



# Wendy's Site #00935

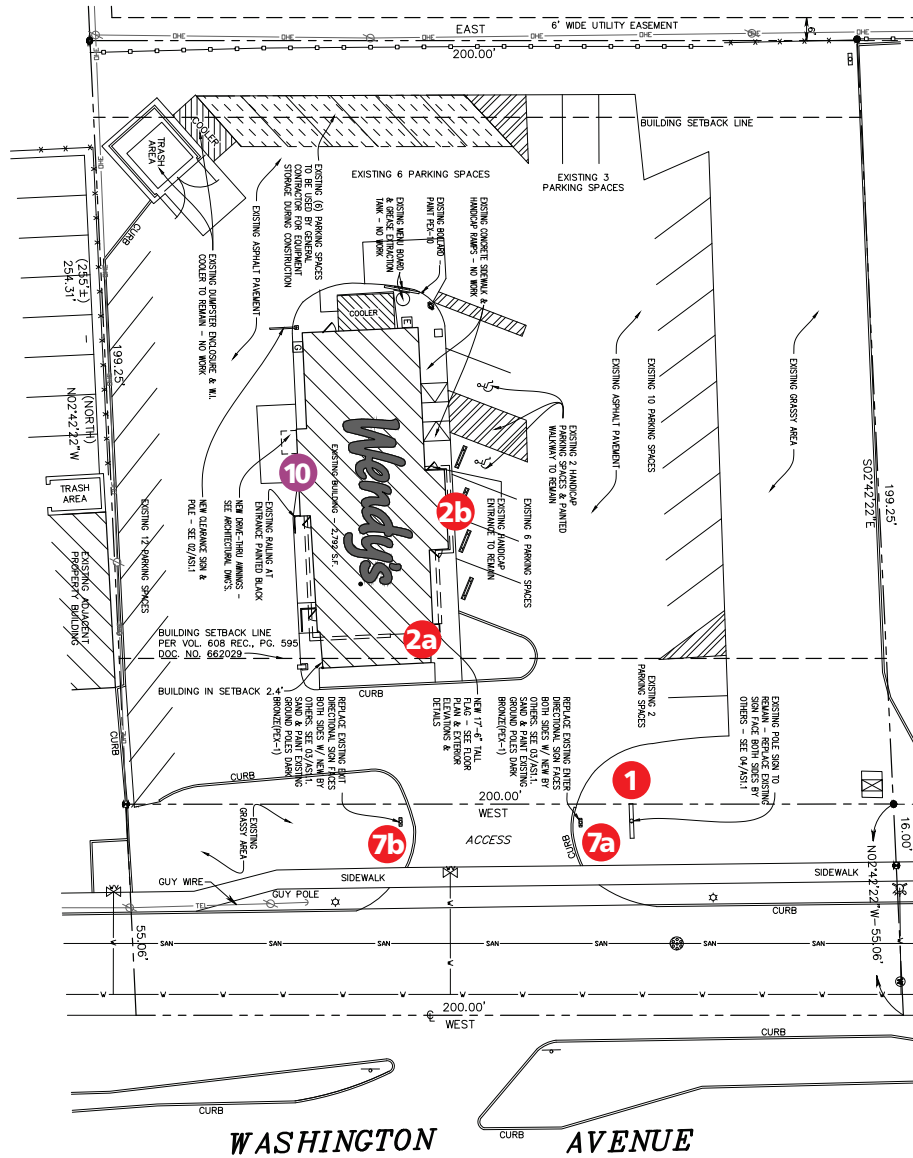
4910 Washington Ave  
Racine, WI 53406

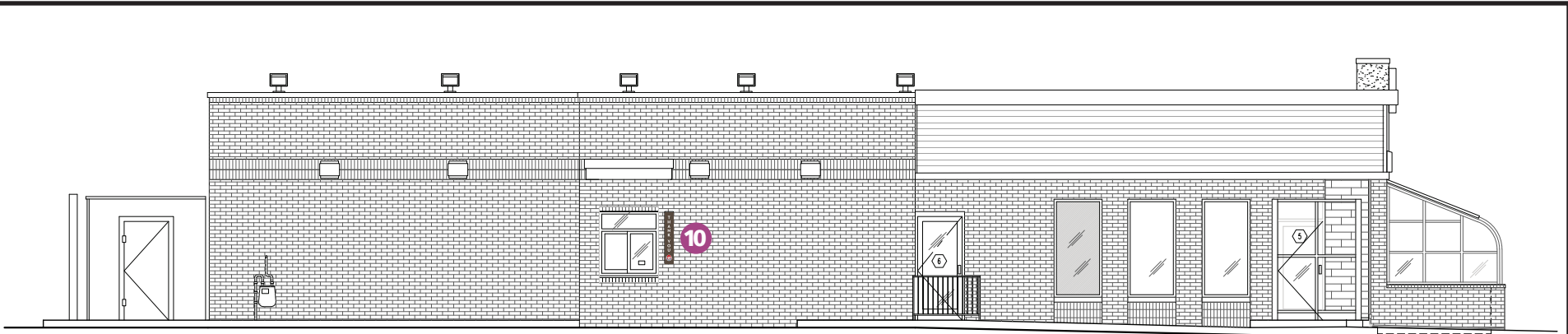


SCALE: 1" = 50'

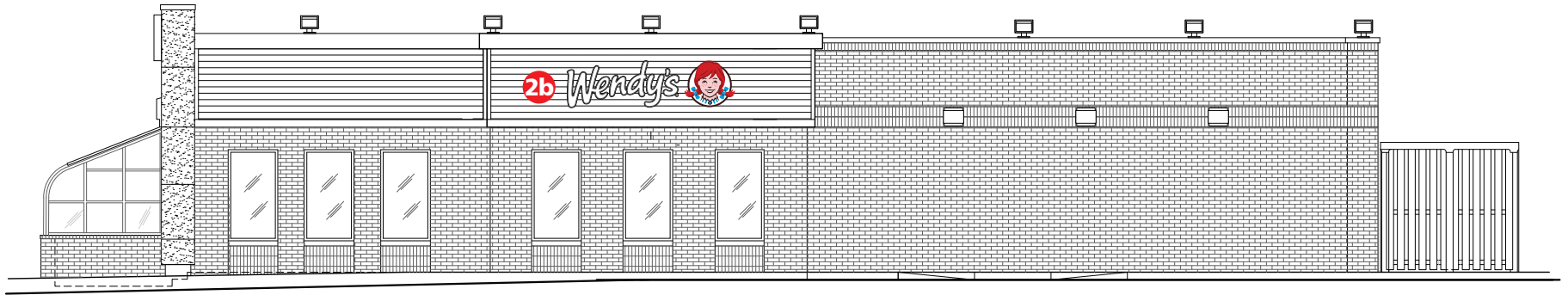
## SIGN KEY

- 1** Pylon Sign
- 2a** Channel Letters
- 2b** Channel Letters
- 7a** Enter Directional
- 7b** Exit Directional
- 10** Thank You Sign

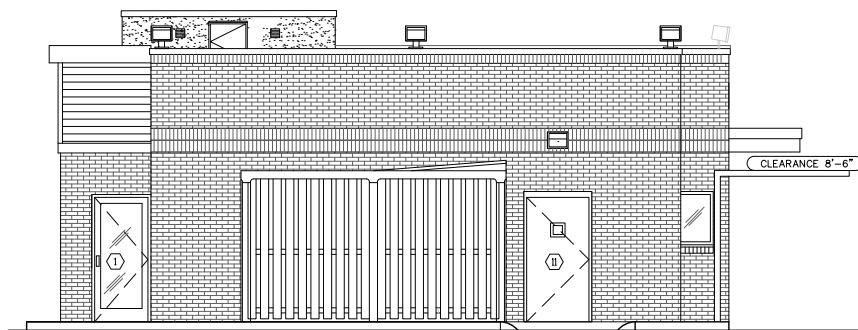




WEST ELEVATION  
SCALE 3/32" = 1'-0"



EAST ELEVATION  
SCALE 3/32" = 1'-0"

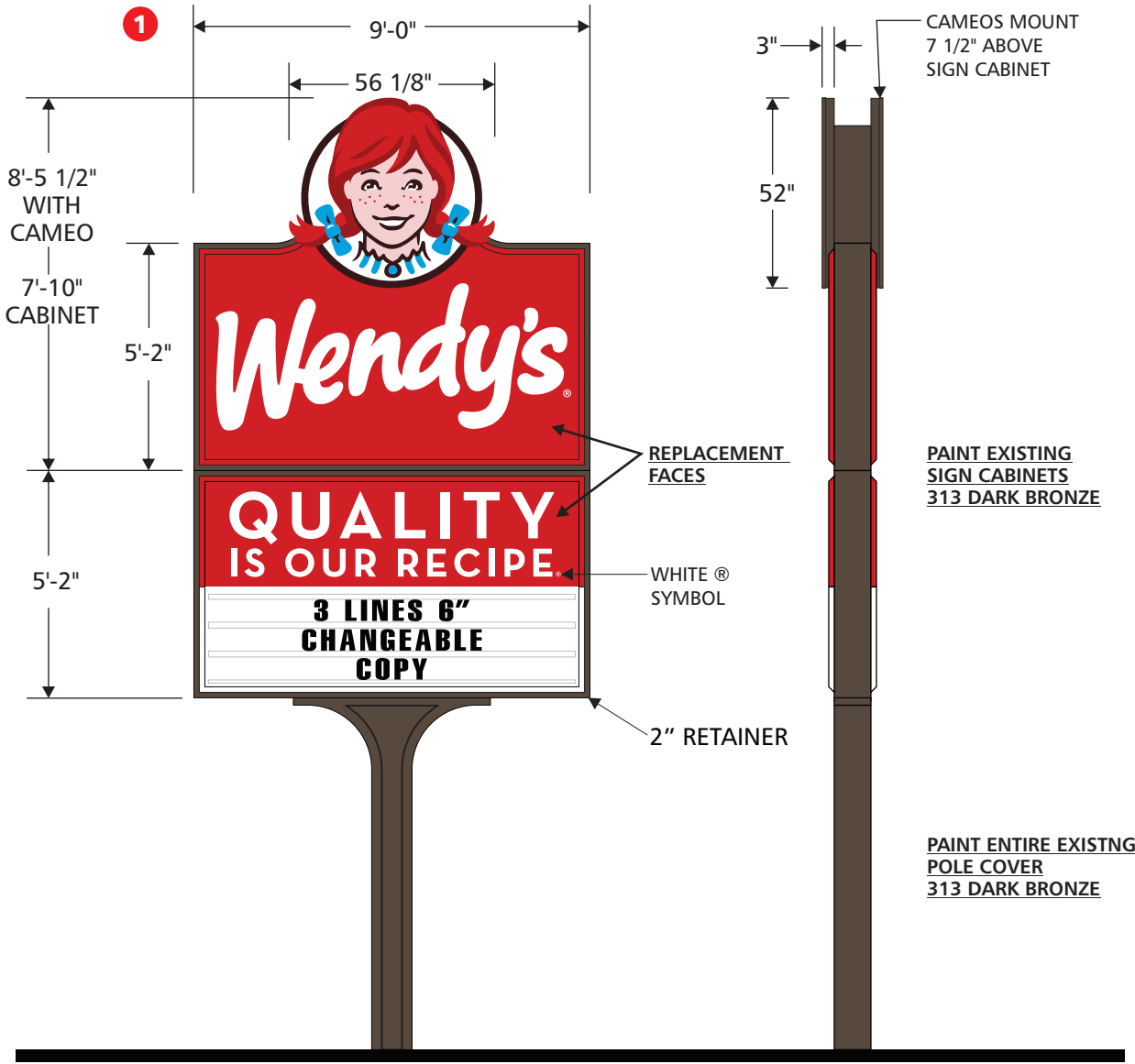


NORTH ELEVATION  
SCALE 3/32" = 1'-0"



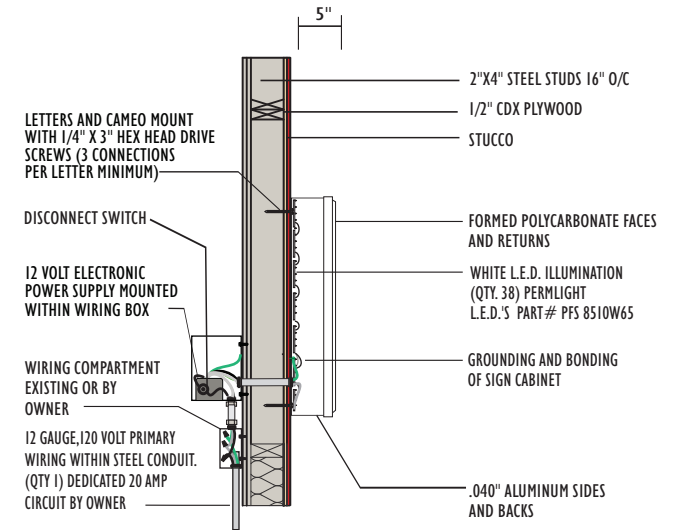
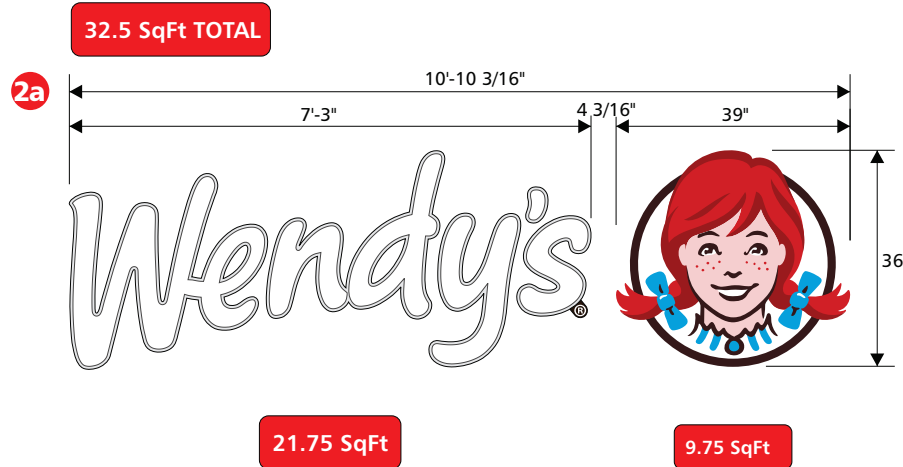
SOUTH ELEVATION  
SCALE 3/32" = 1'-0"

# FIELD SURVEY REQUIRED



ALL WIRING MEETS NEC 2014 SPECIFICATIONS.  
SIGN TO BE WIRED TO A STANDARD 120 VOLT / 20 AMP CIRCUIT.  
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES.  
THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SIGN TYPE	SPECIFICATIONS	COLORS	SIGN SURVEY	ARTWORK
<input checked="" type="checkbox"/> DOUBLE FACE <input checked="" type="checkbox"/> ILLUMINATED  <input checked="" type="checkbox"/> GROUND	- PAINT EXISTING CABINET 313 DARK BRONZE. - REPLACEMENT FACES: .150 PAN FORMED EMBOSSED SOLAR GRADE POLYCARBONATE FACES. - FLUORESCENT ILLUMINATION. - PAINT EXISTING POLE COVER 313 DARK BRONZE. CAMEOS - FORMED POLYCARBONATE WITH PRINTED GRAPHICS SECOND SURFACE WITH LED ILLUMINATION. - ALUMINUM RETURNS AND BACKS PAINTED 313 DARK BRONZE.	<input checked="" type="checkbox"/> 313 DARK BRONZE <input checked="" type="checkbox"/> PMS 186 RED <input type="checkbox"/> WHITE <input checked="" type="checkbox"/> PMS 186 RED HAIR <input checked="" type="checkbox"/> PMS 201 BURGUNDY HAIR <input checked="" type="checkbox"/> PMS 299 BLUE <input checked="" type="checkbox"/> PMS 698 PINK <input checked="" type="checkbox"/> PMS 439 BROWN	<input type="checkbox"/> FACE TRIMS <input type="checkbox"/> FASCIA COLOR <input type="checkbox"/> RADIUS DIM. <input type="checkbox"/> BUILDING DIM. <input type="checkbox"/> FACADE ANGLE <input type="checkbox"/> OTHER	<input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> REQUIRED  If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.
<b>FILENAME:</b> U0601-IA-WP100 <b>DATE:</b> 1/1/13 <b>REV.#:</b> <b>SCALE:</b> 1/4"=1' <b>REV.DATE:</b> <b>DGNR:</b> RTK <b>SALES:</b> T. SHEEHY	<b>Approval Signatures Required</b> to insure that all spelling, colors, and specifications for sign(s) rendered meets customer & landlord approvals.		<b>CUSTOMER:</b> _____ <b>DATE:</b> _____ <b>LANDLORD:</b> _____ <b>DATE:</b> _____	<p>3200 Valleyview Drive PH: 614-279-6700</p> <p>Columbus, OH 43204 FX: 614-279-7525</p> <p>This original design and all information herein are the property of Custom Sign Center, Inc. Artwork is subject to return if not purchased. Any unauthorized use is forbidden.</p> <p>© Copyright 2005 All rights reserved</p>



SECTION/MOUNTING DETAILS

ALL WIRING MEETS NEC 2014 SPECIFICATIONS.  
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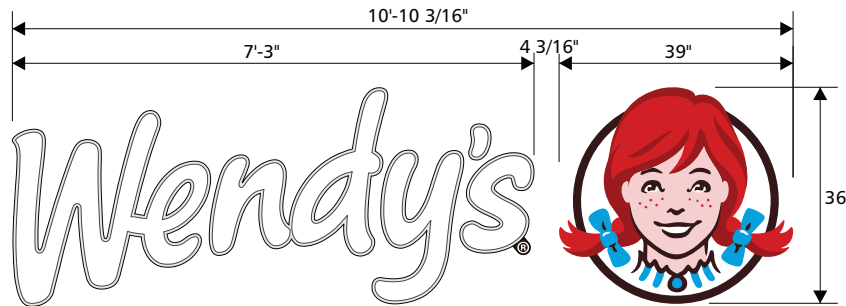
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



SIGN TYPE	SPECIFICATIONS	COLORS	SIGN SURVEY	ARTWORK	
<input checked="" type="checkbox"/> SINGLE FACE <input checked="" type="checkbox"/> ILLUMINATED <input checked="" type="checkbox"/> WALL	-.040" ALUMINUM SIDES AND BACKS PAINTED 313 DARK BRONZE - "WENDY'S" - EMBOSSED #7328 WHITE POLYCARBONATE FACES WITH WHITE L.E.D. ILLUMINATION - CAMEO - FORMED POLYCARBONATE FACE WITH PRINTED GRAPHICS SECOND SURFACE WITH WHITE LED ILLUMINATION.	<input checked="" type="checkbox"/> 313 DARK BRONZE <input type="checkbox"/> WHITE <input checked="" type="checkbox"/> PMS 186 RED HAIR <input checked="" type="checkbox"/> PMS 201 BURGUNDY HAIR <input checked="" type="checkbox"/> PMS 299 BLUE <input type="checkbox"/> PMS 698 PINK <input checked="" type="checkbox"/> PMS 439 BROWN	<input type="checkbox"/> FACE TRIMS <input type="checkbox"/> FASCIA COLOR <input type="checkbox"/> RADIUS DIM. <input type="checkbox"/> BUILDING DIM. <input type="checkbox"/> FACADE ANGLE <input type="checkbox"/> OTHER	<input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> REQUIRED If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.	<p>3200 Valleyview Drive PH: 614-279-6700</p> <p>Columbus, OH 43204 FX: 614-279-7525</p>
<b>FILENAME:</b> U1201-IA-36NR-WHT-RC <b>DATE:</b> 8/22/13	<b>REV#</b> <b>REV.DATE:</b>	<b>SCALE:</b> 3/8" = 1' <b>DGNR:</b> THW <b>SALES:</b> T. SHEEHY	<b>Approval Signatures Required</b> to insure that all spelling, colors, and specifications for sign(s) rendered meets customer & landlord approvals.		<b>CUSTOMER:</b> _____ <b>DATE:</b> _____
				<b>LANDLORD:</b> _____ <b>DATE:</b> _____	This original design and all information herein are the property of Custom Sign Center, Inc. Artwork is subject to return if not purchased. Any unauthorized use is forbidden. © Copyright 2007 All rights reserved.

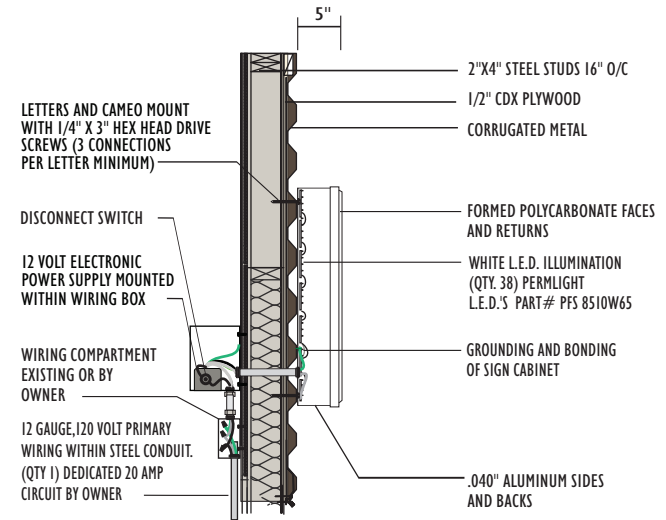
2b

32.5 SqFt TOTAL



21.75 SqFt

9.75 SqFt



SECTION/MOUNTING DETAILS

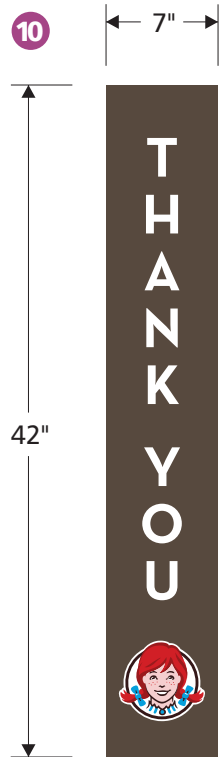
ALL WIRING MEETS NEC 2014 SPECIFICATIONS.  
SIGN TO BE WIRED TO A STANDARD 120 VOLT / 20 AMP CIRCUIT.

