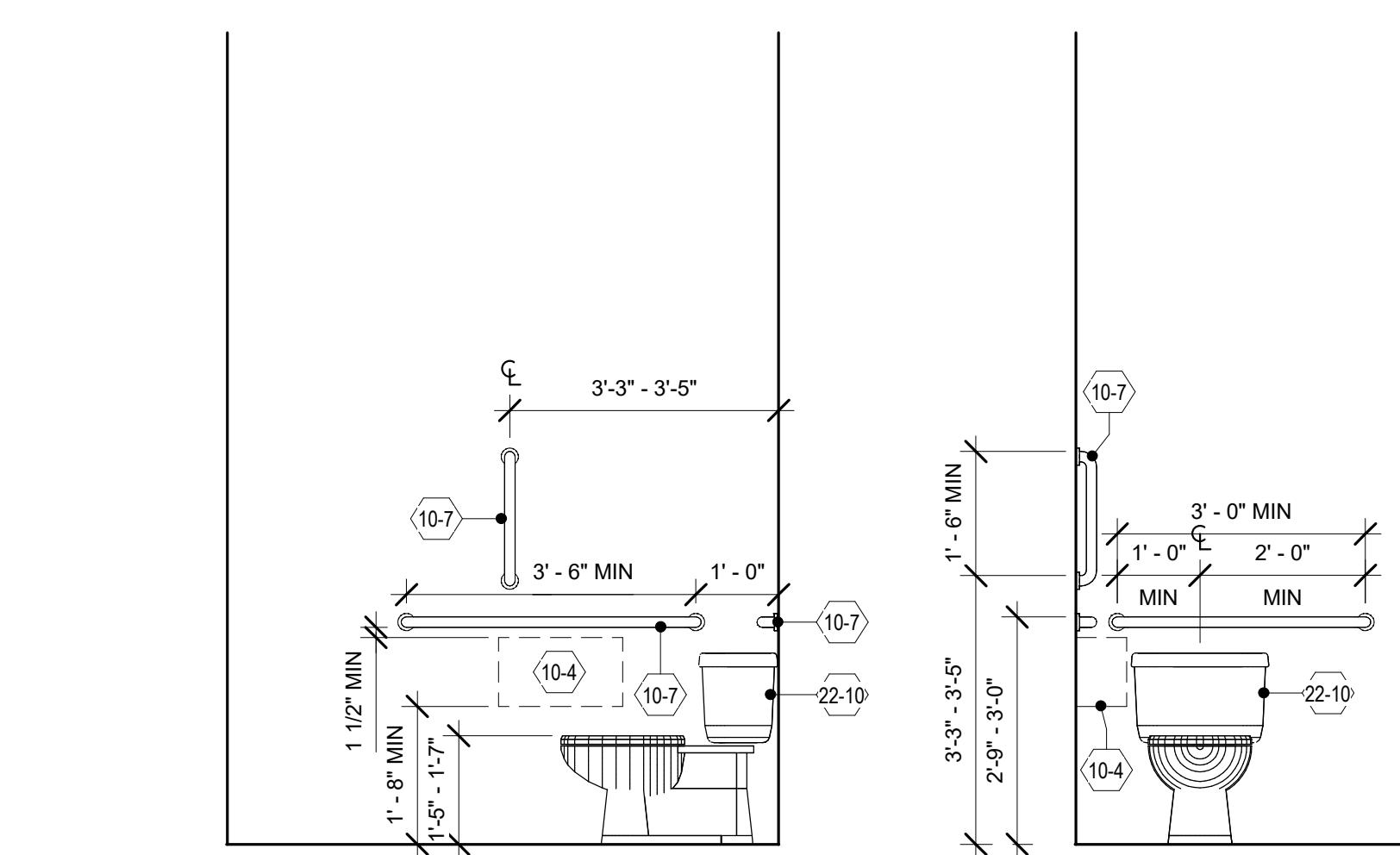
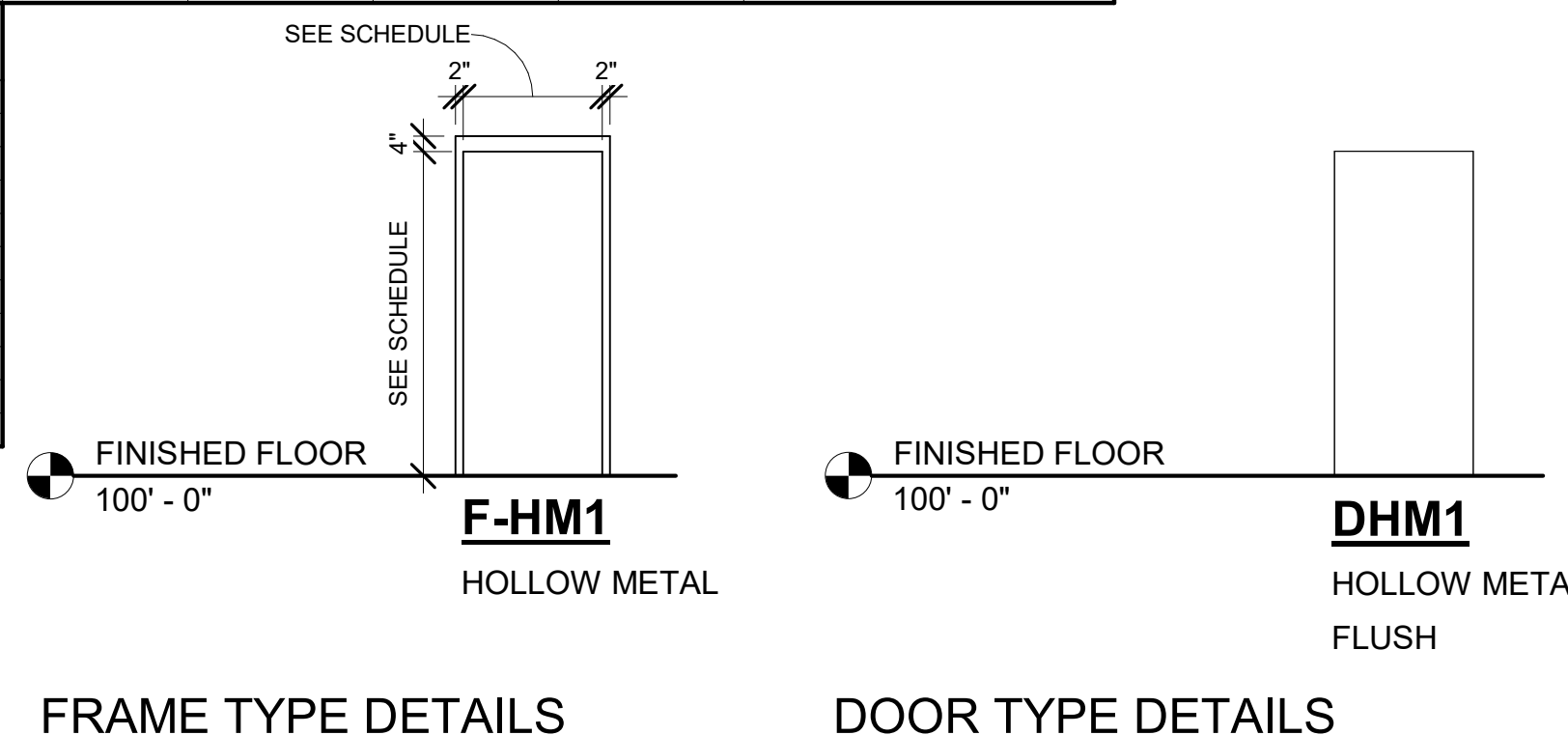
- ### DOOR HARDWARE KEY
- HINGES, FLUID CLOSER W/ HOLD OPEN, THRESHOLD, WETHER STRIPPING, SWEEPS (INT & EXT), DRIP CAP, LOCKSET - PRIVACY, IN-USE INDICATOR