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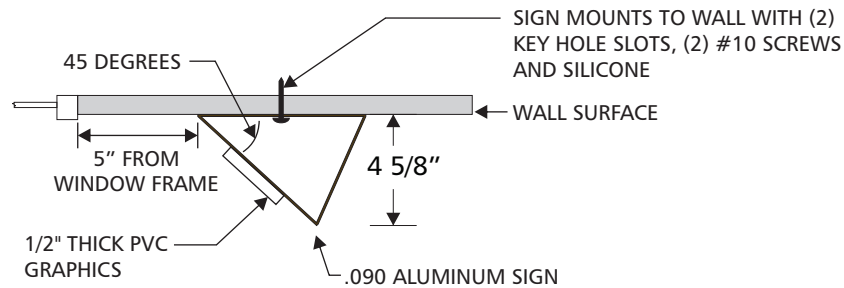


SIGN TYPE	SPECIFICATIONS	COLORS	SIGN SURVEY	ARTWORK
<input checked="" type="checkbox"/> SINGLE FACE <input checked="" type="checkbox"/> ILLUMINATED <input checked="" type="checkbox"/> WALL	-.040" ALUMINUM SIDES AND BACKS PAINTED 313 DARK BRONZE - "WENDY'S" - EMBOSSED #7328 WHITE POLYCARBONATE FACES WITH WHITE L.E.D. ILLUMINATION - CAMEO - FORMED POLYCARBONATE FACE WITH PRINTED GRAPHICS SECOND SURFACE WITH WHITE LED ILLUMINATION.	<input checked="" type="checkbox"/> 313 DARK BRONZE <input type="checkbox"/> WHITE <input checked="" type="checkbox"/> PMS 186 RED HAIR <input checked="" type="checkbox"/> PMS 201 BURGUNDY HAIR <input checked="" type="checkbox"/> PMS 299 BLUE <input type="checkbox"/> PMS 698 PINK <input type="checkbox"/> PMS 439 BROWN	<input type="checkbox"/> FACE TRIMS <input type="checkbox"/> FASCIA COLOR <input type="checkbox"/> RADIUS DIM. <input type="checkbox"/> BUILDING DIM. <input type="checkbox"/> FACADE ANGLE <input type="checkbox"/> OTHER	<input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> REQUIRED If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.
<b>FILENAME:</b> U1201-IA-36NR-WHT-RC <b>DATE:</b> 1/1/13	<b>REV#</b> <b>REV.DATE:</b>	<b>SCALE:</b> 3/8" = 1' <b>DGNR:</b> RTK <b>SALES:</b> T. SHEEHY	<b>Approval Signatures Required</b> to insure that all spelling, colors, and specifications for sign(s) rendered meets customer & landlord approvals.	<b>CUSTOMER:</b> _____ <b>DATE:</b> _____
			<b>LANDLORD:</b> _____ <b>DATE:</b> _____	<p>3200 Valleyview Drive PH: 614-279-6700</p> <p>Columbus, OH 43204 FX: 614-279-7525</p> <p>This original design and all information herein are the property of Custom Sign Center, Inc. Artwork is subject to return if not purchased. Any unauthorized use is forbidden.</p> <p>© Copyright 2007 All rights reserved</p>

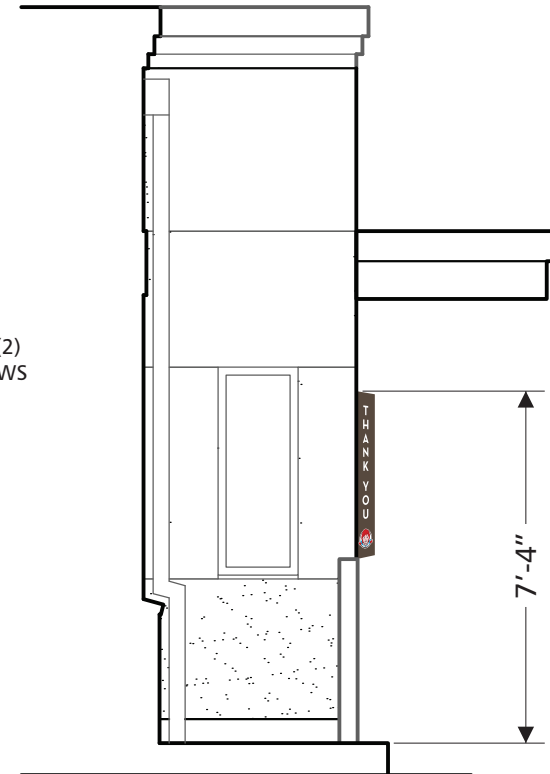
2.04 SqFt



SCALE 1"=1'-0"



**MOUNTING DETAIL**  
SCALE 1 1/2"=1'-0"



SCALE 1/4"=1'-0"

**SIGN TYPE**

- SINGLE FACE
- NON-ILLUM.
- WALL

**SPECIFICATIONS**

- FABRICATED .090 ALUMINUM WALL SIGN PAINTED 313 DARK BRONZE.
- 1/2" THICK WHITE PVC LETTERING AND CAMEO WITH DIGITALLY PRINTED GRAPHICS.
- SIGN IS MOUNTED FLUSH TO WALL SURFACE WITH KEYHOLES, SCREWS AND SILICONE.

**COLORS**

- 313 DARK BRONZE
- WHITE
- PMS 186 RED HAIR
- PMS 201 BURGUNDY HAIR
- PMS 299 BLUE
- PMS 698 PINK
- PMS 439 BROWN

**SIGN SURVEY**

- FACE TRIMS
- FASCIA COLOR
- RADIUS DIM.
- BUILDING DIM.
- FACADE ANGLE
- OTHER

**ARTWORK**

- PROVIDED
  - REQUIRED
- If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.

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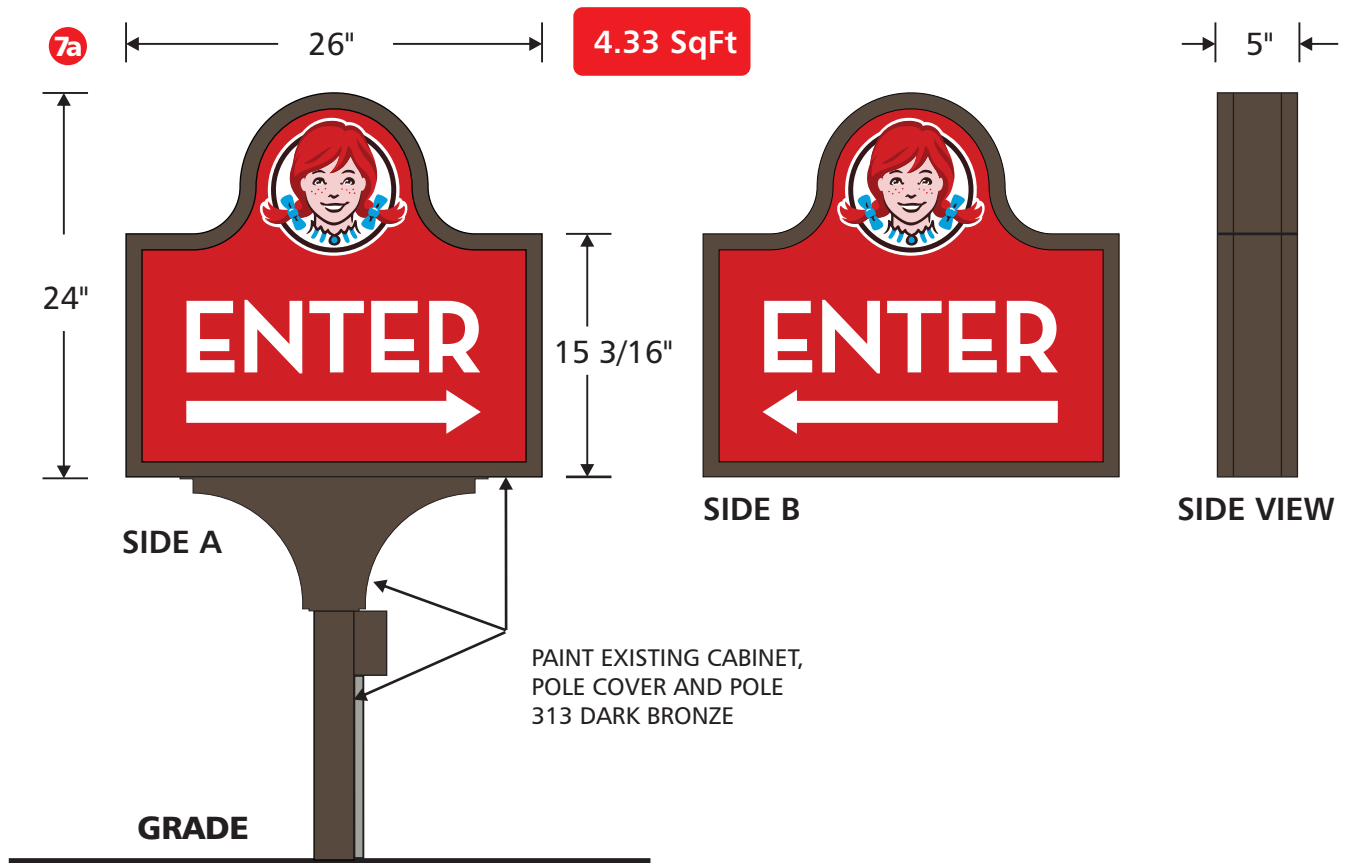
FILENAME: U1201-IA-42X7-THANKYOU REV# SCALE: AS NOTED  
DATE: 3/20/13 REV.DATE: DGNR: RTK SALES: T. SHEEHY

Approval Signatures Required to insure that all spelling, colors, and specifications for sign(s) rendered meets customer & landlord approvals.

CUSTOMER: \_\_\_\_\_ LANDLORD: \_\_\_\_\_  
DATE: \_\_\_\_\_ DATE: \_\_\_\_\_


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# REPLACEMENT FACES ONLY



ALL WIRING MEETS NEC 2014 SPECIFICATIONS.  
 SIGN TO BE WIRED TO A STANDARD 120 VOLT / 20 AMP CIRCUIT.  
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SIGN TYPE	SPECIFICATIONS	COLORS	SIGN SURVEY	ARTWORK
<input checked="" type="checkbox"/> DOUBLE FACE <input checked="" type="checkbox"/> ILLUMINATED  <input checked="" type="checkbox"/> GROUND	.150 FLAT SOLAR GRADE POLYCARBONATE FACES WITH FLAT DECORATED GRAPHICS.	<input checked="" type="checkbox"/> 313 DARK BRONZE <input checked="" type="checkbox"/> PMS 186 RED <input checked="" type="checkbox"/> WHITE <input checked="" type="checkbox"/> PMS 186 RED HAIR <input checked="" type="checkbox"/> PMS 201 BURGUNDY HAIR <input checked="" type="checkbox"/> PMS 299 BLUE <input checked="" type="checkbox"/> PMS 698 PINK <input checked="" type="checkbox"/> PMS 439 BROWN	<input type="checkbox"/> FACE TRIMS <input type="checkbox"/> FASCIA COLOR <input type="checkbox"/> RADIUS DIM. <input type="checkbox"/> BUILDING DIM. <input type="checkbox"/> FACADE ANGLE <input type="checkbox"/> OTHER	<input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> REQUIRED  If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.
<b>FILENAME:</b> U0901-IA-ENTER <b>DATE:</b> 1/1/13	<b>REV#</b> <b>SCALE:</b> 1"=1' <b>DGNR:</b> TK <b>SALES:</b> T. SHEEHY	<b>Approval Signatures Required</b> to insure that all spelling, colors, and specifications for sign(s) rendered meets customer & landlord approvals.		<b>CUSTOMER:</b> _____ <b>DATE:</b> _____ <b>LANDLORD:</b> _____ <b>DATE:</b> _____

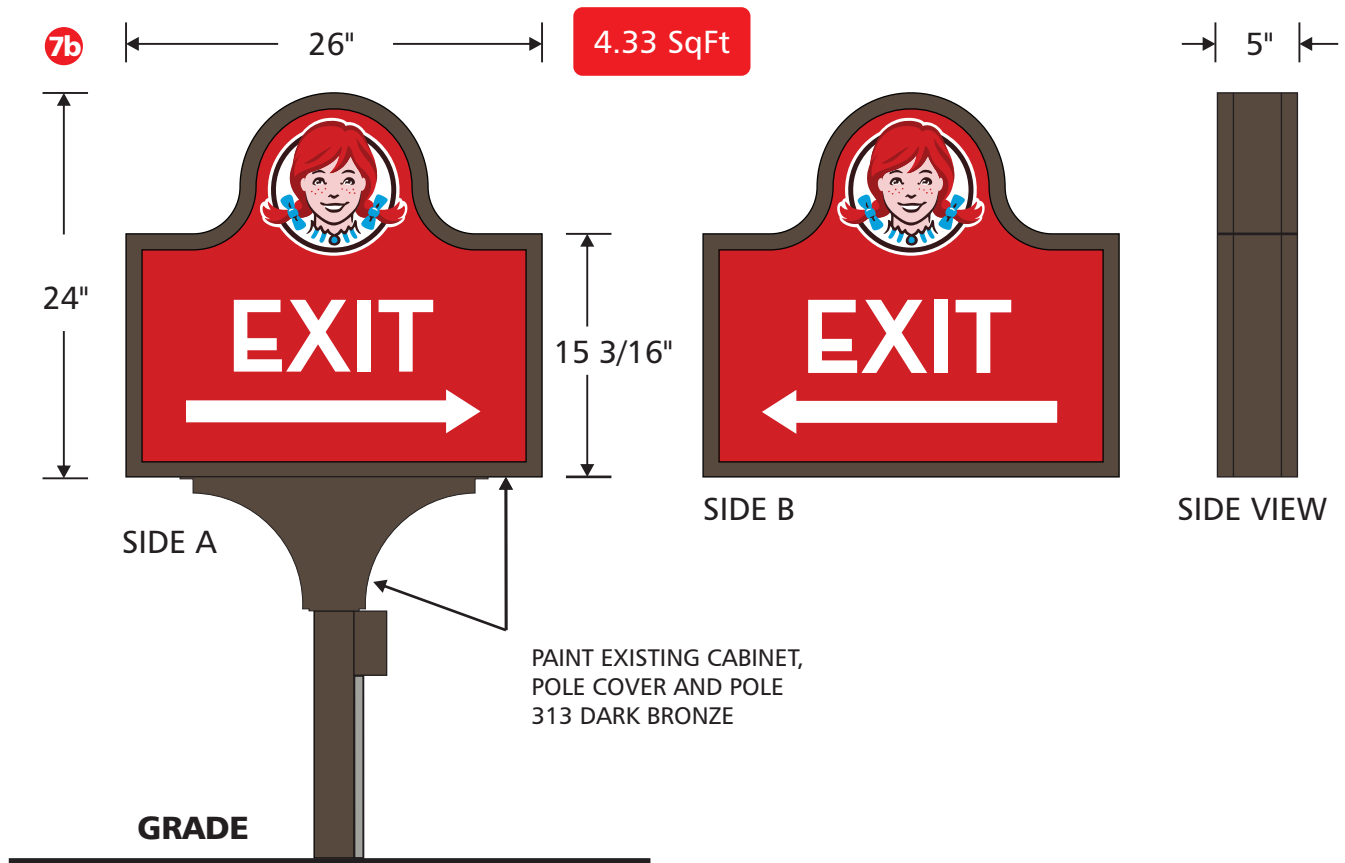


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# REPLACEMENT FACES ONLY

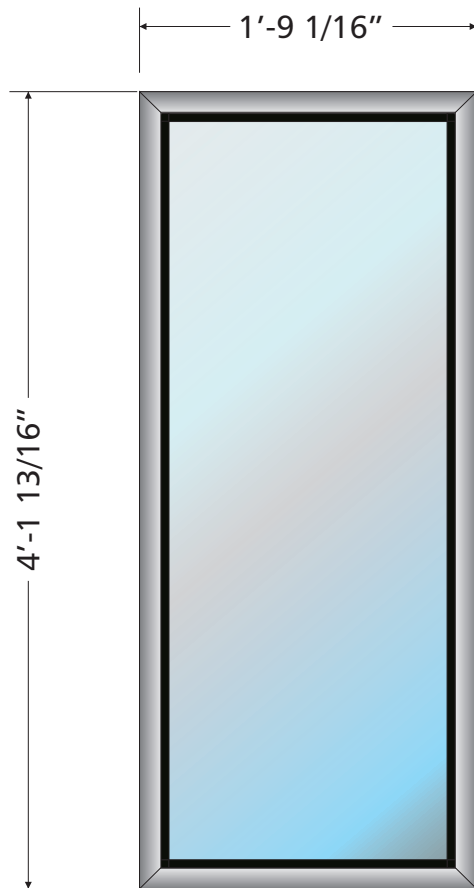


ALL WIRING MEETS NEC 2014 SPECIFICATIONS.  
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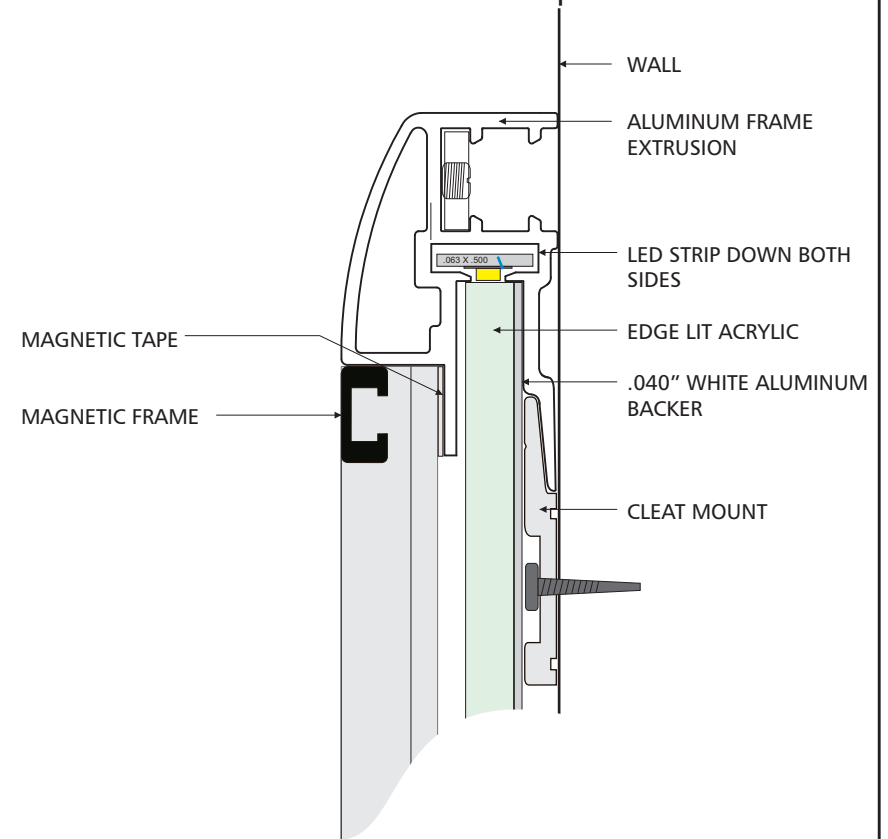
SIGN TYPE	SPECIFICATIONS	COLORS	SIGN SURVEY	ARTWORK
<input checked="" type="checkbox"/> DOUBLE FACE <input checked="" type="checkbox"/> ILLUMINATED  <input checked="" type="checkbox"/> GROUND	.150 FLAT SOLAR GRADE POLYCARBONATE FACES WITH FLAT DECORATED GRAPHICS.	<input checked="" type="checkbox"/> 313 DARK BRONZE <input checked="" type="checkbox"/> PMS 186 RED <input type="checkbox"/> WHITE <input checked="" type="checkbox"/> PMS 186 RED HAIR <input checked="" type="checkbox"/> PMS 201 BURGUNDY HAIR <input checked="" type="checkbox"/> PMS 299 BLUE <input checked="" type="checkbox"/> PMS 698 PINK <input checked="" type="checkbox"/> PMS 439 BROWN	<input type="checkbox"/> FACE TRIMS <input type="checkbox"/> FASCIA COLOR <input type="checkbox"/> RADIUS DIM. <input type="checkbox"/> BUILDING DIM. <input type="checkbox"/> FACADE ANGLE <input type="checkbox"/> OTHER	<input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> REQUIRED  If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.
FILENAME: U0901-IA-EXIT DATE: 1/1/13	REV#: _____ DGNR: TK	SCALE: 1" = 1' SALES: T. SHEEHY	Approval Signatures Required to insure that all spelling, colors, and specifications for sign(s) rendered meets customer & landlord approvals.	
CUSTOMER: _____ DATE: _____ LANDLORD: _____ DATE: _____		This original design and all information herein are the property of Custom Sign Center, Inc. Artwork is subject to return if not purchased. Any unauthorized use is forbidden.		

3200 Valleyview Drive  
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 Columbus, OH 43204  
 FX: 614-279-7525

**SILVER MERCHANDISER QUEUE BOARD**  
 U1101-SILVER-MERCH EDGE LIT  
 1.17 amp LED POWER SUPPLY



**Front View**  
 SCALE 1" = 1'-0"



**SECTION VIEW ACTUAL SIZE**



SIGN TYPE	SPECIFICATIONS	COLORS	SIGN SURVEY	ARTWORK
<input checked="" type="checkbox"/> SINGLE FACE <input checked="" type="checkbox"/> ILLUMINATED <input checked="" type="checkbox"/> WALL	<b>ILLUMINATED MERCHANDISER</b> - ALUMINUM FRAME POWDER COATED METALLIC SILVER WITH LED EDGE LIT ACRYLIC PANEL - MAGNETIC MERCHANDISER FRAME - WHITE 4000K LED ILLUMINATION.	<input checked="" type="checkbox"/> METALLIC SILVER	<input type="checkbox"/> FACE TRIMS <input type="checkbox"/> FASCIA COLOR <input type="checkbox"/> RADIUS DIM. <input type="checkbox"/> BUILDING DIM. <input type="checkbox"/> FACADE ANGLE <input type="checkbox"/> OTHER	<input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> REQUIRED If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.

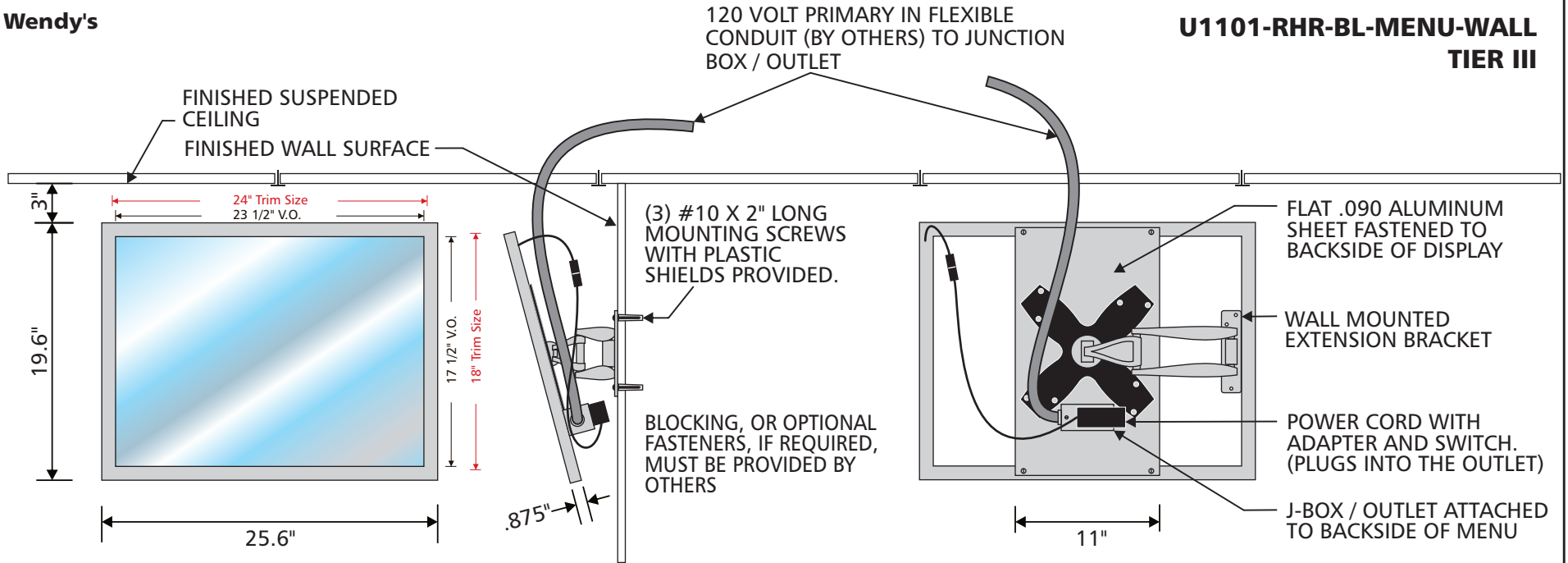
**custom SIGN Center, Inc.**  
 Full Service Sign Company  
 3200 Valleyview Drive Columbus, OH 43204  
 PH: 614-279-6700 FX: 614-279-7525

**FILENAME:** U1101-SILVER-MERCH EDGE LIT **REV#** \_\_\_\_\_ **SCALE:** AS NOTED  
**DATE:** 11/17/15 **REV.DATE:** 3/22/17 **DGNR:** JLB **SALES:** T. SHEEHY  
**Approval Signatures Required** to insure that all spelling, colors, and specifications for sign(s) rendered meets customer & landlord approvals.  
**CUSTOMER:** \_\_\_\_\_ **LANDLORD:** \_\_\_\_\_  
**DATE:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

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Wendy's

**U1101-RHR-BL-MENU-WALL  
TIER III**



**FRONT VIEW**  
**INTERIOR BACK-LIT MENU BOARD**  
SCALE 1" = 1'-0"

**SIDE VIEW**

**BACK VIEW**



**EXAMPLES OF RHR LOCATIONS**

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SIGN TYPE	SPECIFICATIONS	COLORS	SIGN SURVEY	ARTWORK
<input checked="" type="checkbox"/> SINGLE FACE <input checked="" type="checkbox"/> ILLUMINATED <input checked="" type="checkbox"/> HANGING	<b>WALL MOUNTED INTERIOR SINGLE FACE BACK-LIT MENU BOARD</b> - ALUMINUM CABINET WITH SNAP FRAME RETAINERS ON ALL FOUR SIDES. - ILLUMINATION: EDGE-LIT LED - WALL MOUNTED SWIVEL BRACKET	<input type="checkbox"/> AKZO NOBEL STERLING SILVER #FLNA9137	<input type="checkbox"/> FACE TRIMS <input type="checkbox"/> FASCIA COLOR <input type="checkbox"/> RADIUS DIM. <input type="checkbox"/> BUILDING DIM. <input type="checkbox"/> FACADE ANGLE <input type="checkbox"/> OTHER	<input type="checkbox"/> PROVIDED <input type="checkbox"/> REQUIRED If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.
<b>FILENAME:</b> U1101-RHR-BL-MENU-WALL <b>DATE:</b> 2/25/16	<b>SCALE:</b> AS NOTED <b>DGNR:</b> RTK/THW <b>SALES:</b> SHEEHY	<b>Approval Signatures Required</b> to insure that all spelling, colors, and specifications for sign(s) rendered meets customer & landlord approvals.		<b>CUSTOMER:</b> _____ <b>LANDLORD:</b> _____ <b>DATE:</b> _____ <b>DATE:</b> _____