- ### GENERAL PAINT NOTES
- DRYWALL CONTRACTOR TO TAPE, MUD, FINISH AND PRIME ALL DRYWALL FINISHED WALLS AND INSPECT FOR IMPERFECTIONS AFTER DRYWALL CONTRACTOR APPLIES PRIME COAT. PATCH & REPAIR IMPERFECTIONS AS REQUIRED BEFORE PAINTING BY PAINT CONTRACTOR BEGINS.
 - MASON TO REVIEW MASONRY SPECIFICATIONS ON SHEET S100 FOR FINISH SPECIFICATIONS ON NON-PAINTED CMU UNITS OR BRICK

PAINTING & FINISHING

BY PAINTING CONTRACTOR

- #### EXTERIOR
- HOLLOW METAL DOORS AND FRAMES (PREPRIMED)**
- TWO (2) FINISH COATS OF ALKYD URETHANE GLOSS ENAMEL, APPLY TO ACHIEVE 3.0 MILS. DRY FILM THICKNESS (D.F.T.) (CAULK INTERIOR AND EXTERIOR SIDE OF FRAME TO CONCRETE BLOCK W/ DYMOMIC CAULK)
 - STEEL LINTELS (PRE-PRIMED)**
- TWO (2) FINISH COATS OF ALKYD URETHANE GLOSS ENAMEL, APPLY TO ACHIEVE 3.0 MILS. DRY FILM THICKNESS (D.F.T.) (FINISH TO MATCH ADJACENT WALL COLOR).
 - MISCELLANEOUS STEEL**
- ONE (1) COAT OF METAL PRIMER, APPLY TO ACHIEVE 2.0 MILS. D.F.T. AND TWO (2) FINISH COATS OF ALKYD URETHANE GLOSS ENAMEL, APPLY TO ACHIEVE 3.0 MILS. D.F.T.
- #### INTERIOR
- DRYWALL (AT TOILETS)**
- ONE (1) PRIME COAT OF LATEX PRIMER AND (2) TWO FINISH COATS OF LATEX SEMI-GLOSS ENAMEL. APPLY AT 200 S.F./GAL. (OVER SMOOTH FINISHED DRYWALL).



FLOOR PLAN LEGEND

ROOM	ROOM NAME	EXIT	EXIT LIGHT
100	ROOM NUMBER	EXIT	INDICATES 1-HOUR CONSTRUCTION
EX	DOOR NUMBER	---	NEW CONSTRUCTION
#	EXISTING DOOR TO REMAIN NUMBER	---	NEW CONSTRUCTION
1	PARTITION TYPE	---	NEW DOOR & FRAME
1	PLAN NOTES	---	NEW DOOR & FRAME
F.E.	SURFACE MOUNTED FIRE EXTINGUISHER	---	EXISTING DOOR & FRAME TO REMAIN
↑	EXIT / EXIT DISCHARGE TO A PUBLIC WAY	GP	5" CONCRETE FILLED GALVANIZED BOLLARD W/ YELLOW COVERS

KEYNOTE LEGEND

ELEVATION KEY	DESCRIPTION
07-2	BUTLERIB II METAL ROOF PANEL; ALZN COLOR
07-8	RIDGE VENT
09-5	MOISTURE RESISTANT DRYWALL CAP ON FURRING
10-4	WALL/PARTITION MOUNTED TOILET PAPER DISPENSER
10-7	GRAB BARS PER ANSI - TYPICAL (PROVIDE BLOCKING)
10-8	24" X 36" MIRROR MOUNTED PER ANSI/ADA - TYPICAL
22-6	MOP SINK - SEE PLUMBING DRAWINGS
22-8	ADA/ANSI COMPLIANT WALL HUNG LAVATORY W/ PIPE WRAPS, WHITE
22-10	ADA/ANSI COMPLIANT FLOOR MOUNTED WATER CLOSET; WHITE, TYP.
26-1	LIGHT FIXTURES SHOWN FOR REFERENCE ONLY. SEE ELECTRICAL DRAWINGS FOR FINAL DESIGN, EMERG. EGRESS LIGHTING, AND TYPES AND LOCATIONS OF LIGHT FIXTURES - TYP.