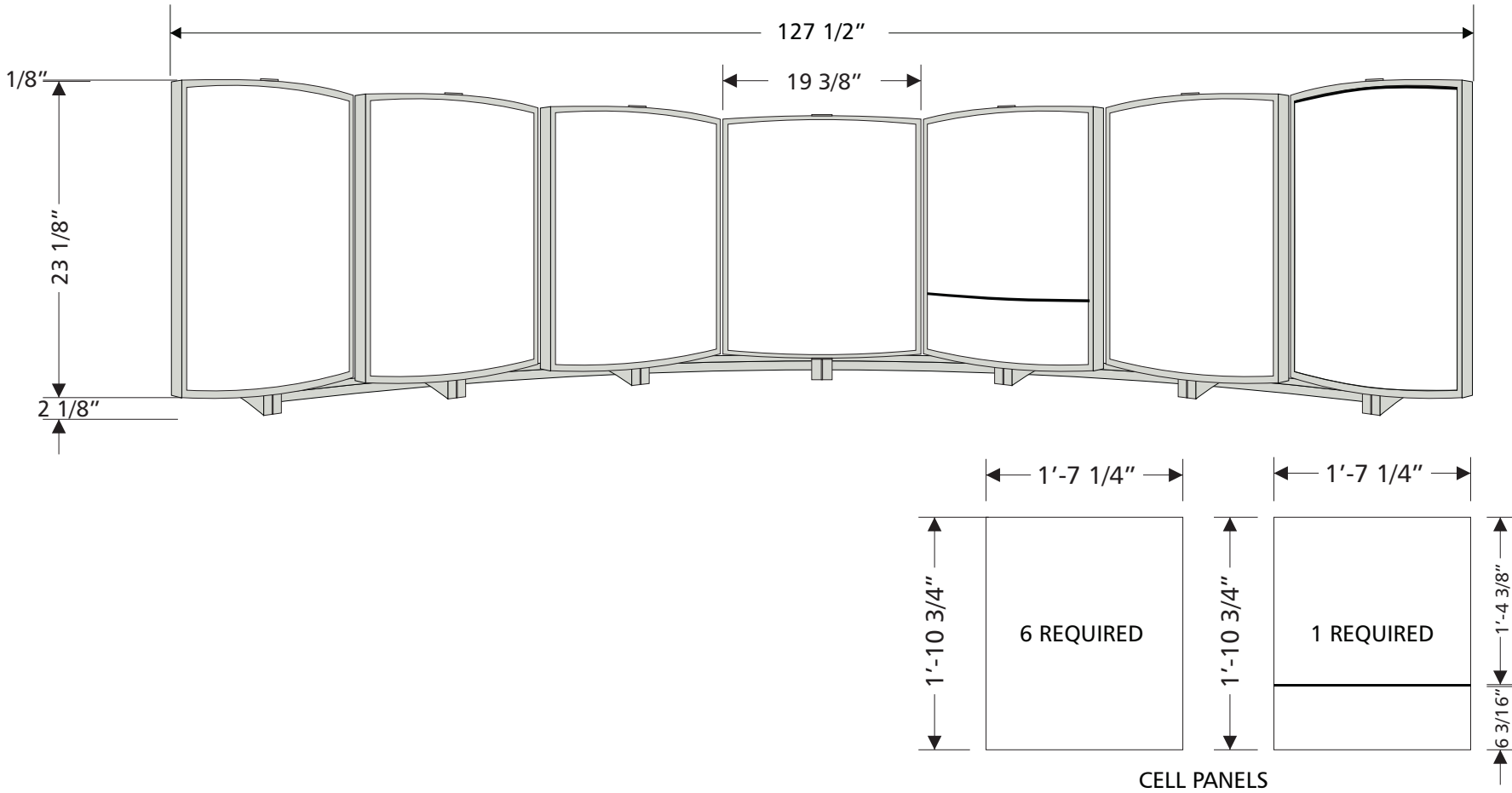
**custom SIGN Center, Inc.** Full Service Sign Company

3200 Valleyview Drive  
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Columbus, OH 43204  
FX: 614-279-7525

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**INTERIOR MENU**  
**MODEL U0803-RIM-ILLUM CURVED**  
**7 PANEL**

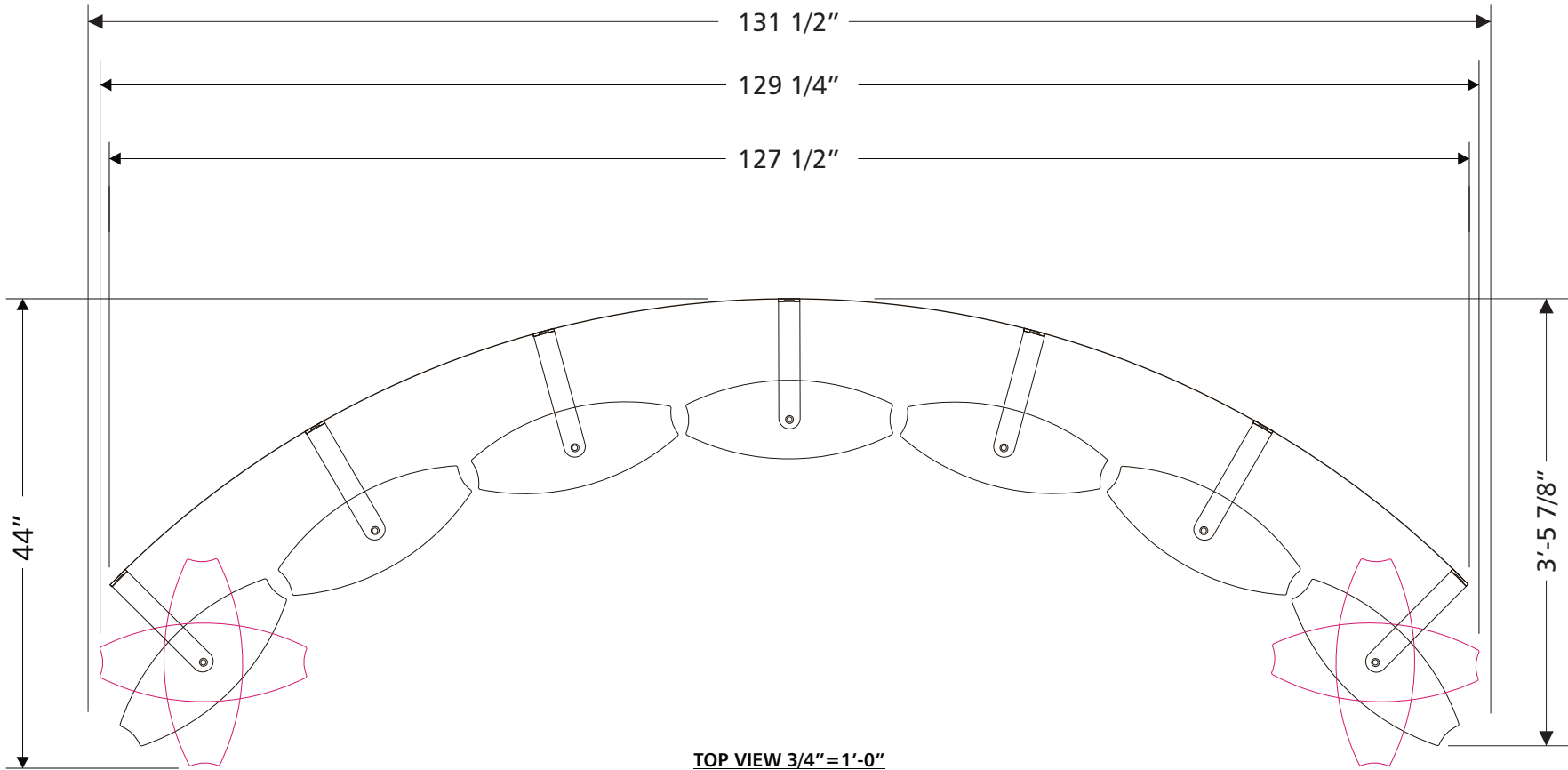


CELL PANELS

SCALE 3/4" = 1'-0"

SIGN TYPE	SPECIFICATIONS	COLORS	SIGN SURVEY	ARTWORK							
<input checked="" type="checkbox"/> SINGLE FACE <input type="checkbox"/> NON-ILLUM. <input type="checkbox"/> WALL	<b>CURVED INTERIOR MENU - 7 PANEL</b> - EXTRUDED ALUMINUM CABINETS PAINTED SILVER - ROTATING PANELS WITH MAGNETIC STOPS - LED ILLUMINATION - POP BY OTHERS	<input type="checkbox"/> AKZO NOBEL STERLING SILVER FLNA9137	<input type="checkbox"/> FACE TRIMS <input type="checkbox"/> FASCIA COLOR <input type="checkbox"/> RADIUS DIM. <input type="checkbox"/> BUILDING DIM. <input type="checkbox"/> FACADE ANGLE <input type="checkbox"/> OTHER	<input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> REQUIRED If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.	<p>3200 Valleyview Drive            PH: 614-279-6700            Columbus, OH 43204            FX: 614-279-7525</p>	<b>FILENAME:</b> U0803-RIM-ILLUM CURVED <b>DATE:</b> 3/9/15 <b>REV#</b> <b>REV.DATE:</b>	<b>SCALE:</b> AS NOTED <b>DGNR:</b> THW <b>SALES:</b> T. SHEEHY	<b>Approval Signatures Required</b> to insure that all spelling, colors, and specifications for sign(s) rendered meets customer & landlord approvals.	<b>CUSTOMER:</b> _____ <b>DATE:</b> _____	<b>LANDLORD:</b> _____ <b>DATE:</b> _____	This original design and all information herein are the property of Custom Sign Center, Inc. Artwork is subject to return if not purchased. Any unauthorized use is forbidden. © Copyright 2005 All rights reserved.

**INTERIOR MENU**  
MODEL U0803-RIM-ILLUM CURVED  
7 PANEL



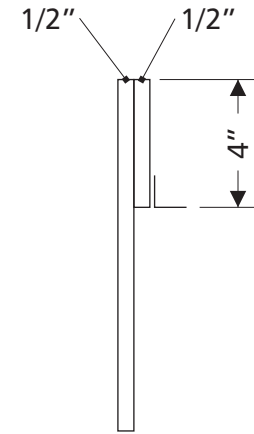
**INTERIOR CURVE MENU**



**INTERIOR WAYFINDING SIGNAGE**

AP-1B

ENTRY BRAND MOMENT



CAMEO SIDE VIEW  
N.T.S

**SIGN TYPE**

- SINGLE FACE
- NON-ILLUM.
- WALL

**SPECIFICATIONS**

**AP-1B WELCOME TO REAL**  
 - 1/8" ACRILEX ACRIGLAS METALLIC ACRYLIC SHEETS GUN METAL 9883 (HORIZONTAL GRAIN)  
 - 1/8" ACRILEX ACRIGLAS METALLIC ACRYLIC SHEETS BRONZE 9885C (HORIZONTAL GRAIN)  
 - VHB TAPE AND STYRENE INSTALLATION TEMPLATE  
 - 1/2" FIRST SURFACE DIGITAL PRINTED PVC CAMEO  
 - VHB TAPE AND ALUMINUM ANGLE MOUNTING CLIP

**COLORS**

- BRONZE 9885C (HORIZONTAL GRAIN)
- GUN METAL 9883 (HORIZONTAL GRAIN)
- WHITE
- PMS 186 RED HAIR
- PMS 201 BURGUNDY HAIR
- PMS 299 BLUE
- PMS 698 PINK
- PMS 439 BROWN

**SIGN SURVEY**

- FACE TRIMS
- FASCIA COLOR
- RADIUS DIM.
- BUILDING DIM.
- FACADE ANGLE
- OTHER

**ARTWORK**

- PROVIDED
  - REQUIRED
- If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.

3200 Valleyview Drive  
PH: 614-279-6700

Columbus, OH 43204  
FX: 614-279-7525

**FILENAME:** AP-1B ENTRY BRAND MOMENT **REV#** **SCALE:** 1/2" = 1'  
**DATE:** 5/19/16 **REV.DATE:** **DGNR:** THW **SALES:** T. SHEEHY

**Approval Signatures Required** to insure that all spelling, colors, and specifications for sign(s) rendered meets customer & landlord approvals.

**CUSTOMER:** \_\_\_\_\_ **LANDLORD:** \_\_\_\_\_  
**DATE:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

This original design and all information herein are the property of Custom Sign Center, Inc. Artwork is subject to return if not purchased. Any unauthorized use is forbidden. © Copyright 2005 All rights reserved

OPTION LIST  = OPTION NOT INCLUDED IN SET  = OPTION INCLUDED IN SET

Interior Options table with columns: Description, Description, Description, Description, Description. Items include Backlit Menu Board, Double Sided Grill, Music w/ Ceiling Mounted Speakers, etc.

Wendy's logo and header information: IMAGE STANDARD 3076 REFRESH. Includes project name, year, and revision information.

GENERAL NOTES

- 1. DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
2. REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS CONSTRUCTIBLE AS SHOWN.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS.
4. INTERIOR DIMENSIONS ARE TO THE FACE OF NEW STUD, UNLESS NOTED OTHERWISE.

ABBREVIATIONS

Table of abbreviations: Centerline, Insulation, Inside Diameter, etc. Includes symbols like @, I.D., INSUL., etc.

SYMBOLS LEGEND

Symbols legend including grid lines, window marks, door marks, ceiling finish codes, section reference, detail reference, elevation reference, and north arrows.

CODE DATA AND SQUARE FOOTAGE

Code data table: STORE TYPE: IMAGE STANDARD 3076; LOCATION: 4910 WASHINGTON AVENUE, RACINE, WISCONSIN 53406; BUILDING LEVEL: 1 OF 1; PLUMBING: WISCONSIN SPS 382; ELECTRICAL: NATIONAL ELECTRIC CODE 2011; MECHANICAL: INTERNATIONAL MECHANICAL CODE 2009 EDITION; FUEL GAS: INTERNATIONAL FUEL GAS CODE 2009 EDITION; ENERGY: INTERNATIONAL ENERGY CONSERVATION CODE 2009 EDITION; ACCESSIBILITY: ILLINOIS ACCESSIBILITY CODE & AMERICANS WITH DISABILITIES ACT (ADA); ZONING CLASSIFICATION: B2 - COMMUNITY SHOPPING; OCCUPANCY CLASSIFICATION: A-2 (RESTAURANT) WITH NO MIXED USE OCCUPANCIES; CONSTRUCTION TYPE: TYPE VB; AREA / HEIGHT LIMITATIONS: ALLOWED: TWO STORIES, 40' HIGH, MAXIMUM 9,500 SQ.FT.; PROVIDED: ONE STORY, 15'-6" HIGH, 2,902 SQ.FT. (INCLUDING EXISTING WALK IN FREEZER ATTACHED TO BUILDING); BUILDING SUMMARY: BUILDING AREA: 2,792 SQ.FT.; THE SQUARE FOOTAGE REMAINS UNCHANGED; OCCUPANCY CALCULATIONS: FLOOR USE SQUARE FOOTAGE OCCUPANT LOAD FACTOR NUMBER OF OCCUPANTS ALLOWED NUMBER OF SEATS.

SHEET INDEX

Sheet index table listing sheets: G1.1 COVER SHEET, AS1.1 ARCHITECTURAL SITE PLAN, AS1.2 ARCHITECTURAL SITE PLAN DIMENSIONS, LS1.1 LANDSCAPE PLAN, D1.1 DEMOLITION FLOOR PLAN, D3.1 DEMOLITION EXTERIOR ELEVATIONS, D3.2 DEMOLITION EXTERIOR ELEVATIONS, A1.1 FLOOR PLAN, A2.1 EXTERIOR ELEVATIONS, A2.2 EXTERIOR ELEVATIONS, A5.1 FINISHES PLAN, A6.1 FINISHES SCHEDULE, EQ1.1 EQUIPMENT PLAN AND SCHEDULE.

RESPONSIBILITY MATRIX

Responsibility matrix table with columns: ITEM OR SERVICE, FURNISHED BY, INSTALLED BY, CONNECTIONS BY, REMARKS. Services include MILLWORK, INTERIOR DECOR, FURNITURE, TV'S, TV BRACKETS & FIREPLACE, FRAMING MATERIAL, DRYWALL / TILE, INTERIOR BLADE WALL, POS SYSTEM, PLUMBING FIXTURES & RESTROOM ACCESSORIES, PAINTING, WALLPAPER, LIGHTING / POWER PLUGS, EXTERIOR ACM FLAG, EXTERIOR FASCIA PANELS / DRIVE-THRU CANOPIES, EXTERIOR SOFFIT PANELS, INTERIOR & EXTERIOR SIGNAGE, EXTERIOR RAILING, SITE WORK.

CONSTRUCTION / PRODUCT WARRANTIES

THESE CONSTRUCTION DOCUMENTS NOTE SPECIFIC PRODUCTS, DETAILS AND SPECIFICATIONS THAT WILL PROVIDE CONSTRUCTION / PRODUCT WARRANTIES FOR THE FOLLOWING AREAS OF CONSTRUCTION. ROOFING (DURO-LAST), INTERIOR TILE (LATICRETE) ALTERING THESE DOCUMENTS MAY ALTER THE WARRANTY GUIDELINES. DURO-LAST AND LATICRETE WILL BE REQUIRED TO APPROVE THE DRAWINGS TO MAINTAIN THE WARRANTIES. THE CONTRACTOR IS ALSO RESPONSIBLE FOR CONTACTING DURO-LAST AND LATICRETE FOR ON-SITE INSTALLATION INSPECTIONS OF EACH OF THE AREAS OF WORK.

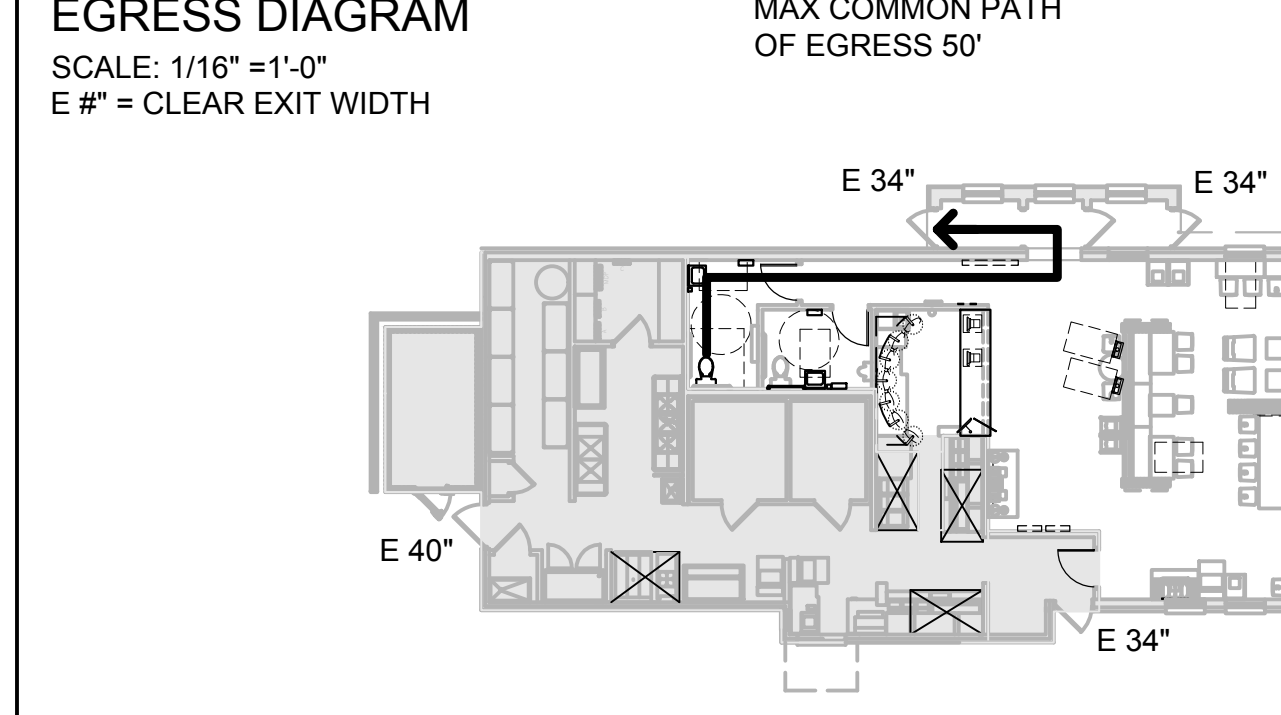
DESCRIPTIVE SUMMARY OF WORK

THE WORK INCLUDES ALL LABOR, MATERIALS, AND EQUIPMENT TO BUILD, FINISH, AND PROVIDE ALL SITE WORK AND UTILITIES, FOR A PROPOSED REMODEL OF AN EXISTING RESTAURANT FOR THE "OWNER". THE WORK SHALL INCLUDE ALL ITEMS REQUIRED AS SHOWN ON THE DRAWINGS. IN ADDITION ALL WORK ASSOCIATED WITH THE REPAIR/REPLACEMENT OF ANY PAVING, PARKING, WALKWAYS, PATIO SLAB, AND SITE UTILITIES TO THE BUILDING ARE TO BE PROVIDED IN THIS CONTRACT. ALL MECHANICAL EQUIPMENT AND SYSTEMS, ALL ELECTRICAL SYSTEMS, AND EQUIPMENT ARE TO BE INCLUDED FOR A COMPLETE OPERATING SYSTEM WITH COORDINATION AND INSTALLATION INCLUDED.

PROJECT TEAM | DIRECTORY

Client: BRIDGEMAN FOOD II, INC., 3309 COLLINS LANE, LOUISVILLE, KENTUCKY 40291, TEL: (502) 631-3171, E-FAX: (502) 855-3192, townen@bfccompanies.com. Architect: LISA KENNEDY, AIA, 9719 S. FRANKLIN DR., FRANKLIN, WI 53132, CONTACT: LISA KENNEDY, AIA, TEL: (414) 255-1362, FAX: (414) 255-1389, lkennedy@bfccompanies.com. Electrical Engineer: KIDWELL ENGINEERING, 333 E. MAIN ST. SUITE 501, LOUISVILLE, KY 40202, CONTACT: KASEY WOODS, TEL: (502) 414-4545, FAX: (502) 414-4560, kaseywoods@kidwellengineering.com. General Contractor: TO BE DETERMINED.

EGRESS DIAGRAM



VICINITY MAP



Metadata table: SITE NUMBER: 935, BASE MODEL: 3076, ASSET TYPE: FRANCHISEE, CLASSIFICATION: REFRESH, OWNER: BRIDGEMAN FOOD II, INC., BASE VERSION: 2017 APRIL, UPGRADE CLASSIFICATION: FRAN NEW BASE, PROJECT YEAR: 2017, FURNITURE PACKAGE: 2017, DESIGN BULLETINS: THRU DB 2017-04.