REVISIONS

THIS IS A SCHEMATIC DRAWING. NOT A WORKING DRAWING. ANDERSON ASHTON IS NOT RESPONSIBLE FOR DIMENSIONS, CONSTRUCTION DETAILS, ENGINEERING DECISIONS, REGULATORY APPROVALS, OR ANY OTHER LEGAL OR PROFESSIONAL REQUIREMENTS. IT IS HIGHLY RECOMMENDED THAT A LOCAL ARCHITECT BE ENGAGED TO DEVELOP CONTRACT DOCUMENTS BASED ON THESE SCHEMATIC DRAWINGS AND CORRESPONDING OUTLINE SPECIFICATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE ARCHITECT'S CONTRACT SHALL BE DEVELOPED IN A CONTRACTUAL AGREEMENT.

ANDERSON ASHTON
DESIGN / BUILD
2746 South 16th Street
New Berlin, WI 53151
Phone: (262) 786-4640
WWW.ANDERSONASHTON.COM

PRELIMINARY NOT FOR CONSTRUCTION

PROPOSED ADDITION, REMODEL, NEW BUILDING FOR:
BATTEN INT'L AIRPORT - BATHROOMS

3238 N GREEN BAY RD
RACINE, WI 53404

DRAFTED BY: MFP
DESIGNER: RRS
ISSUE: 12/7/2023 8:49:48 AM
SUBMITTAL DATE: XX-XX-XX
DESIGN NO. P-02330
CONSTRUCTION NO. ####

PLANS

A101

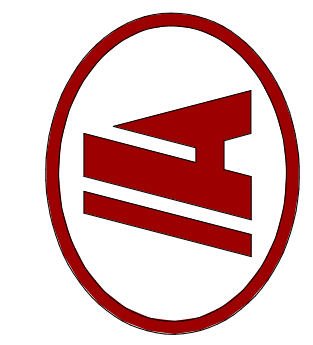
COPYRIGHT PROTECTED 2022
SHEET SIZE: 24X36

KEYNOTE LEGEND	
ELEVATION KEY	DESCRIPTION
04-1	CONCRETE MASONRY UNIT (CMU) WALL; 8" THICK; GRAY
07-2	BUTLERIB II METAL ROOF PANEL; ALZN COLOR
08-1	PAINTED HOLLOW METAL SERVICE DOOR AND FRAME WITH CODE REQUIRED EMERGENCY EGRESS LIGHTING

REVISIONS

THIS IS A SCHEMATIC DRAWING, NOT A WORKING DRAWING. ANDERSON ASHTON IS NOT RESPONSIBLE FOR DIMENSIONS, CONSTRUCTION DETAILS, ENGINEERING DECISIONS, REGULATORY APPROVALS, OR ANY OTHER ASPECTS OF THE PROJECT. IT IS HIGHLY RECOMMENDED THAT A LOCAL ARCHITECT BE ENGAGED TO DEVELOP CONTRACT DOCUMENTS BASED ON THESE SCHEMATIC DRAWINGS AND CORRESPONDING OUTLINE SPECIFICATIONS. ANDERSON ASHTON SHALL NOT BE HELD RESPONSIBLE FOR ANY LEGAL OR FINANCIAL CONSEQUENCES ARISING FROM THE USE OF THESE SCHEMATIC DRAWINGS. THE OWNER'S CONTRACTOR SHALL BE DEVELOPED IN A CONTRACTUAL AGREEMENT.

ANDERSON ASHTON
DESIGN / BUILD
2746 South 16th Street
New Berlin, WI 53151
Phone: (262) 786-4640
WWW.ANDERSONASHTON.COM



PRELIMINARY NOT FOR CONSTRUCTION

PROPOSED ADDITION, REMODEL, NEW BUILDING FOR:
**BATTEN INT'L AIRPORT -
BATHROOMS**

3239 N GREEN BAY RD
RACINE, WI 53404

DRAFTED BY: MFP
DESIGNER: RRS
ISSUE: 12/7/2023 8:51:05 AM
SUBMITTAL DATE: XX-XX-XX
DESIGN NO. P-02230
CONSTRUCTION NO. ###

SECTIONS

A301

COPYRIGHT PROTECTED 2022

SHEET SIZE 24X36