PROJECT TYPE: 3076 REFRESH



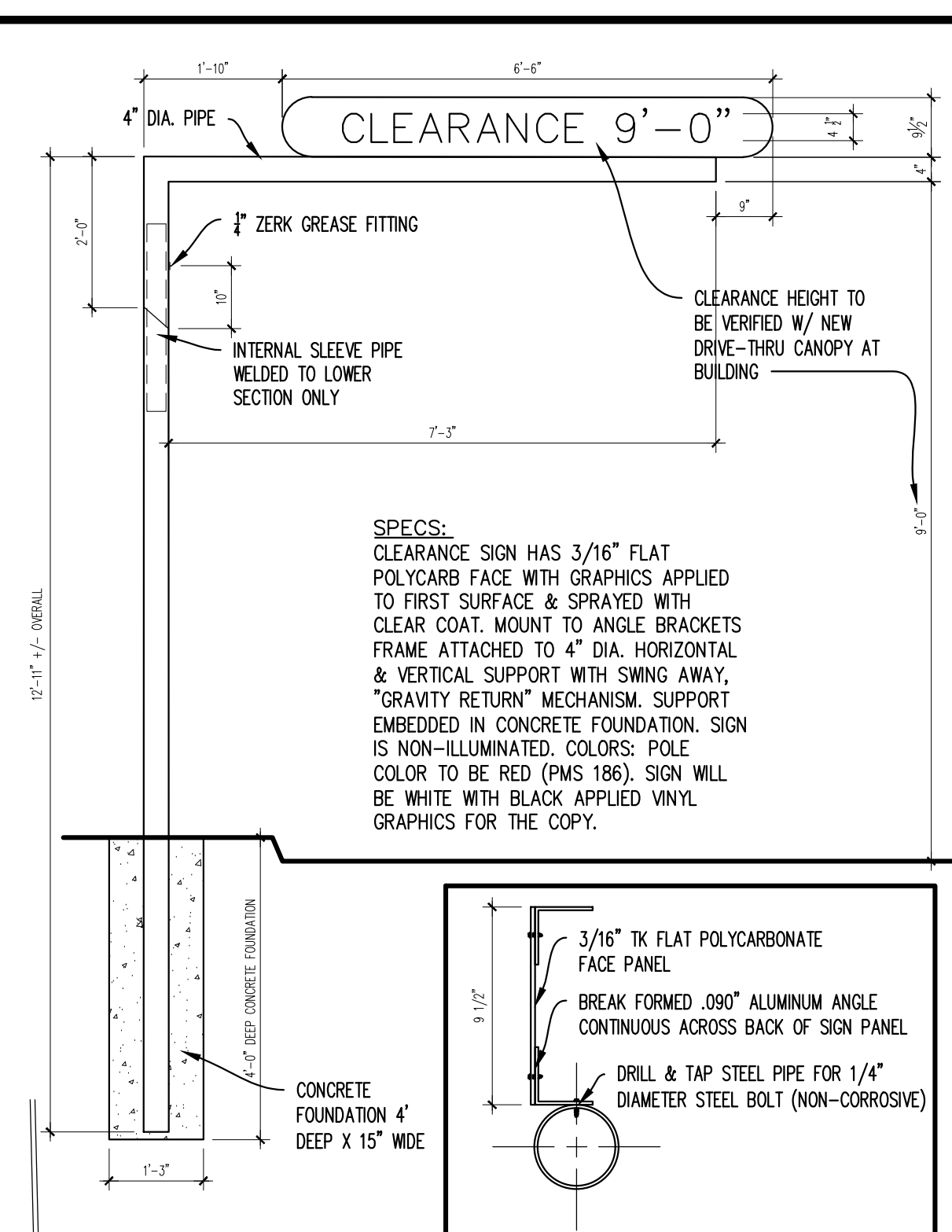
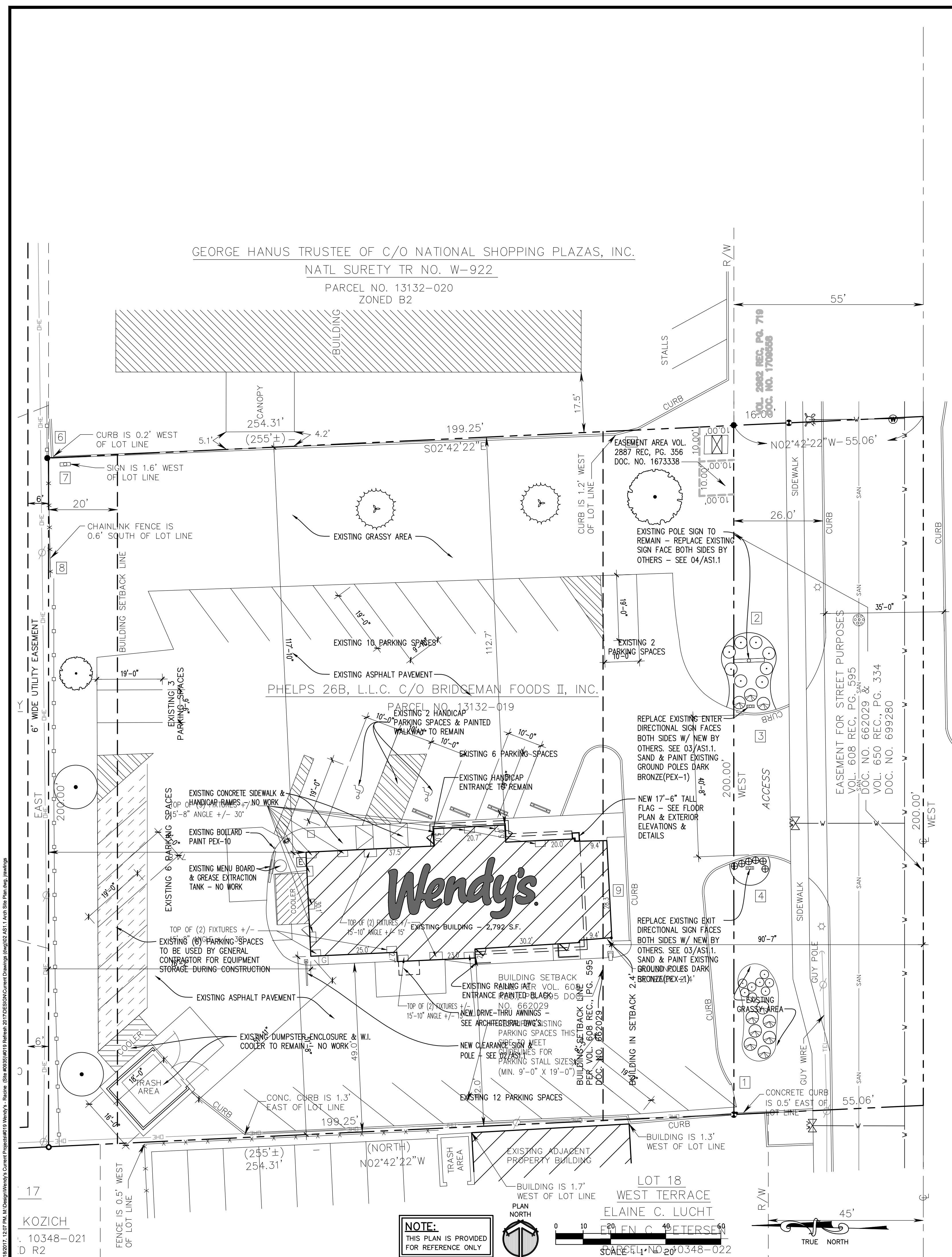
3309 Collins Lane
Louisville, Kentucky 40245
phone (502) 254-7130
tmcintyre@bfccompanies.com

Wendy's logo and address: 4910 WASHINGTON AVENUE, RACINE, WISCONSIN 53406.

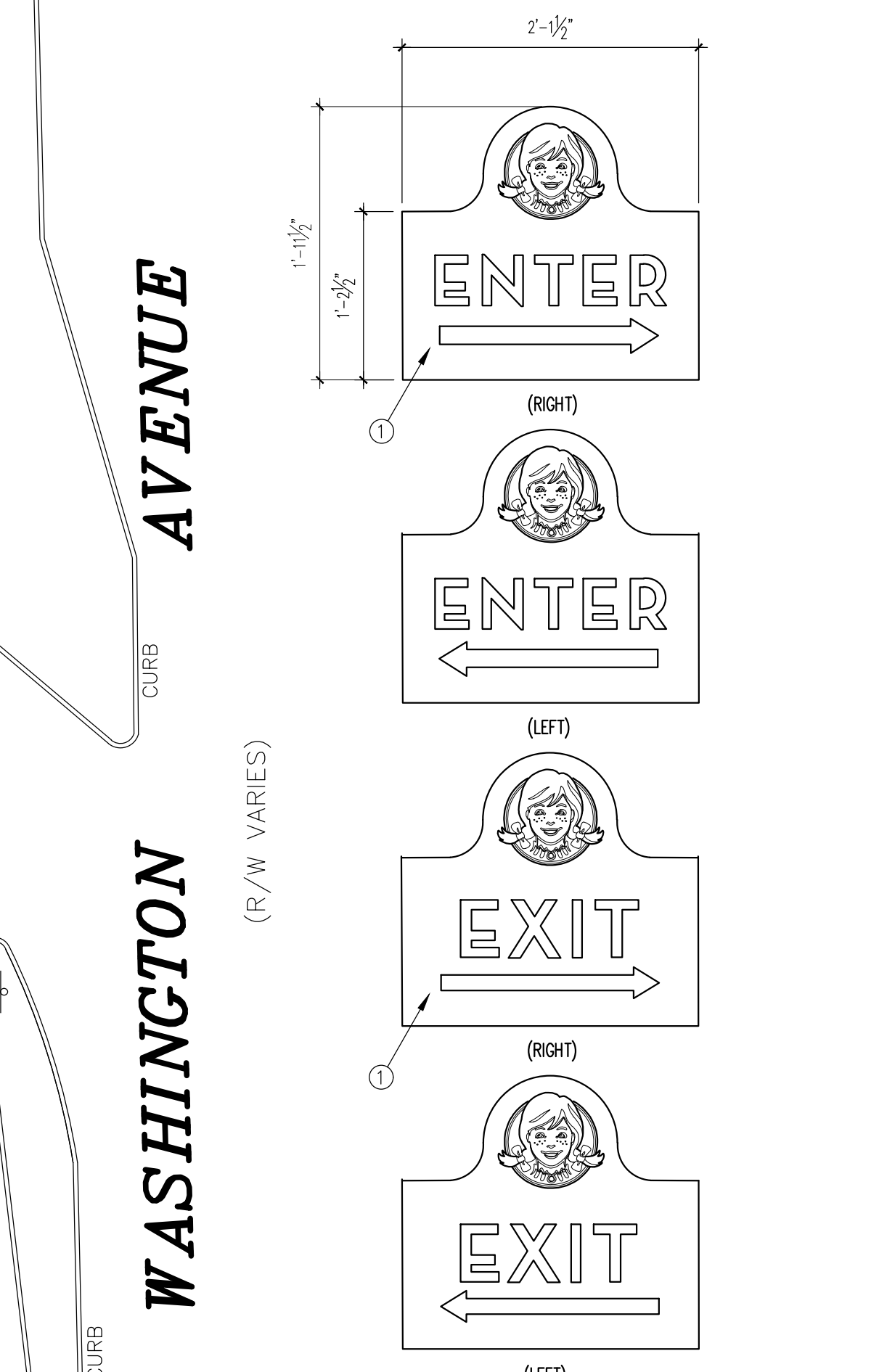
Revision table with columns: REV, DATE, DESCRIPTION.

ISSUED FOR PERMIT: 07/18/2017
DRAWN BY: TIM MCINTYRE
CHECKED BY: LISA KENNEDY

NOT FOR CONSTRUCTION stamp, SHEET NAME: COVER SHEET, SHEET NUMBER: G1.1.



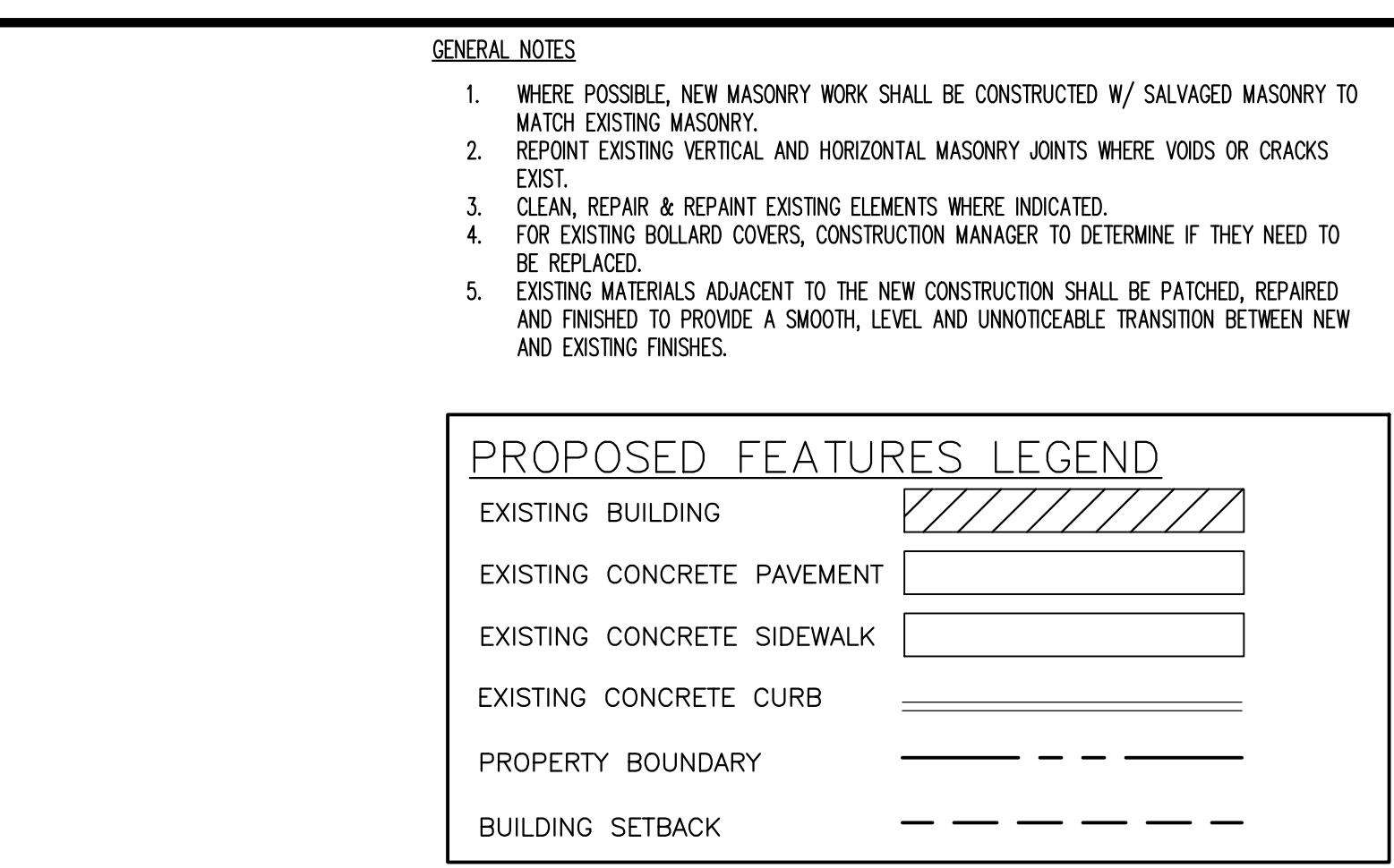
02 CLEARANCE POLE ELEVATION / SECTION  
SCALE: 1/2" = 1'-0"



03 SIGN FACE REPLACEMENT  
SCALE: 1" = 1'-0"

MATERIALS  
① 1/8" FLAT POLYCARBONATE DECORATED SECOND SURFACE

COLORS & FINISHES  
A BROWN (PMS 439C - CAMEO OUTLINE)  
B BLUE (PMS 299C - BOW, SHIRT, BROOCH)  
C FLESH (PMS 698C - FACE, NECK)  
D RED (PMS 186C - HAIR, SIGN FACE BACKGROUND)  
E DARK RED (PMS201C - HAIR OUTLINE)  
F WHITE (CAMEO FACE, LETTERS, CAMEO OUTLINE)



04 SIGN FACE REPLACEMENT ELEVATION  
SCALE: 1/2" = 1'-0"

GENERAL NOTES

- WHERE POSSIBLE, NEW MASONRY WORK SHALL BE CONSTRUCTED W/ SALVAGED MASONRY TO MATCH EXISTING MASONRY.
- REPORT EXISTING VERTICAL AND HORIZONTAL MASONRY JOINTS WHERE VOIDS OR CRACKS EXIST.
- CLEAN, REPAIR & REPAINT EXISTING ELEMENTS WHERE INDICATED.
- FOR EXISTING BOLLARD COVERS, CONSTRUCTION MANAGER TO DETERMINE IF THEY NEED TO BE REPLACED.
- EXISTING MATERIALS ADJACENT TO THE NEW CONSTRUCTION SHALL BE PATCHED, REPAIRED AND FINISHED TO PROVIDE A SMOOTH, LEVEL AND UNNOTICEABLE TRANSITION BETWEEN NEW AND EXISTING FINISHES.

PROPOSED FEATURES LEGEND

EXISTING BUILDING

EXISTING CONCRETE PAVEMENT

EXISTING CONCRETE SIDEWALK

EXISTING CONCRETE CURB

PROPERTY BOUNDARY

BUILDING SETBACK

NOTE: FOR PAINT & FINISH COLORS, SEE SHEET A6.1

COLORS & FINISHES

A BROWN (PMS 439C - CAMEO OUTLINE)  
B BLUE (PMS 299C - BOW, SHIRT, BROOCH)  
C FLESH (PMS 698C - FACE, NECK)  
D RED (PMS 186C - HAIR, SIGN FACE BACKGROUND)  
E DARK RED (PMS201C - HAIR OUTLINE)  
F WHITE (CAMEO FACE, LETTERS, CAMEO OUTLINE)  
G DARK BRONZE - ALC#313 (PYLON CABINET, DECORATIVE VALENCE)

MATERIALS

- CABINET - 30" WIDE STEEL ANGLE FRAME SKINNED WITH 24 GA. PAINTGRIP SHEET STEEL
- DECORATIVE VALENCE - 30" WIDE STEEL ANGLE FRAME SKINNED WITH 24 GA. PAINTGRIP SHEET STEEL 3'-9" X 10'-0" X 2'-6"
- SIGN MUST BE MOUNTED TO TOP SECTION OF EXISTING GROUND POLE
- ILLUMINATED WITH METAL HALIDE LAMPS BALLAST AND FIXTURES ARE INCLUDED IN LIGHTING PACKAGE
- TRANSLUCENT VINYL FLEXIBLE FACE MATERIAL. DECORATED ON FIRST SURFACE

NOTE: FIELD VERIFY ALL DIMENSIONS OF EXISTING SIGNS

SITE NUMBER: 935  
BASE MODEL: 3076  
ASSET TYPE: FRANCHISEE  
CLASSIFICATION: REFRESH  
OWNER: BRIDGEMAN FOOD II, INC.  
BASE VERSION: 2017 APRIL  
UPGRADE CLASSIFICATION: FRAN NEW BASE  
PROJECT YEAR: 2017  
FURNITURE PACKAGE: 2017  
DESIGN BULLETINS: THRU DB 2017-04

PROJECT TYPE: 3076  
REFRESH

Bridgeman Foods II, Inc.  
architecture interior design consulting services  
3309 Collins Lane  
Louisville, Kentucky 40245  
phone (502) 254-7130  
tmcintyre@bfccompanies.com

4910 WASHINGTON AVENUE  
RACINE, WISCONSIN 53406

Wendy's

ISSUED FOR PERMIT DATE: 07/18/2017

ISSUED FOR PERMIT DATE: 07/18/2017

DRAWN BY: TIM MCINTYRE  
CHECKED BY: LISA KENNEDY

NOT FOR CONSTRUCTION

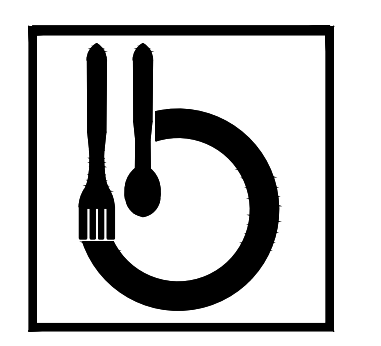
ARCHITECTURAL SITE PLAN

AS1.1



SITE NUMBER:	935
BASE MODEL:	3076
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REFRESH
OWNER:	BRIDGEMAN FOOD II, INC.
BASE VERSION:	2017 APRIL
UPGRADE CLASSIFICATION:	FRAN NEW BASE
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2017
DESIGN BULLETINS:	THRU DB 2017-04

PROJECT TYPE: **3076**  
**REFRESH**



**Bridgeman Foods II, Inc.**  
architecture  
interior design  
consulting services  
3309 Collins Lane  
Louisville, Kentucky 40245  
phone (502) 254-7130  
tmcintyre@bfccompanies.com

**Wendy's**  
4910 WASHINGTON AVENUE  
RACINE, WISCONSIN 53406

REV.	DATE	DESCRIPTION

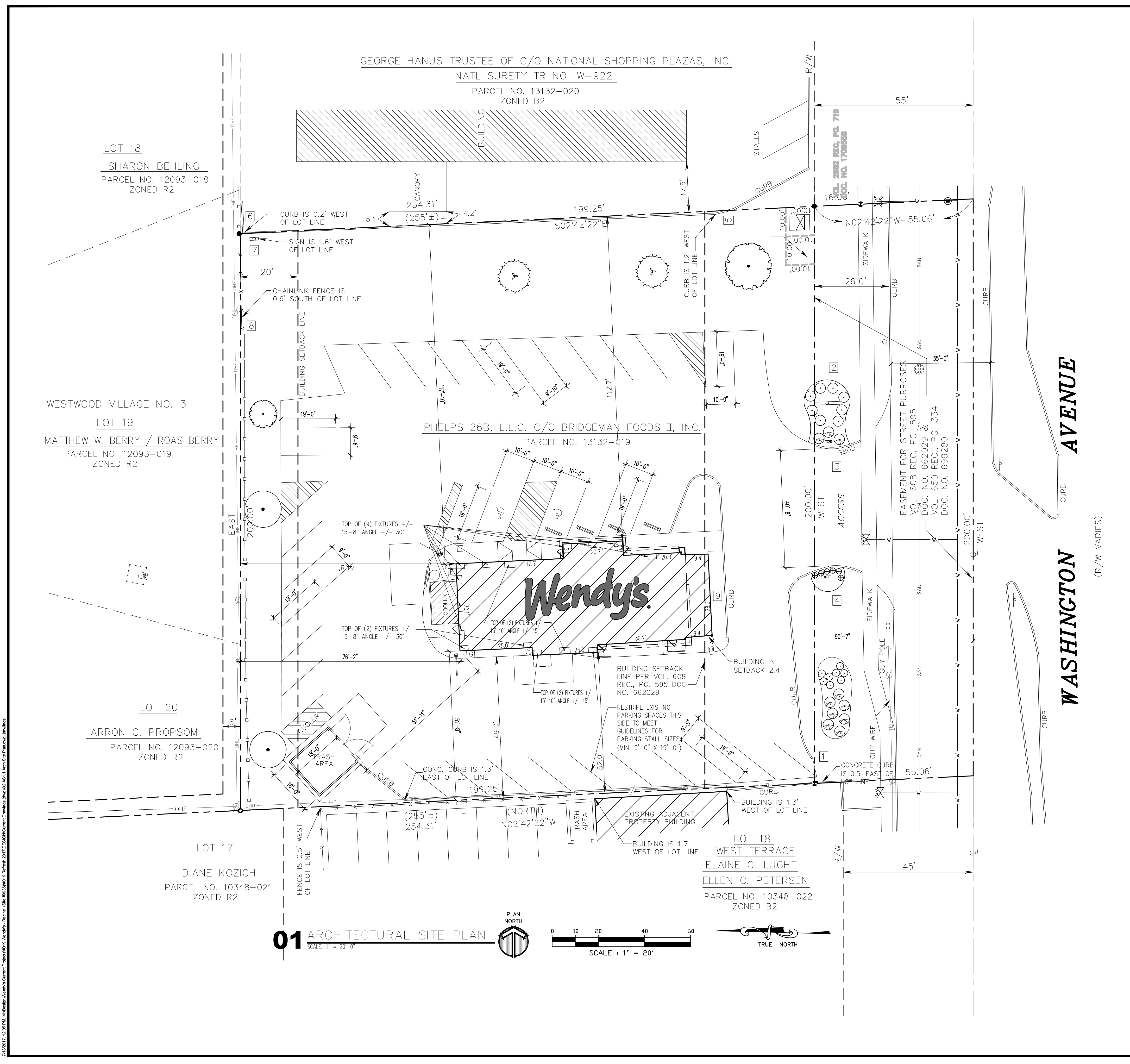
ISSUED FOR PERMIT DATE: 07/18/2017

DRAWN BY: TIM MCINTYRE  
CHECKED BY: LISA KENNEDY

NOT FOR CONSTRUCTION

SHEET NAME  
ARCHITECTURAL  
SITE PLAN DIMENSIONS  
SHEET NUMBER

**AS1.2**



**PROPOSED FEATURES LEGEND**

EXISTING BUILDING	
EXISTING CONCRETE PAVEMENT	
EXISTING CONCRETE SIDEWALK	
EXISTING CONCRETE CURB	
PROPERTY BOUNDARY	
BUILDING SETBACK	

NOTE: FOR PAINT & FINISH COLORS, SEE SHEET A6.1

**PARKING STALLS - PROPOSED:**

HANDICAP STALLS = 2
REGULAR STALLS = 35 VERSUS 37 EXISTING
<b>PARKING STALL REQUIREMENTS:</b>
10 STALLS PER 1,000 SQ. FT. OF GROSS FLOOR AREA

**ACCESS STATEMENT**

ACCESS TO AND FROM SUBJECT PROPERTY "DIRECT" TO WASHINGTON AVENUE, A PUBLIC RIGHT OF WAY AS SHOWN.

**FLOOD ZONE**

THIS PARCEL FALLS WITHIN ZONE "C" AS SHOWN ON FEMA MAP COMMUNITY NO. 555575 A, MAP INDEX H & I-04 EFFECTIVE DATE FEBRUARY 2, 1976.

**ZONING**

THIS PROPERTY IS ZONED B2, COMMUNITY SHOPPING AND ALLOWS FOR CURRENT USE.

**SETBACKS**

FRONT AND SIDE BUILDING SETBACK LINES ARE BASED ON STATE INTERNATIONAL BUILDING CODE (IBC) PER ALBERT KOSTERMAN, CITY OF RACINE, BUILDING INSPECTOR, PHONE: (262)636-9162 REAR = 20 FEET, MAX. BUILDING HEIGHT = NONE, PER JOHN LUTHER, CITY OF RACINE BUILDING INSPECTOR, PHONE: (262)636-9162

**POSSIBLE ENCROACHMENTS:**

- CONCRETE CURB EAST OF LOT LINE
- WENDY'S SIGN SOUTH OF LOT LINE
- WENDY'S SIGN SOUTH OF LOT LINE
- WENDY'S SIGN SOUTH OF LOT LINE
- CONCRETE CURB WEST OF LOT LINE
- CONCRETE CURB WEST OF LOT LINE
- SIGN WEST OF LOT LINE
- CHAINLINK FENCE SOUTH OF LOT LINE
- BUILDING IS IN 93 FOOT SETBACK REQUIREMENT FROM SOUTH PROPERTY LINE, PER VOL. 608 REC. PG. 595 DOC NO. 662029.

**SITE DATA:**

ZONING:	B-2
EXISTING USE:	RESTAURANT
ADDRESS:	4910 WASHINGTON AVENUE
CITY:	RACINE
STATE:	WISCONSIN

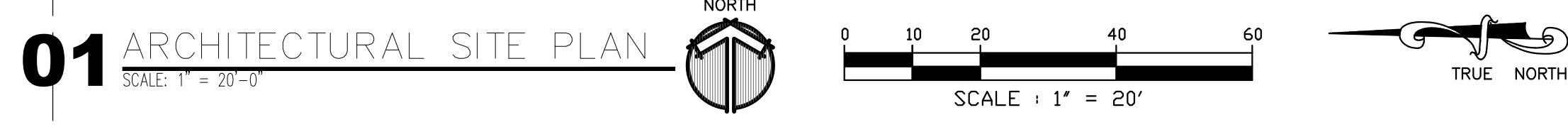
OWNER: BRIDGEMAN FOOD II, INC.  
3309 COLLINS LANE  
LOUISVILLE, KENTUCKY 40245  
(502) 631-3171 CONTACT: TED OWEN

BUILDING SQUARE FOOTAGE: 2,792 SQ. FT. (BUILDING ONLY), 2,902 SQ. FT. (INCLUDING W.I. FREEZER)  
TOTAL AREA: 50,805 SQ. FT. - 1.17 ACRES  
BUILDING HEIGHT: 15'-6"  
EXISTING PARKING: 37 SPACES + 2 HANDICAPPED SPACES = 39 TOTAL

**LEGAL DESCRIPTION:** THAT PART OF THE 1/4 OF SECTION 13, TOWNSHIP 3 NORTH, RANGE 22 EAST, WHICH IS DESCRIBED AS FOLLOWS:  
BEGINNING AT THE EAST 1/4 CORNER OF SAID SECTION 13; RUNNING THENCE WEST ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION TO A POINT WHICH IS 200.00 FEET EAST MEASURED ALONG THE EAST AND WEST 1/4 LINE OF THE EAST LINE OF WEST TERRACE; A RECORDED SUBDIVISION, TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE NORTHERLY AND PARALLEL WITH THE EAST LINE OF WEST TERRACE, 255.00 FEET MORE OR LESS TO THE SOUTHERLY LINE OF WESTWOOD VILLAGE NO. 3, A RECORDED SUBDIVISION, THENCE WEST ALONG THE SOUTHERLY LINE OF WESTWOOD VILLAGE NO. 3, AFORESAID 200.00 FEET, MORE OR LESS, TO THE EAST LINE OF WEST TERRACE; THENCE SOUTHERLY ALONG THE EAST LINE OF WEST TERRACE, 255.00 FEET MORE OR LESS, TO THE EAST - WEST 1/4 LINE; THENCE EAST 200.00 FEET ALONG THE EAST-WEST 1/4 LINE TO THE BEGINNING POINT OF THIS DESCRIPTION. SAID LAND BEING IN THE CITY OF RACINE, COUNTY OF RACINE, STATE OF WISCONSIN.

ORIGINAL SURVEY PREPARED BY OTHERS

FLOOD ZONE: THIS PROPERTY FALLS WITHIN ZONE "C" AS SHOWN ON FEMA MAP COMMUNITY NO. 555575 A, MAP INDEX H & I-04 EFFECTIVE DATE FEBRUARY 2, 1976



7/18/2017 12:08 PM, H:\Design\Wendys\Current\Projects\Wendys - Racine - Site\2017\DWG\AS1.2.dwg, User: tmcintyre, Plot Date: 7/18/2017 12:08 PM, Plot Scale: 1" = 20'-0"

**SITE DATA:**  
 ZONING: B-2  
 EXISTING USE: RESTAURANT  
 ADDRESS: 4910 WASHINGTON AVENUE  
 CITY: RACINE  
 STATE: WISCONSIN

OWNER: BRIDGEMAN FOOD II, INC.  
 3309 COLLINS LANE  
 LOUISVILLE, KENTUCKY 40245  
 (502) 631-3171 CONTACT: TED OWEN

BUILDING SQUARE FOOTAGE: 2,792 SQ. FT.(BUILDING ONLY), 2,902 SQ. FT. (INCLUDING W.I. FREEZER)  
 TOTAL AREA: 50,805 SQ. FT. - 1.17 ACRES  
 BUILDING HEIGHT: 15'-6"  
 EXISTING PARKING: 37 SPACES + 2 HANDICAPPED SPACES = 39 TOTAL

**LEGAL DESCRIPTION:** THAT PART OF THE 1/4 OF SECTION 13, TOWNSHIP 3 NORTH, RANGE 22 EAST, WHICH IS DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE EAST 1/4 CORNER OF SAID SECTION 13; RUNNING THENCE WEST ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION TO A POINT WHICH IS 200.00 FEET EAST MEASURED ALONG THE EAST AND WEST 1/4 LINE OF THE EAST LINE OF WEST TERRACE, A RECORDED SUBDIVISION, TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE NORTHERLY AND PARALLEL WITH THE EAST LINE OF WEST TERRACE, 255.00 FEET MORE OR LESS TO THE SOUTHERLY LINE OF WESTWOOD VILLAGE NO. 3, A RECORDED SUBDIVISION, THENCE WEST ALONG THE SOUTHERLY LINE OF WESTWOOD VILLAGE NO. 3, AFORSAID 200.00 FEET, MORE OR LESS, TO THE EAST LINE OF WEST TERRACE; THENCE SOUTHERLY ALONG THE EAST LINE OF WEST TERRACE, 255.00 FEET MORE OR LESS, TO THE EAST - WEST 1/4 LINE.; THENCE EAST 200.00 FEET ALONG THE EAST-WEST 1/4 LINE TO THE BEGINNING POINT OF THIS DESCRIPTION. SAID LAND BEING IN THE CITY OF RACINE, COUNTY OF RACINE, STATE OF WISCONSIN.

ORIGINAL SURVEY PREPARED BY OTHERS

FLOOD ZONE: THIS PROPERTY FALLS WITHIN ZONE "C" AS SHOWN ON FEMA MAP COMMUNITY NO. 55575 A, MAP INDEX H & I-04 EFFECTIVE DATE FEBRUARY 2, 1976

**NOTE:**  
 EXISTING LANDSCAPING IS PROPOSED TO REMAIN AS IS WITH NO NEW LANDSCAPING ADDED

- GENERAL NOTES**
- WHERE POSSIBLE, NEW MASONRY WORK SHALL BE CONSTRUCTED W/ SALVAGED MASONRY TO MATCH EXISTING MASONRY.
  - REPOINT EXISTING VERTICAL AND HORIZONTAL MASONRY JOINTS WHERE VOIDS OR CRACKS EXIST.
  - CLEAN, REPAIR & REPAINT EXISTING ELEMENTS WHERE INDICATED.
  - FOR EXISTING BOLLARD COVERS, CONSTRUCTION MANAGER TO DETERMINE IF THEY NEED TO BE REPLACED.
  - EXISTING MATERIALS ADJACENT TO THE NEW CONSTRUCTION SHALL BE PATCHED, REPAIRED AND FINISHED TO PROVIDE A SMOOTH, LEVEL AND UNNOTICEABLE TRANSITION BETWEEN NEW AND EXISTING FINISHES.

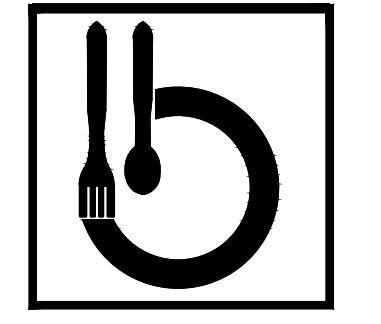
**PROPOSED FEATURES LEGEND**

EXISTING BUILDING	
EXISTING CONCRETE PAVEMENT	
EXISTING CONCRETE SIDEWALK	
EXISTING CONCRETE CURB	
PROPERTY BOUNDARY	
BUILDING SETBACK	

NOTE: FOR PAINT & FINISH COLORS, SEE SHEET A6.1

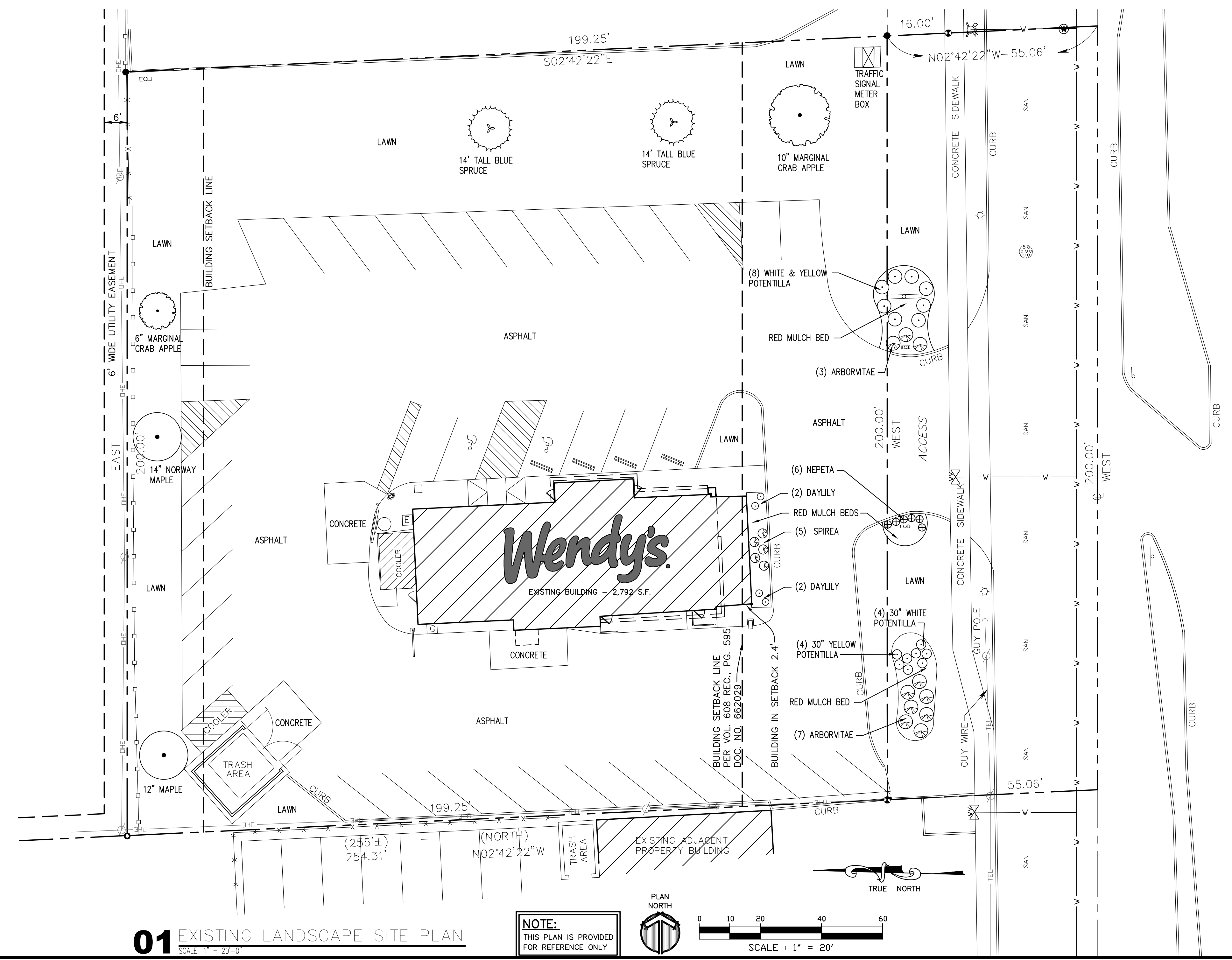
SITE NUMBER: 935  
 BASE MODEL: 3076  
 ASSET TYPE: FRANCHISEE  
 CLASSIFICATION: REFRESH  
 OWNER: BRIDGEMAN FOOD II, INC.  
 BASE VERSION: 2017 APRIL  
 UPGRADE CLASSIFICATION:  
 FRAN NEW BASE  
 PROJECT YEAR: 2017  
 FURNITURE PACKAGE: 2017  
 DESIGN BULLETINS: THRU DB 2017-04

PROJECT TYPE: **3076**  
**REFRESH**



*Bridgeman Foods II, Inc.*  
 architecture  
 interior design  
 consulting services

3309 Collins Lane  
 Louisville, Kentucky 40245  
 phone (502) 254-7130  
 tmcintyre@bfccompanies.com



**01** EXISTING LANDSCAPE SITE PLAN  
 SCALE: 1" = 20'-0"

**NOTE:**  
 THIS PLAN IS PROVIDED FOR REFERENCE ONLY



WASHINGTON AVENUE

(R/W VARIES)

**Wendy's**  
 4910 WASHINGTON AVENUE  
 RACINE, WISCONSIN 53406

REV.	DATE	DESCRIPTION

ISSUED FOR PERMIT  
 ISSUE DATE: 07/18/2017

DRAWN BY: TIM MCINTYRE  
 CHECKED BY: LISA KENNEDY

**NOT FOR CONSTRUCTION**

SHEET NAME  
 EXISTING LANDSCAPE  
 SITE PLAN

SHEET NUMBER  
**LS1.1**

7/18/2017 12:31 PM, M:\Design\Wendy's\Current\Projects\Wendy's - Racine - 2017\DESIGN\Current\Drawings\02\LS1.1 Landscape Site Plan.dwg, jswang

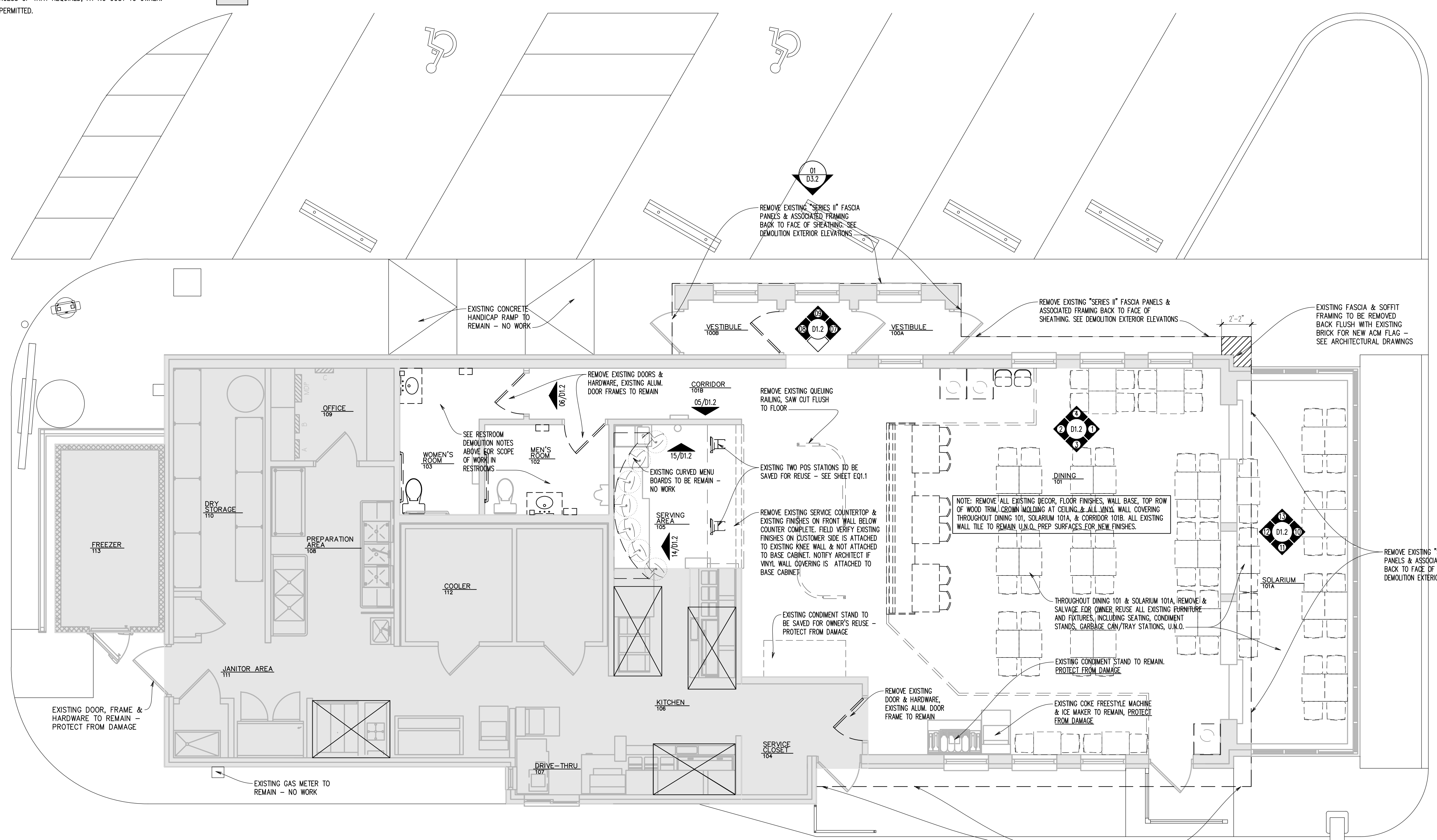
**DEMOLITION FLOOR PLAN GENERAL NOTES:**

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED TO IMPLEMENT NEW WORK, AS SHOWN ON OTHER DRAWINGS. THIS PLAN INDICATES ONLY THE APPROXIMATE DEMOLITION REQUIRED FOR COMPLETION OF THIS REMODEL. EXISTING CONDITIONS NOT SHOWN OR NOTED SHALL REMAIN UNCHANGED UNLESS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL EXISTING MATERIALS ADJACENT TO THE NEW CONSTRUCTION SHALL BE PATCHED, REPAIRED, AND FINISHED TO PROVIDE A SMOOTH, LEVEL AND UNNOTICEABLE TRANSITION BETWEEN NEW AND EXISTING FINISHES.
2. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY WENDY'S REPRESENTATIVE AND ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
3. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE AND PLACE BRACING OR SHORING TO ENSURE SAFETY AND SUPPORT OF STRUCTURE. G.C. TO ASSUME LIABILITY FOR SUCH MOVEMENT, DAMAGE, OR INJURY.
4. CEASE OPERATIONS AND NOTIFY THE WENDY'S REPRESENTATIVE IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE COMPROMISED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
5. PROVIDE, ERECT, AND MAINTAIN BARRICADES, LIGHTING, AND GUARD RAILS AS REQUIRED BY APPLICABLE CODES TO PROTECT OCCUPANTS OF BUILDING, WORKERS, AND PEDESTRIANS.
6. BEFORE DISCONNECTING, REMOVING, AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION, NOTIFY THE LOCAL UTILITY COMPANY AND WENDY'S REPRESENTATIVE IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THE WORK.
7. HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION, AND DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS) PRIOR TO DEMOLITION.
8. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
9. EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE.
10. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS.
11. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
12. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO COST TO OWNER.
13. BURNING OF MATERIALS ON SITE IS NOT PERMITTED.

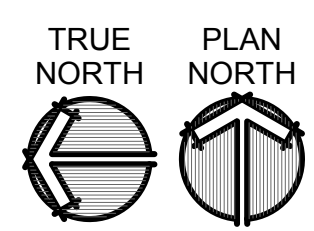
- AREA OF WORK LEGEND**
1. SHADED AREA DENOTES NO NEW WORK

**RESTROOM DEMOLITION FLOOR PLAN NOTES:**

1. REMOVE EXISTING RESTROOM ACCESSORIES AS REQUIRED FOR NEW WORK. ITEMS ARE TO BE STORED & REUSED U.N.O. IN SAME LOCATION.
2. REMOVE EXISTING FLOOR TILE & TILE BASE THROUGHOUT THE RESTROOMS. CLEAN, PREP, & REPAIR ALL CONCRETE FLOORS & WALLS FOR NEW SCHEDULED FINISHES. PROVIDE WATERPROOFING MEMBRANE THROUGHOUT RESTROOMS AND EXTEND UP ALL WALLS A MINIMUM OF 6" A.F.F.
3. IN BOTH RESTROOMS REMOVE & DISCARD EXISTING LAVATORIES & MIRRORS.
4. IN MEN'S RESTROOM, REMOVE EXISTING HAND DRYER AND ABANDON ELECTRICAL SERVICE IN WALL.
5. IN BOTH RESTROOMS, REMOVE EXISTING 3'-6" LONG HANDICAP GRAB BARS THAT ARE MOUNTED AT AN ANGLE. F&I NEW WOOD BLOCKING IN WALLS AS REQ'D. & INSTALL EXISTING GRAB BARS PER SHEET A7.2 INTERIOR ELEVATIONS.
6. IN WOMEN'S RESTROOM, REMOVE & REUSE EXISTING TOILET THAT IS 12" FROM THE CENTER OF THE TOILET TO THE WALL. TRENCH FLOOR AND REWORK PLUMBING WASTE LINE AS REQ'D. TO INSTALL EXISTING TOILET 1'-6" FROM THE CENTER OF THE TOILET TO THE FINISH WALL.
7. IN BOTH RESTROOMS, REMOVE EXISTING PAPER TOWEL DISPENSERS AND DISCARD. G.C. TO FURNISH & INSTALL NEW AUTOMATIC PAPER TOWEL DISPENSERS PER SHEET A7.2 INTERIOR ELEVATIONS.
8. DURING ONE WEEK SHUT CLOSURE OF THE DINING ROOM TO THE PUBLIC, ONE ACCESSIBLE RESTROOM WILL REMAIN OPEN AT A TIME AS A "UNISEX" RESTROOM. A TEMPORARY LOCKING DEVICE WILL BE APPLIED TO THE DOOR OF THE FUNCTIONING RESTROOM FOR PRIVACY PURPOSES.

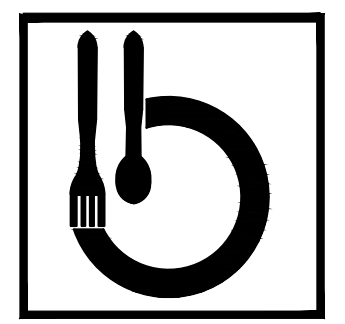


**01 "AS-BUILT" DEMOLITION FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



SITE NUMBER:	935
BASE MODEL:	3076
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REFRESH
OWNER:	BRIDGEMAN FOOD II, INC.
BASE VERSION:	2017 APRIL
UPGRADE CLASSIFICATION:	FRAN NEW BASE
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2017
DESIGN BULLETINS: THRU DB 2017-04	

PROJECT TYPE: **3076**  
**REFRESH**



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*interior design*  
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**Wendy's**  
4910 WASHINGTON AVENUE  
RACINE, WISCONSIN 53406

REV.	DATE	DESCRIPTION

ISSUED FOR PERMIT  
ISSUE DATE: 07/18/2017

DRAWN BY: TIM MCINTYRE  
CHECKED BY: LISA KENNEDY

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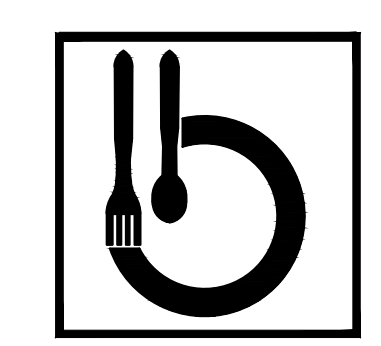
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**DEMOLITION FLOOR PLAN**  
SHEET NUMBER

**D1.1**

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SITE NUMBER:	935
BASE MODEL:	3076
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REFRESH
OWNER:	BRIDGEMAN FOOD II, INC.
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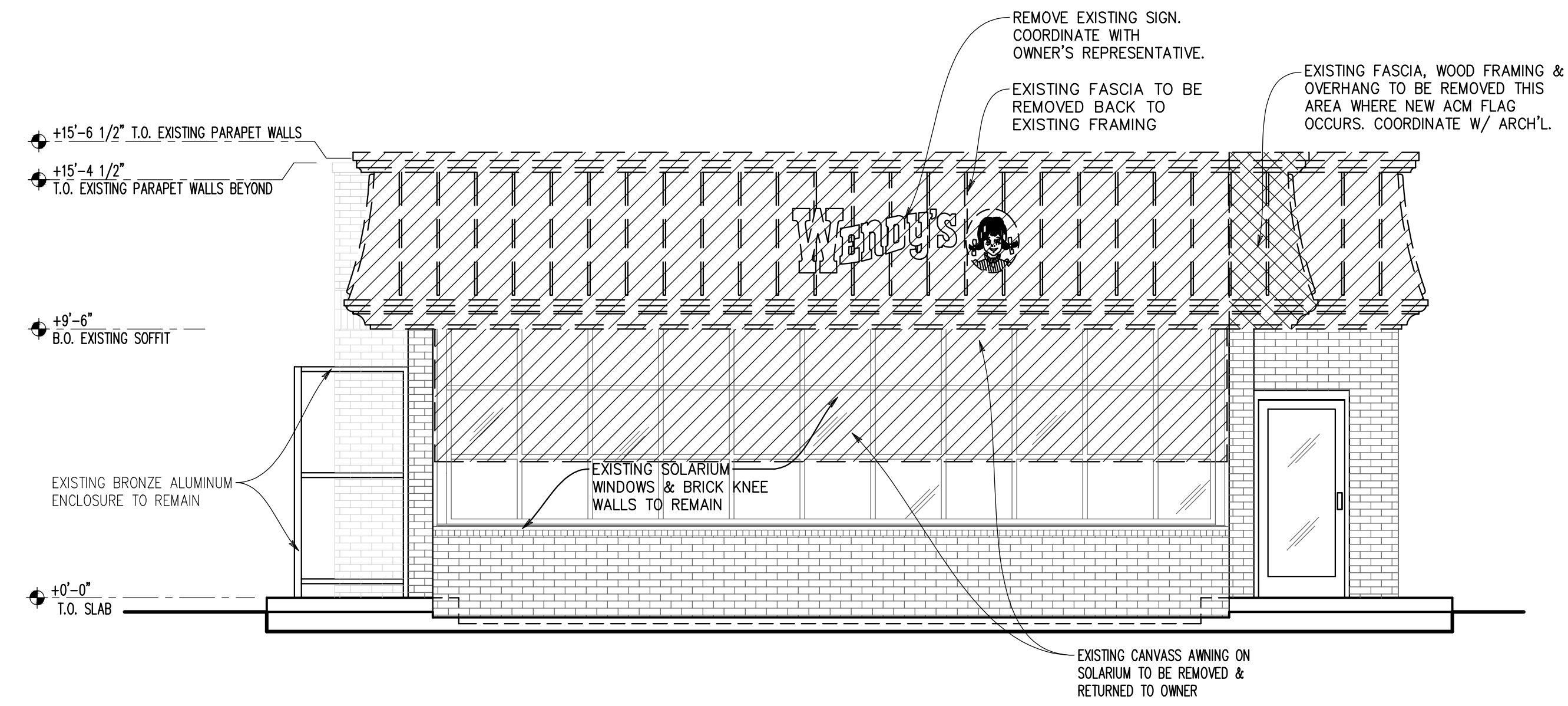
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**REFRESH**



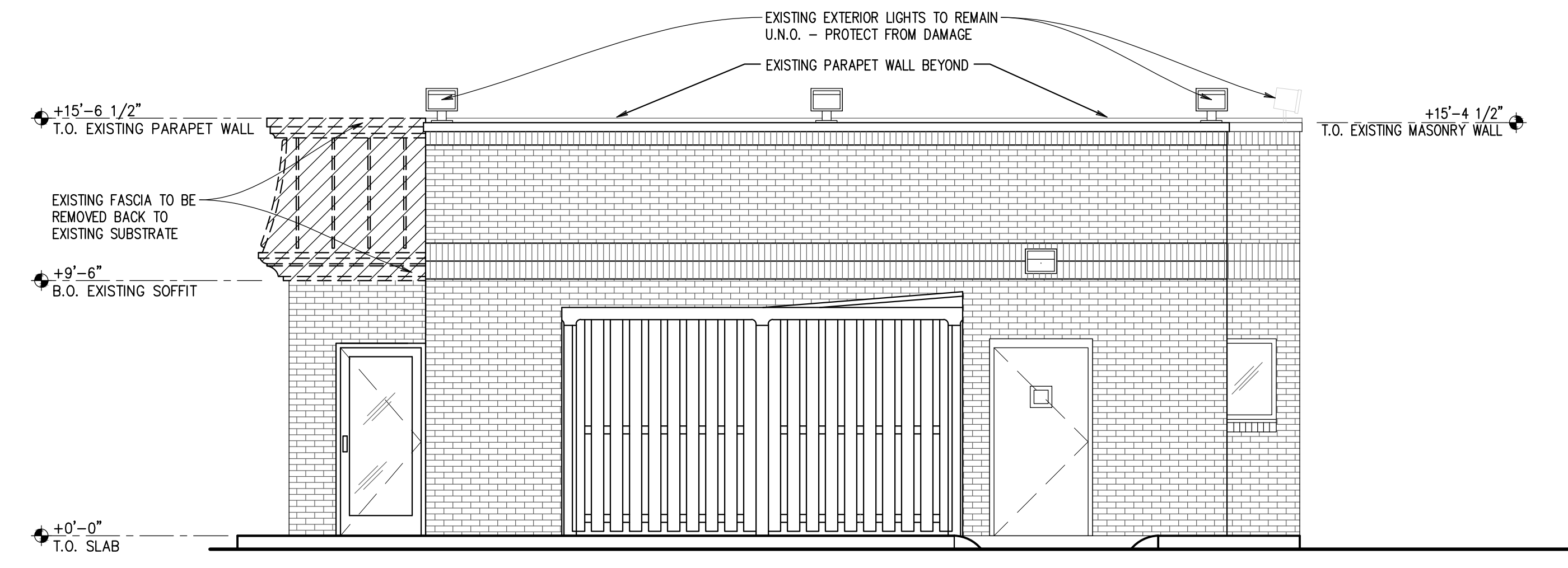
Bridgeman Foods II, Inc.

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interior design  
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**01** "AS-BUILT" SOUTH DEMOLITION ELEVATION  
SCALE: 1/4" = 1'-0"



**02** "AS-BUILT" NORTH DEMOLITION ELEVATION  
SCALE: 1/4" = 1'-0"

REV.	DATE	DESCRIPTION

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DRAWN BY: TIM MCINTYRE  
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SEAL

**NOT FOR CONSTRUCTION**

SHEET NAME  
DEMOLITION  
ELEVATIONS

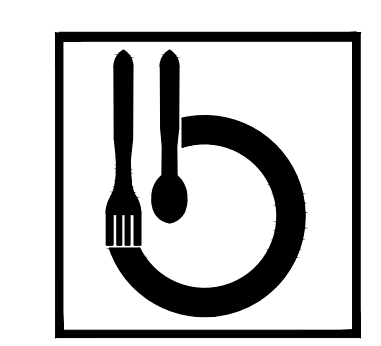
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**D3.1**

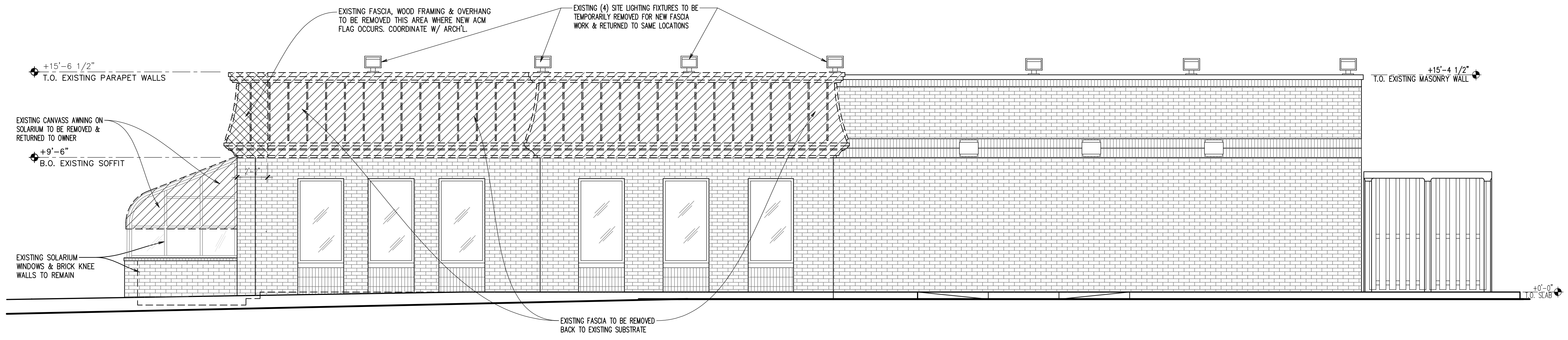
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SITE NUMBER:	935
BASE MODEL:	3076
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REFRESH
OWNER:	BRIDGEMAN FOOD II, INC.
BASE VERSION:	2017 APRIL
UPGRADE CLASSIFICATION:	FRAN NEW BASE
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2017
DESIGN BULLETINS: THRU DB	2017-04

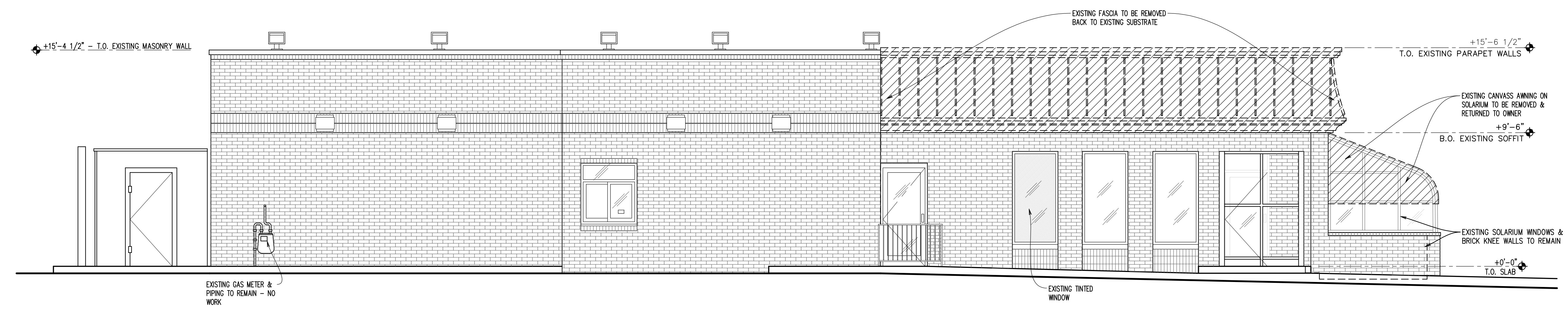
PROJECT TYPE: **3076**  
**REFRESH**



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**01** "AS-BUILT" EAST DEMOLITION ELEVATION  
SCALE: 1/4" = 1'-0"



**02** "AS-BUILT" WEST DEMOLITION ELEVATION  
SCALE: 1/4" = 1'-0"

**Wendy's.**  
4910 WASHINGTON AVENUE  
RACINE, WISCONSIN 53406

REV.	DATE	DESCRIPTION
▲		
▲		
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ISSUED FOR PERMIT  
ISSUE DATE: 07/18/2017

DRAWN BY: TIM MCINTYRE  
CHECKED BY: USA KENNEDY

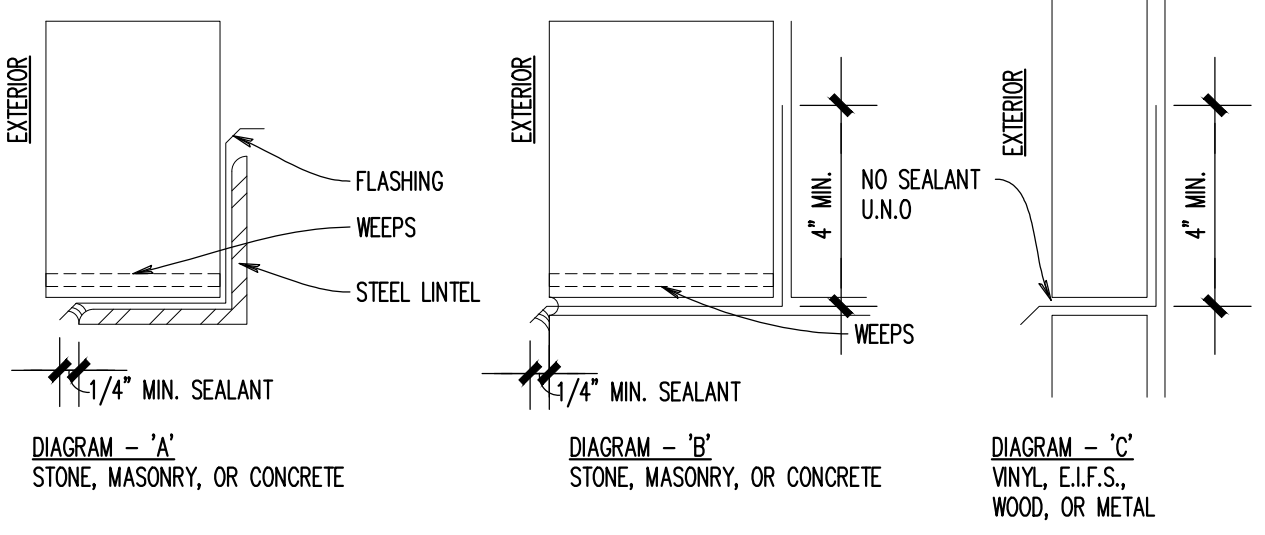
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**NOT FOR CONSTRUCTION**

SHEET NAME  
**DEMOLITION ELEVATIONS**  
SHEET NUMBER  
**D3.2**

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# GENERAL FLASHING REQUIREMENTS

- PROPERLY WEEP FLASHING POINTS & NORMAL DRAINAGE POINTS WITH WEEPS @ 1"-4" O.C. MAX. SPAcing. WEEP POINTS ARE TO BE LOCATED DIRECTLY ON TOP OF FLASHING.
- AT OPENINGS, EXTEND HEAD FLASHING 8" MIN. BEYOND EACH SIDE OF OPENING. TURN FLASHING UP A MIN. OF ONE MASONRY COURSE IN HEAD JOINTS OR A MIN. OF 4" WHERE HEAD JOINTS DO NOT OCCUR, IN ORDER TO FORM A "WATER DAM."
- WHERE FLASHING IS LOCATED ON THE TOP OF STEEL ANGLES, EXTEND FLASHING 1/4" BEYOND THE TANGENT POINT OF THE ANGLE LEG TO ALLOW FOR DRIP & SEALANT APPLICATION. REFER TO DIAGRAM "A."
- WHERE FLASHING IS LOCATED IN MASONRY, EXTEND FLASHING A MIN. OF 1/4" BEYOND THE FACE OF THE MASONRY TO ALLOW FOR DRIP & SEALANT APPLICATION. REFER TO DIAGRAM "B."
- WHERE FLASHING IS LOCATED TO TERMINATE AND/OR SEPARATE MATERIALS, DO NOT SEAL (U.N.O.) - REFER TO DIAGRAM "C." WHERE IT IS DETERMINED BY THE MATERIAL MANUFACTURER OR OTHERWISE SEALING IS REQUIRED (TO PREVENT WATER PENETRATION BEYOND FLASHING DUE TO WIND DRIVEN RAIN), THEN SEALANT MUST BE WEEPED IN ACCORDANCE WITH NOTE #1 ABOVE.
- UNLESS NOTED OTHERWISE, TURN FLASHING UP A MIN. OF 4" BEHIND APPROPRIATE MATERIALS.
- FLASHING CONDITIONS, WHETHER DETAILED OR NOT, ARE TO BE IN ACCORDANCE WITH S.M.A.C.N.A. SPECIFICATIONS. WHERE ATYPICAL CONDITIONS OCCUR THAT ARE NOT DETAILED, FLASHING IS TO BE INSTALLED AS CLOSELY AS POSSIBLE TO THE S.M.A.C.N.A. DETAIL THAT MOST CLOSELY APPROXIMATES THE ACTUAL CONDITION.
- UNLESS NOTED OTHERWISE, AT FLASHING HIGH POINTS, TURN FLASHING HORIZONTALLY INTO ADJACENT MASONRY COURSING OR SEAL WATER TIGHT TO BACK-UP SUBSTRATE IF MASONRY DOES NOT EXIST.



# JOINT TREATMENT SCHEDULE

EXT. "E" INT. "I"	CONDITION	TYPE
E	PERIMETER JOINTS OF DOOR FRAMES, WINDOW FRAMES, STOREFRONT, AND/OR WINDOW WALL FRAME ASSEMBLIES, LOUVERS, FIXTURES, AND OTHER PENETRATIONS IN THE BUILDING ENCLOSURES NOT OTHERWISE SEALED WATER-TIGHT, U.N.O. PROVIDE CONTINUOUS SEALANT UNDER EXTERIOR DOOR THRESHOLDS AND WINDOW SYSTEMS THAT REST DIRECTLY ON FLOOR SLAB.	JS-1
E	MASONRY/CONCRETE CONTROL JOINTS IN WALLS	JS-1
E	E.I.F.S. JOINTS IN WALLS	JS-1
E	EXPANSION JOINTS IN AND AROUND CONCRETE PAVEMENT, UNIT PAVEMENT, CURBS, OR OTHER HORIZONTAL SURFACES.	JS-3
E	PERIMETER JOINTS AND OTHER OPEN JOINTS AT EXTERIOR SOFFITS.	JS-1
E	INTERSECTION OF DISSIMILAR MATERIALS THAT ALLOW AIR OR WATER INFILTRATION.	JS-1
E	INTERSECTION OF DISSIMILAR MATERIALS IN WHICH INSTALLATION IS NOT UNIFORM OR WHERE WORKMANSHIP DOES NOT MEET ACCEPTABLE CONSTRUCTION TOLERANCES, BUT SUCH WORKMANSHIP IS ACCEPTED BY THE ARCHITECT.	JS-1
I	PERIMETER JOINTS ON INTERIOR SIDE OF DOOR FRAMES, WINDOW FRAMES, AND OTHER FRAMED MATERIALS IN WALLS WITH NO FINISHED EDGE FLANGE	JS-2
I	OPEN JOINTS AT PENETRATIONS THROUGH WALLS, CONCRETE, PLASTER, OR GYP. BD. CEILINGS WHERE INTENDED TO BE TIGHT SEALED JOINTS.	JS-2
I	OPEN JOINT BETWEEN DISSIMILAR MATERIALS WHERE INTENDED TO BE TIGHT SEALED JOINTS.	JS-2
I	JOINTS WHERE EDGE TRIM OF GYP. BD. ABUTTS IRREGULAR SURFACES OR OTHER SURFACES AND LEAVES OPEN JOINTS.	JS-2
I	EXPOSED JOINTS AT JUNCTURES OF COUNTERTOPS, CABINETS, OR OTHER "BUILT-IN" WORK WITH IRREGULAR SURFACES INTENDED TO BE TIGHT SEALED JOINT.	JS-2
I	EXPOSED JOINTS AT JUNCTURES OF WALL MOUNTED PLUMBING FIXTURES AND/OR TOILET ACCESSORIES WITH IRREGULAR SURFACES AND INTENDED TO BE TIGHT SEALED JOINT.	JS-5
I	CONTROL JOINTS, SAWN JOINTS AND OPEN JOINTS IN AND AROUND CONCRETE SLABS AND CURBS.	JS-4

# JOINT TREATMENT NOTES

- THE JOINT TREATMENT SCHEDULE IS INTENDED TO ILLUSTRATE JOINT CONDITIONS WHICH ARE MEANT TO BE SEALED WHETHER REFERENCED FROM OTHER DETAILS OR NOT. SEE SPECIFICATIONS FOR JOINT TYPE REQUIREMENTS.
- AT METAL FRAME LOCATIONS (DOORS, WINDOWS, ETC.) HOLD FRAME BACK FROM SUBSTRATE 3/8" @ HEAD & SILL AND 3/16" @ JAMB TO ALLOW FOR SEALANT, TYPICAL U.N.O. THIS INCLUDES DIMENSIONS FOR STEEL LINTELS WHERE APPLICABLE.
- PROVIDE PROPER SEALERS AS REQUIRED TO FULLY CLOSE JOINTS THAT ARE INTENDED TO BE TIGHT AND AS SHOWN ON THE DRAWINGS.

# RESTROOM FLOOR PLAN NOTES:

- CLEAN, PREP, & REPAIR ALL CONCRETE FLOORS & WALLS FOR NEW SCHEDULED FINISHES. PROVIDE WATERPROOFING MEMBRANE THROUGHOUT RESTROOMS AND EXTEND UP ALL WALLS A MINIMUM OF 6" A.F.F.
- INSTALL NEW SCHEDULED TILE ON FLOORS AND BASE, SEE SHEETS A5.1 FINISHES PLAN FOR ADDITIONAL INFORMATION.
- FURNISH & INSTALL NEW DOORS AS SCHEDULED ON SHEET A6.3 IN EXISTING ALUMINUM FRAMES.
- PAINT EXISTING DRYWALL CEILINGS IN EXISTING RESTROOMS. SEE SHEET A1.2 FOR ADDITIONAL INFORMATION.
- SIGNAGE SUPPLIER TO INSTALL NEW RESTROOM SIGNAGE FURNISHED BY OWNER. SEE SHEET E01.1 FOR LOCATIONS.
- EXISTING WALL TILE TO REMAIN IN BOTH RESTROOMS, UNLESS OTHERWISE NOTED. G.C. TO REPLACE ANY DAMAGED WALL TILES CAUSED FROM REMOVAL OF EXISTING TILE BASE.
- IN MEN'S RESTROOM, FURNISH & INSTALL NEW BATTERY POWERED AUTOMATIC FLUSH VALVE TO EXISTING URINAL TO MATCH EXISTING CHROME PLUMBING LINES.
- IN BOTH RESTROOMS, GENERAL CONTRACTOR TO FURNISH, PLUMBING CONTRACTOR TO INSTALL NEW AUTOMATIC FAUCETS (L-1) TO NEW WALL HUNG LAVATORIES PER PLUMBING SCHEDULE BELOW.
- IN BOTH RESTROOMS, GENERAL CONTRACTOR TO REMOVE & REINSTALL EXISTING, SLOPED 3"-6" LONG HANDICAP GRAB BARS AT A STRAIGHT, LEVEL PLANE 3'-0" A.F.F.
- IN MEN'S RESTROOM, FURNISH AND INSTALL NEW 36" LONG STAINLESS STEEL GRAB BAR BEHIND EXISTING TOILET 3'-0" A.F.F. FURNISH & INSTALL WOOD BLOCKING IN EXISTING WALL AND PATCH WALL.
- IN BOTH RESTROOMS FURNISH AND INSTALL NEW AUTOMATIC PAPER TOWEL DISPENSERS IN PLACE OF EXISTING, MANUAL PAPER TOWEL DISPENSERS THAT ARE TO BE REMOVED & DISCARDED.
- IN BOTH RESTROOMS AFTER ALL WALL TILE WORK IS COMPLETED, G.C. TO SCUFF WALL TILES & APPLY TWO COATS OF BONDING PRIMER AND ONE COAT OF P-1, WENDY'S BEIGE. SEE SHEET A6.1 FOR FINISH SCHEDULE.

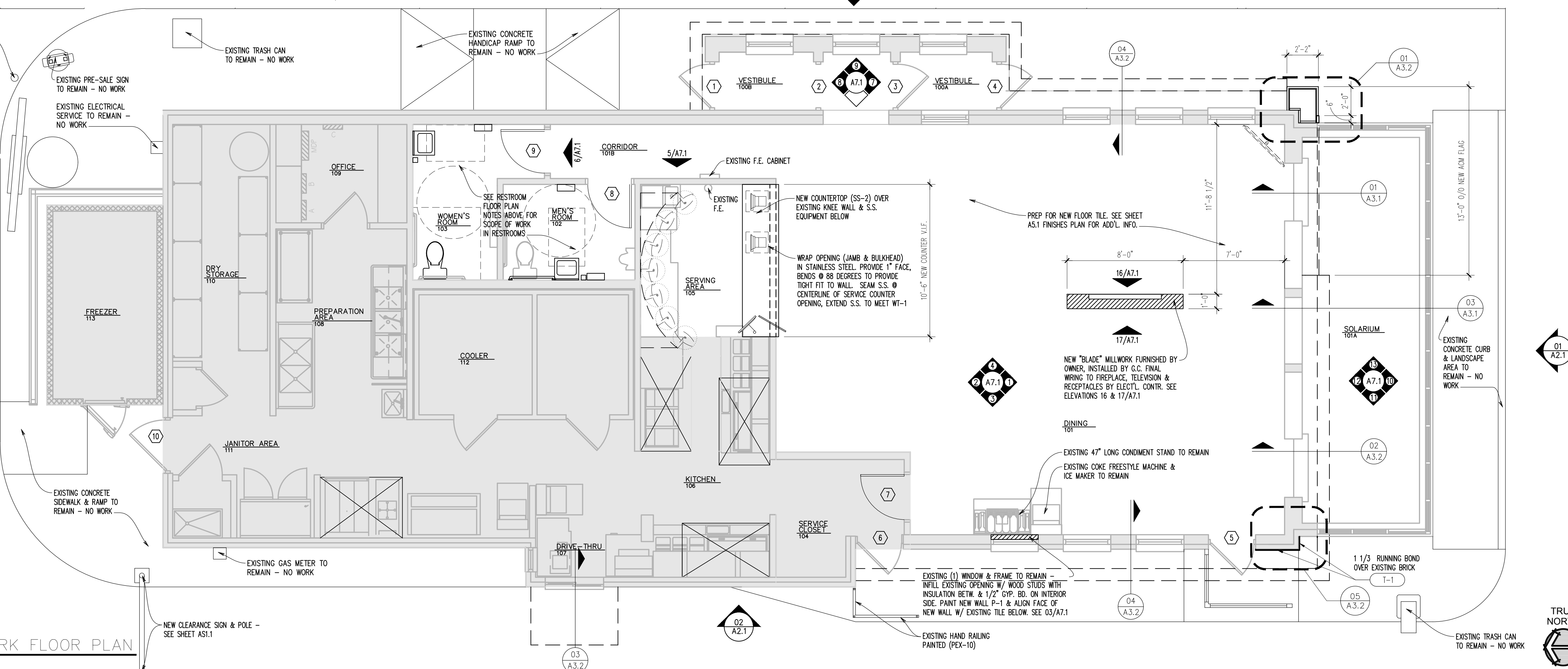
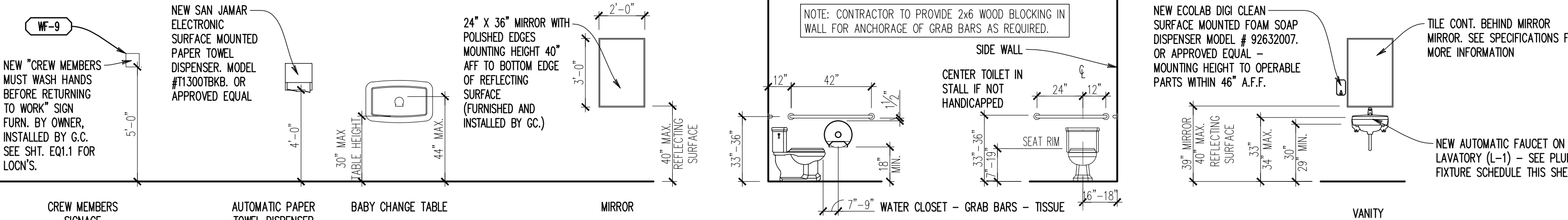
# PLUMBING FIXTURE SCHEDULE

MARK	MANUFACTURER	MODEL	DESCRIPTION
WATER CLOSET	AMERICAN STANDARD	2887 P18	FLOOR MOUNT, BOTTOM OUTLET VITREOUS CHINA FLUSH VALVE AND CERAMIC TOILET WITH ELONGATED BOWL, ADA COMPLIANT, 1.6 GALLON FLUSH, SEAT, CHROME FINISH. SEE SHEET A6.1 FOR FINISH SCHEDULE.
<b>NOT USED</b>			
L-1	AMERICAN STANDARD	521 028	ADA WALL MOUNT VITREOUS CHINA LAVATORY WITH SINGLE FAUCET OPERATOR AND DRILLED FOR CONCEALED AIRE CARBENS. FINISH AND INSTALLATION SHALL COMPLY ADA REQUIREMENTS. FAUCET: BLOWN FEDERAL FAUCET ESP 416, BATTERY OPERATED GENERATOR OPERATED, CHROME PLATED BRASS, 8.8 GPM MINIMAL, SELF-INSTANT SPRAY HEAD AND (80°F) BELOW DECK MOUNTING VALVE. DRAIN: KOLKER K2700 BRASS DRAIN AND 1.5/8" TALL PEEDE, KOLKER K6869 CAST BRASS ADJUSTABLE 1" TRAP WITH CLEANOUT FLUG. SUPPLIER A STOPS: CHICAGO FAUCET 1008 ANGLE VALVE WITH LOOSE KEY HANDLE, 1/2" NPT INLET, 700 x 17" BUBBLE.
LAVATORY SUPPORT: JR. SMITH COMMERCIAL GRADE, FLOOR MOUNTED, CONCEALED AIRE CARBENS. COORDINATE MOUNTING HEIGHT WITH ARCHITECT. PROVIDE HAND-HELD PIPE INSULATION FOR DRAIN AND SUPPLIES COORDINATE COLOR WITH ARCHITECT.			

NOTES:  
1. APPROVED MANUFACTURERS: AMERICAN STANDARD, ELIEX, FAY, KOHLER, SLOAN, WILBRAND AND ZURN.  
2. PROVIDE ALL DRAIN COVERS, EJECTORCHECKS, AND MISCELLANEOUS TRIM ITEMS FOR A NEAT APPEARANCE.  
3. ALL MOUNTED HEADERS SHALL BE VERIFIED WITH THE ELEVATIONS SHOWN ON THE ARCHITECTURAL PLANS.  
4. ALL EXPOSED SUPPLIES SHALL BE CHROME PLATED.  
5. USE WALL TIE-RODS TO SECURE DRAIN LINES UNDER EQUIPMENT. ALLOW 4" CLEARANCE FROM FLOOR FOR CLEANING.  
6. MANUFACTURER'S MODEL NUMBERS ARE SPECIFIED TO INDICATE TYPE, QUALITY AND CONSTRUCTION. SIMILAR OR EQUAL PRODUCTS OF APPROVED MANUFACTURERS MAY BE SUBSTITUTED FOR THOSE SPECIFIED MODEL NUMBERS.

# FLOOR PLAN GENERAL NOTES

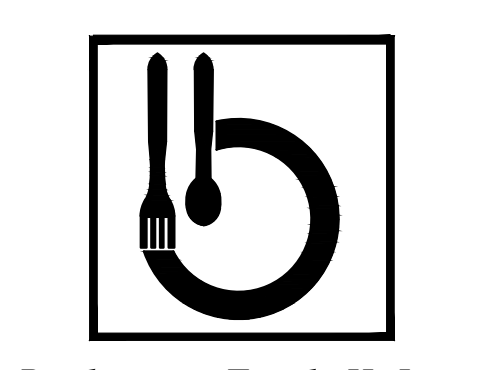
- EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING TO FACE OF SHEATHING U.N.O. INTERIOR DIMENSIONS ARE TO FACE OF GYP.BD. OF NEW WALL OF NOMINAL THICKNESS U.N.O. DIMENSIONS TO EXISTING WALLS ARE TO FACE OF EXISTING SHEATHING, U.N.O.
- FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO START OF WORK.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN. PROTECT EXISTING AND NEW CONSTRUCTION FROM DAMAGE. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF DAMAGE DURING THE COURSE OF WORK AT NO COST TO THE OWNER.
- EXISTING MATERIALS ADJACENT TO THE NEW CONSTRUCTION SHALL BE PATCHED, REPAIRED, AND FINISHED TO PROVIDE A SMOOTH, LEVEL AND UNNOTICEABLE TRANSITION BETWEEN NEW AND EXISTING FINISHES.
- NEW EXTERIOR WALLS SHALL BE INSULATED WITH 6" UNFACED FIBERGLASS INSULATION AND HAVE 6 MIL POLY VAPOR RETARDER.
- G.C. SHALL BE RESPONSIBLE FOR VERIFYING "AS-BUILT" CONDITIONS AND LAYING OUT WORK BEFORE PROCEEDING WITH WORK.
- EXTERIOR FINISHES ARE NOTED ON EXTERIOR ELEVATIONS.
- INSTALL TYVEK COMMERCIAL WRAP WEATHER BARRIER OVER SHEATHING BEHIND METAL PANELS. PROVIDE LIQUID-APPLIED WEATHER BARRIER TO SHEATHING AT ACM LOCATIONS. PROVIDE TILE MANUFACTURER APPROVED WEATHER BARRIER BEHIND NEW CERAMIC TILE.
- SEE FINISH PLAN AND INTERIOR ELEVATIONS FOR EXTENT OF NEW INTERIOR FINISHES.
- PROVIDE AND INSTALL SOLID WOOD BLOCKING FOR WALL MOUNTED ITEMS, EQUIPMENT, MILLWORK, ETC. COORDINATE LOCATIONS WITH OWNER'S CONSTRUCTION REPRESENTATIVE AS NECESSARY.
- SEE SHEETS A5.1 & A6.1 FOR INTERIOR FINISH PLAN AND SCHEDULES, SEE SHEET A6.3 FOR DOOR AND WINDOW SCHEDULES.
- SEE SHEET G1.1 COVER SHEET FOR ADDITIONAL GENERAL NOTES.



SITE NUMBER: 935  
BASE MODEL: 3076  
ASSET TYPE: FRANCHISEE  
CLASSIFICATION: REFRESH  
OWNER: BRIDGEMAN FOOD II, INC.  
BASE VERSION: 2017 APRIL  
UPGRADE CLASSIFICATION: FRAN NEW BASE

PROJECT YEAR: 2017  
FURNITURE PACKAGE: 2017  
DESIGN BULLETINS: THRU DB 2017-04

PROJECT TYPE: 3076



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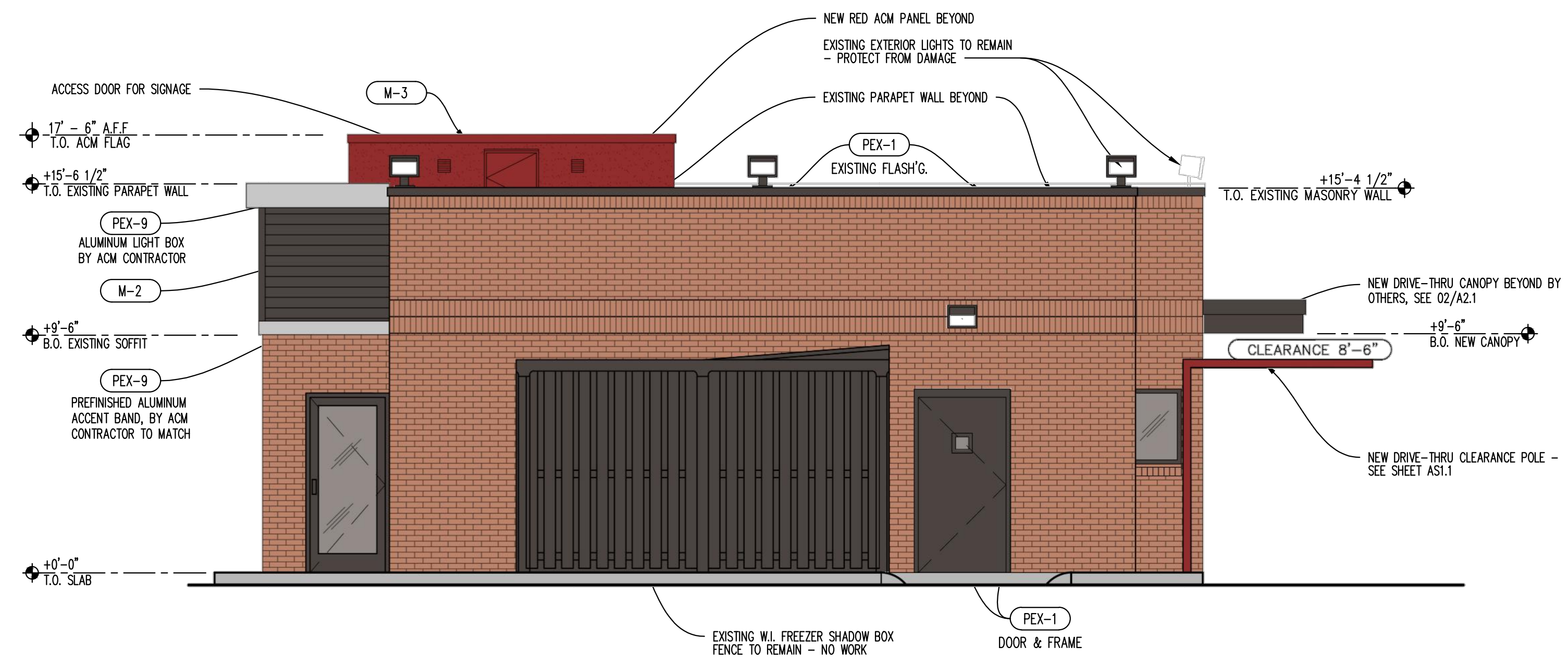
NOT FOR CONSTRUCTION

FLOOR PLAN  
SHEET NUMBER

# A1.1

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**02** NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



**01** EAST ELEVATION  
SCALE: 1/4" = 1'-0"

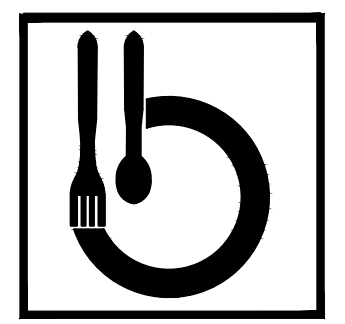
- GENERAL NOTES**
- WHERE EVER POSSIBLE NEW MASONRY WORK SHALL BE CONSTRUCTED W/ SALVAGED MASONRY TO MATCH EXISTING MASONRY.
  - REPOINT EXISTING VERTICAL AND HORIZONTAL MASONRY JOINTS WHERE VOIDS OR CRACKS EXIST
  - CLEAN, REPAIR & REPAINT EXISTING ELEMENTS WHERE INDICATED
  - FOR EXISTING BOLLARD COVERS, CONSTRUCTION MANAGER TO DETERMINE IF THEY NEED TO BE REPLACED.
  - EXISTING MATERIALS ADJACENT TO THE NEW CONSTRUCTION SHALL BE PATCHED, REPAIRED, AND FINISHED TO PROVIDE A SMOOTH, LEVEL AND UNNOTICEABLE TRANSITION BETWEEN NEW AND EXISTING FINISHES.

**EXTERIOR FINISHES LEGEND**

- NOTE: REFER TO MATERIAL/FINISH/RESPONSIBILITY SCHEDULE ON SHEET A6.1 FOR SPECIFICATIONS OF ALL EXTERIOR MATERIALS AND FINISHES.
- (ADM-1) BLADE WALL OPTION #1: ALCOA, REYNOLDS PE: 4mm; ROUTE & RETURN COLOR: PRE-FINISHED; COLORWELD 500; "BRITE RED"; (R64CW5BR)
  - BLADE WALL OPTION #2: ALUCOBOND PE; 1" ROUTE & RETURN COLOR: PVDF-3; "RED FIRE COOL"; GLOSS LEVEL: 30
  - (B-1) BRICK
  - (E-1) EXISTING EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.) - "DARK BRONZE"
  - (E-2) EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.) - "RED"
  - (G-1) 1" LOW-E INSULATED GLASS
  - (G-2) 1" INSULATED SPANDREL GLASS
  - (G-3) 1/4" SPANDREL GLASS
  - (M-1) METAL TRIM AND BRAKE METAL (DARK BRONZE)
  - (M-2) CORRUGATED METAL PANEL (DARK BRONZE)
  - (M-3) METAL COPING (RED)
  - (PEX-1) PAINT (COLOR: WENDY'S DEEP BRONZE)
  - (PEX-2) PAINT (COLOR: WENDY'S EXTERIOR RED)
  - (PEX-3) PAINT (COLOR: SIGN VENDOR'S DARK BRONZE (PYLON SIGNS ONLY))
  - (PEX-4) PAINT (COLOR WENDY'S GREY)
  - (PEX-5) PAINT (COLOR: SAFETY RED)
  - (PEX-6) PAINT (COLOR: WENDY'S DARK BRONZE (COOLER BOX ONLY))
  - (PEX-7) PAINT (COLOR: SAFETY YELLOW) OR BOLLARD COVER
  - (PEX-8) PAINT (COLOR: WENDY'S ACCENT BROWN (HORZ ACCENT BANDS))
  - (PEX-9) PAINT (COLOR: WENDY'S ACCENT SILVER (HORZ ACCENT BANDS/LIGHTBOX))
  - (PEX-10) PAINT (COLOR: BLACK SAFETY RAILING)
  - (PW) PICKUP WINDOW
  - (SF-1) ALUMINUM STOREFRONT SYSTEM
  - (T-1) EXTERIOR TILE

SITE NUMBER:	935
BASE MODEL:	3076
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REFRESH
OWNER:	BRIDGEMAN FOOD II, INC.
BASE VERSION:	2017 APRIL
UPGRADE CLASSIFICATION:	FRAN NEW BASE
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2017
DESIGN BULLETINS: THRU DB	2017-04

PROJECT TYPE: **3076**  
**REFRESH**



*Bridgeman Foods II, Inc.*  
architecture  
interior design  
consulting services

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phone (502) 254-7130  
mcintyre@bfccompanies.com

**Wendy's**  
4910 WASHINGTON AVENUE  
RACINE, WISCONSIN 53406

REV.	DATE	DESCRIPTION

ISSUED FOR PERMIT  
ISSUE DATE: 07/18/2017

DRAWN BY: TIM MCINTYRE  
CHECKED BY: LISA KENNEDY

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SHEET NAME  
**EXTERIOR ELEVATIONS**

SHEET NUMBER  
**A2.2**

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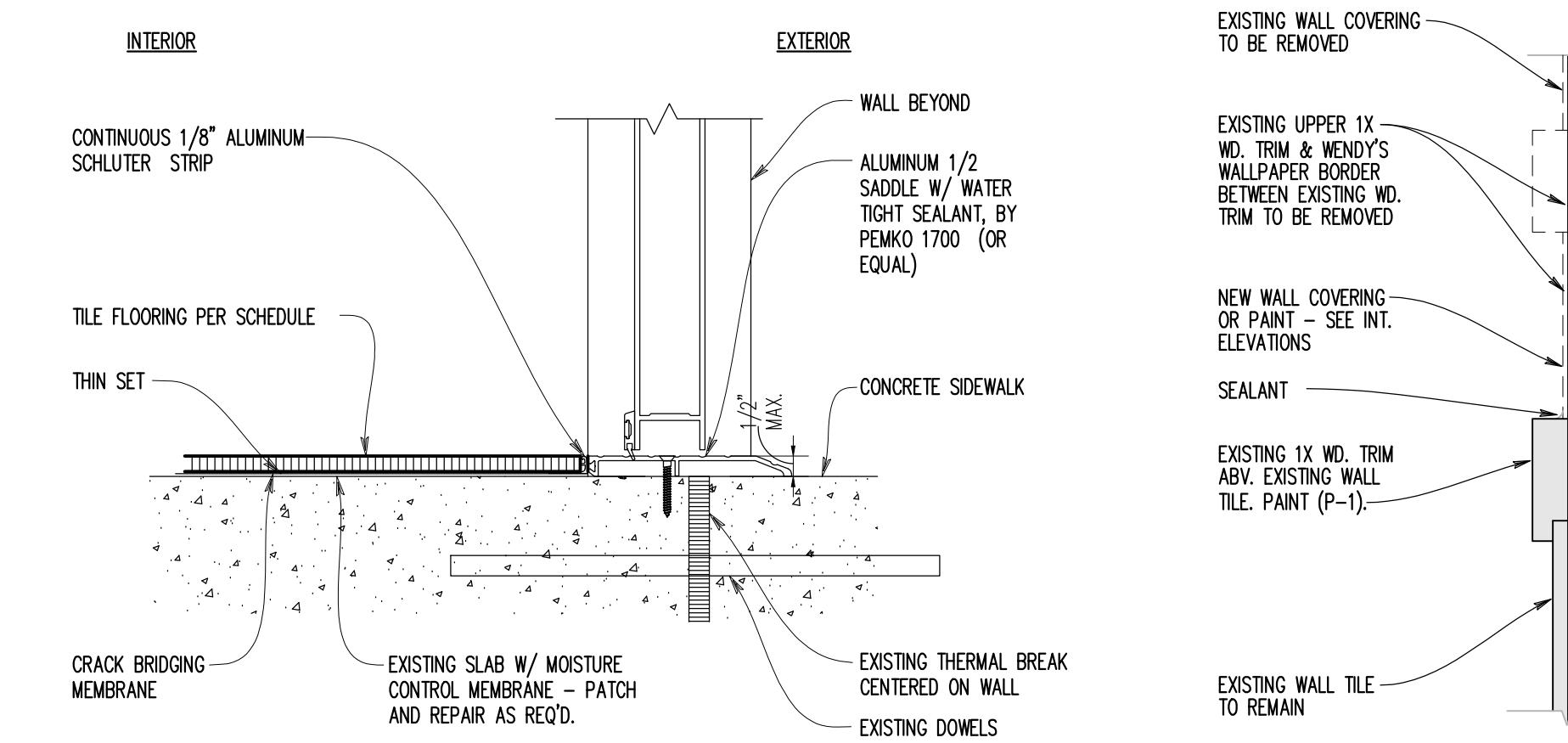
**ROOM FINISH SCHEDULE**

ROOM	FLOOR	BASE	WALLS ①	CEILING ②	NOTES
100A VESTIBULE	●	●	●	●	① ⑧
100B VESTIBULE	●	●	●	●	① ⑧
101 DINING	●	●	●	●	① ⑧ ⑨
101A SOLARIUM	●	●	●	●	① ② ⑤ ⑨
101B CORRIDOR	●	●	●	●	① ② ⑧ ⑨
102 MEN'S ROOM	●	●	●	●	② ⑤ ⑦ ⑨
103 WOMEN'S ROOM	●	●	●	●	② ⑤ ⑦ ⑨
104 SERVICE CLOSET	●	●	●	●	④ ⑤ ⑥
105 SERVING AREA	●	●	●	●	⑤ ⑥ ⑧
106 KITCHEN	●	●	●	●	EXIST ③ ④ ⑤ ⑥
107 DRIVE-THRU	●	●	●	●	EXIST ③ ④ ⑤ ⑥
108 PREPARATION AREA	●	●	●	●	EXIST ④ ⑤ ⑥
109 OFFICE	●	●	●	●	EXIST ④ ⑤ ⑥
110 DRY STORAGE	●	●	●	●	EXIST ④ ⑤ ⑥
111 JANITOR AREA	●	●	●	●	EXIST ④ ⑤ ⑥
112 COOLER	●	●	●	●	EXIST ④ ⑤ ⑥
113 FREEZER	●	●	●	●	EXIST ④ ⑤ ⑥

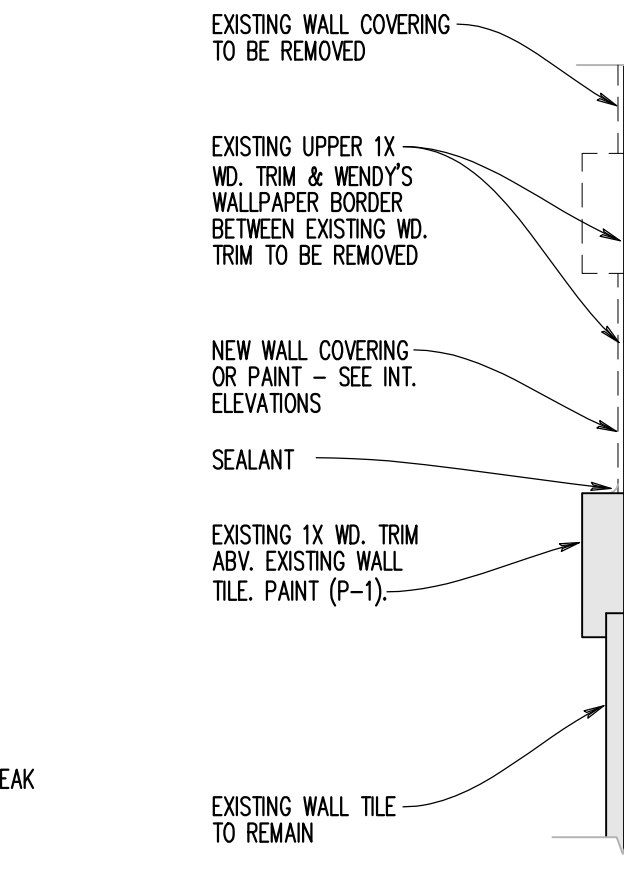
- ① SEE SHEET A7.1 FOR WALL FINISHES IN THIS AREA.
  - ② SEE SHEET A1.2 FOR ANY WORK AT EXISTING CEILINGS.
  - ③ COORDINATE EXTENT OF NEW FINISHES w/ EXISTING CONDITIONS.
  - ④ EXISTING FRP TO REMAIN.
  - ⑤ EXISTING CEILING TO REMAIN UNLESS NOTED OTHERWISE.
  - ⑥ EXISTING FLOORING TO REMAIN.
  - ⑦ PROVIDE LIQUID APPLIED WATERPROOFING ALONG WALLS IN WET AREAS MINIMUM 24" HORIZONTAL AND 6" VERTICAL-SEE SPECIFICATIONS.
  - ⑧ NEW CEILING - SEE SHEET A1.2 FOR MORE INFORMATION.
  - ⑨ EXISTING WALL TILE TO REMAIN. PROTECT FROM DAMAGE.
- \*\* SEE SHEET A6.1 FOR MATERIAL SPECS.

**GENERAL NOTES**

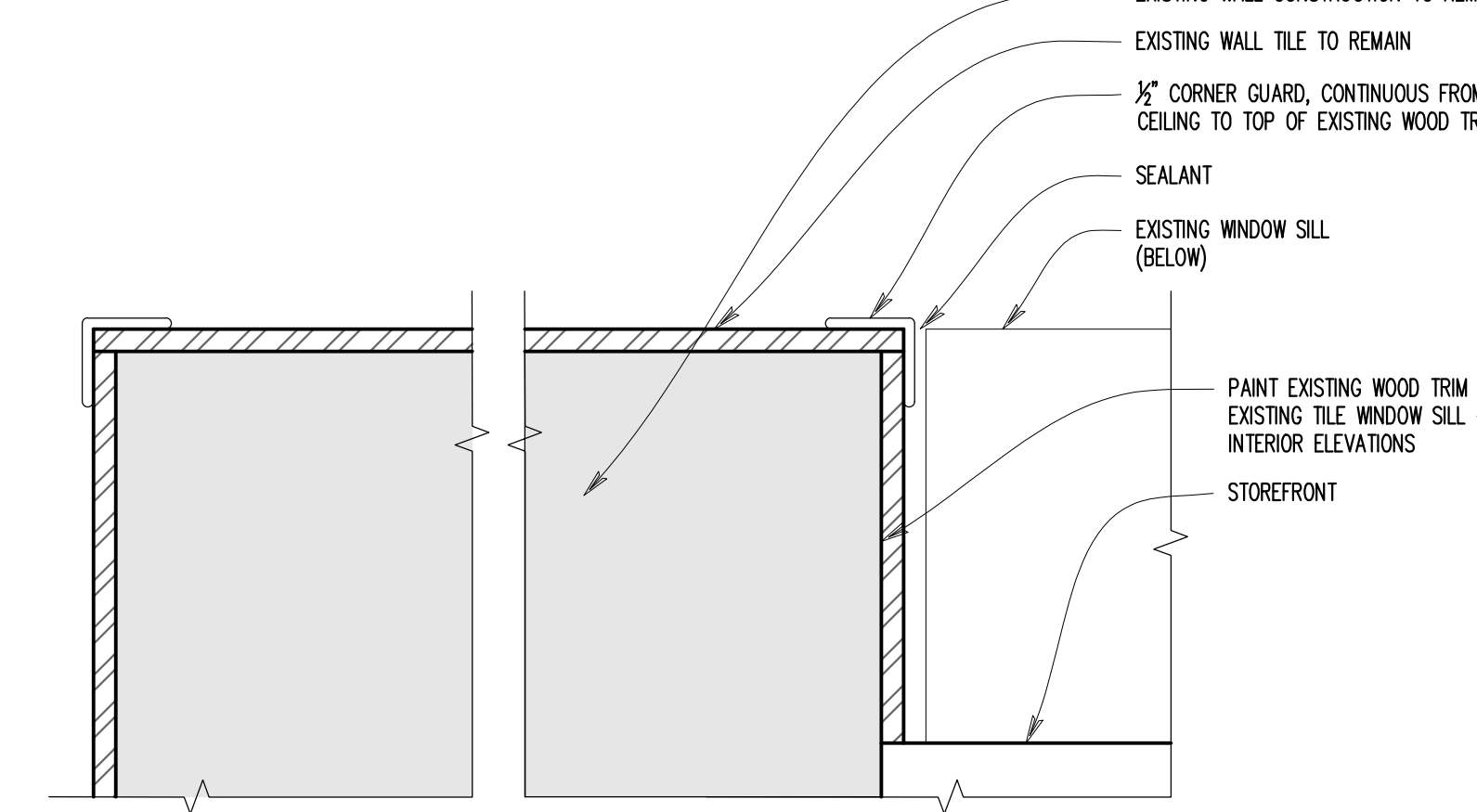
- PROVIDE AND INSTALL CRACK ISOLATION/WATERPROOF MEMBRANE AT AREAS OF PORCELAIN, CERAMIC AND MARBLE TILES. "HYDRO BAN" BY LATICRETE. PROVIDE "LATASIC" SEALANT AT AREAS OF EXPANSION JOINTS IN SUBSTRATE PRIOR TO INSTALLATION OF "HYDRO BAN". CONTACT LATICRETE AT (203) 376.8113
- PAINTER SHALL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF HARDWARE, SWITCH AND OUTLET COVERS, ETC.
- RETOUCH OR REFINISH SURFACES DAMAGED BY SUBSEQUENT WORK. THE COST OF SUCH RESTORATION WORK SHALL BE BORNE BY THE CONTRACTOR.
- PROVIDE PROPER PROTECTION AGAINST DAMAGE TO EXISTING FURNITURE, ADJACENT FINISHED WORK, FLOORING, ETC. IF APPLICABLE.
- FLOOR TRANSITIONS MUST BE FLUSH AND LEVEL. VINYL OR RUBBER REDUCER STRIPS NOT PERMITTED IN CUSTOMER AREA. NIBBLE SLAB AND FEATHER AS REQUIRED TO PROVIDE IMPERCEPTIBLE TRANSITION.
- REFER TO SHEET A7.1 FOR WALL FINISHES.
- REFER TO SHEET A1.2 FOR ANY WORK DONE TO EXISTING CEILINGS. ALL EXISTING CEILINGS TO REMAIN U.N.O.
- EXISTING FINISHES ARE TO REMAIN U.N.O.



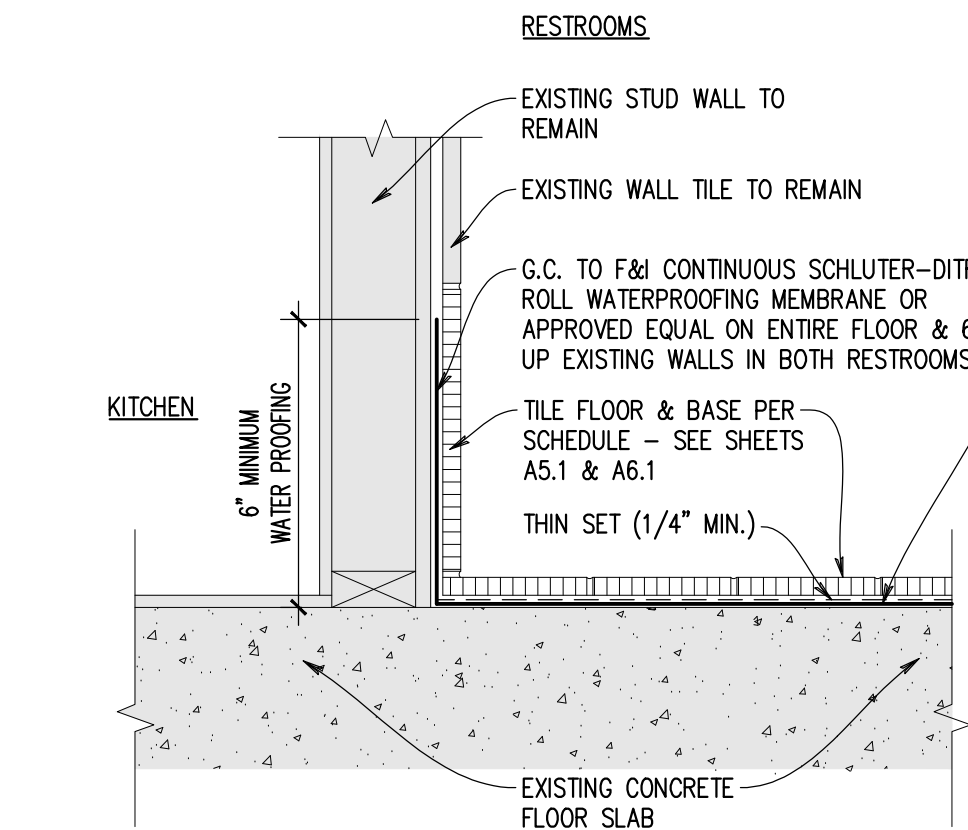
**02 TILE AT EXTERIOR THRESHOLD**  
SCALE: 3" = 1'-0"



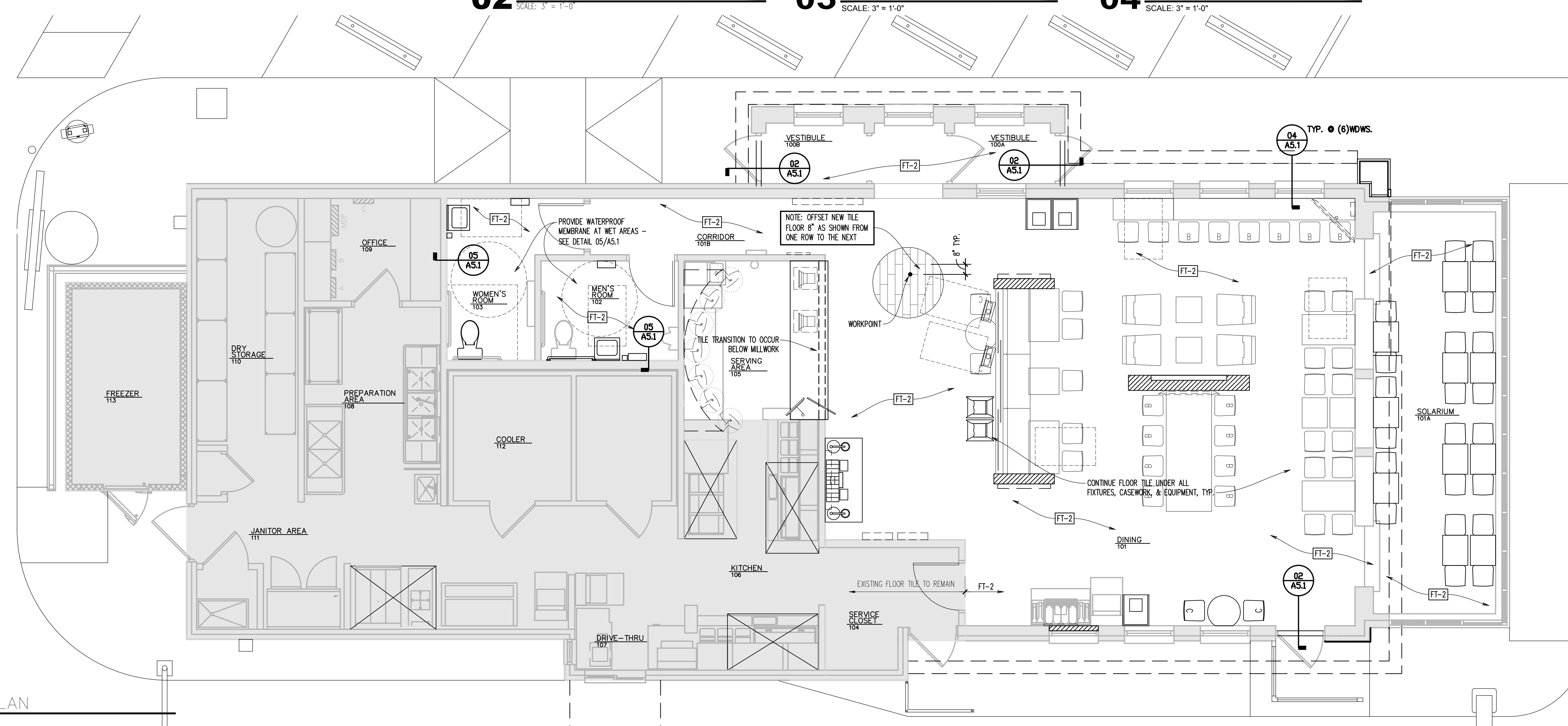
**03 CHAIR RAIL TRIM DETAIL**  
SCALE: 3" = 1'-0"



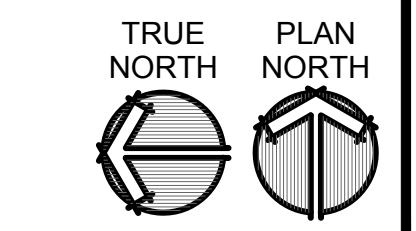
**04 TRIM DETAIL AT WINDOW JAMB**  
SCALE: 3" = 1'-0"



**05 FLOOR TILE DETAIL-RESTROOMS**  
SCALE: 1'-0" = 1'-0"

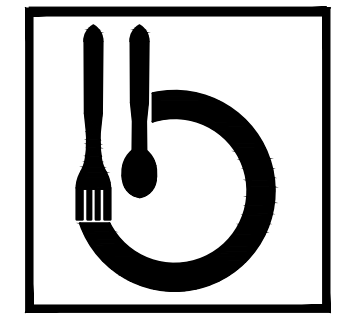


**01 FINISHES PLAN**  
SCALE: 1/4" = 1'-0"



SITE NUMBER:	935
BASE MODEL:	3076
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REFRESH
OWNER:	BRIDGEMAN FOOD II, INC.
BASE VERSION:	2017 APRIL
UPGRADE CLASSIFICATION:	
FRAN NEW BASE	
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2017
DESIGN BULLETINS: THRU DB	2017-04

PROJECT TYPE: **3076**  
**REFRESH**



Bridgeman Foods II, Inc.

architecture  
interior design  
consulting services

3309 Collins Lane  
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phone (502) 254-7130  
tmcintyre@bfcpanies.com

**Wendy's**  
4910 WASHINGTON AVENUE  
RACINE, WISCONSIN 53406

REV.	DATE	DESCRIPTION
▲		
▲		
▲		

ISSUED FOR PERMIT  
ISSUE DATE: 07/18/2017

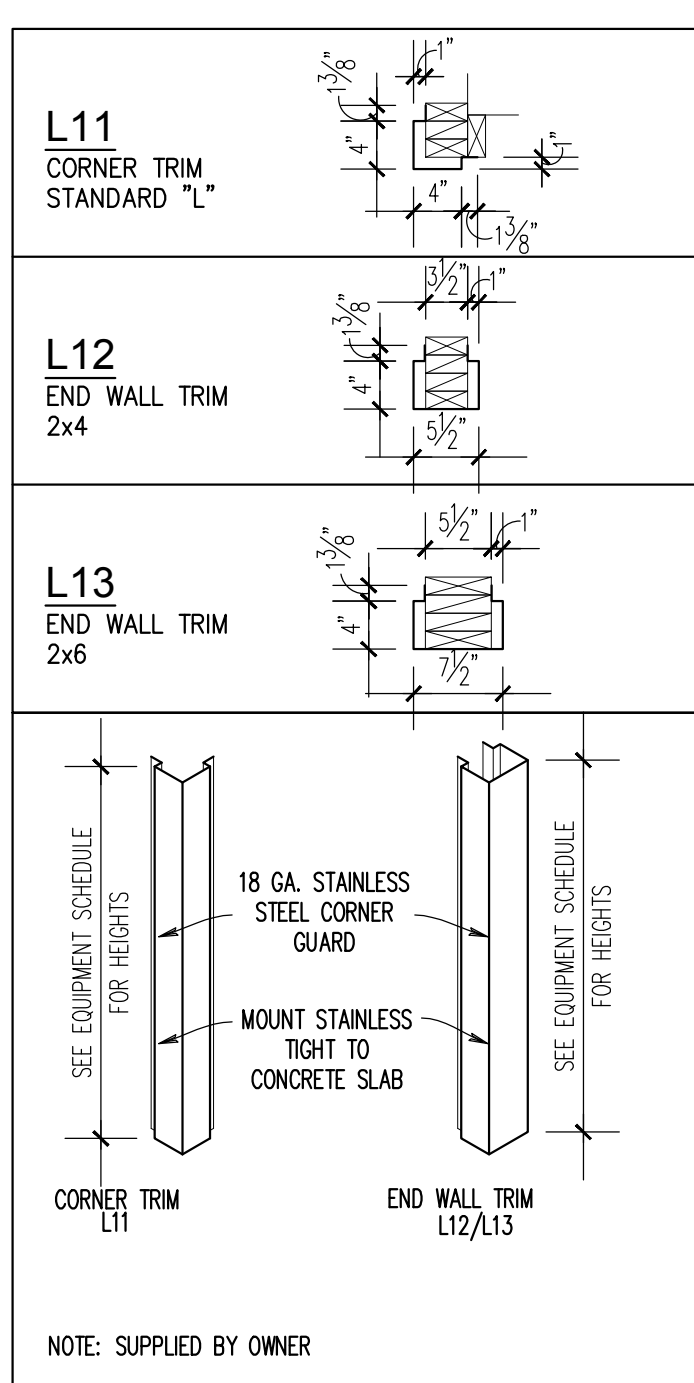
DRAWN BY: TIM MCINTYRE  
CHECKED BY: LISA KENNEDY

SEAL  
**NOT FOR CONSTRUCTION**

SHEET NAME  
**FINISHES PLAN**  
SHEET NUMBER

**A5.1**





**02 CORNER & WALL TRIM**  
N.T.S.

**03 TABLE LEG INSTALLATION**  
SCALE: 1/4" = 1'-0"

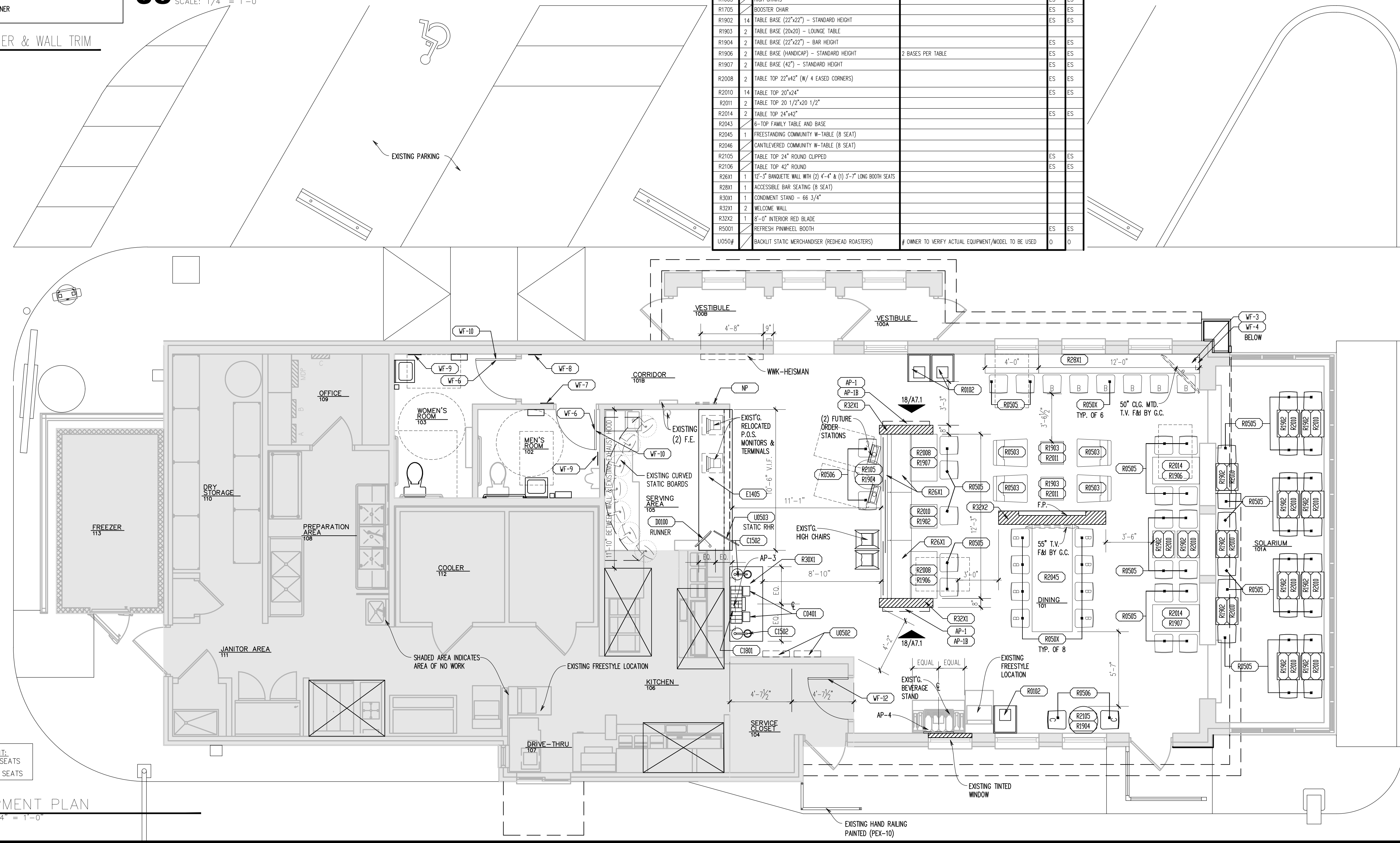
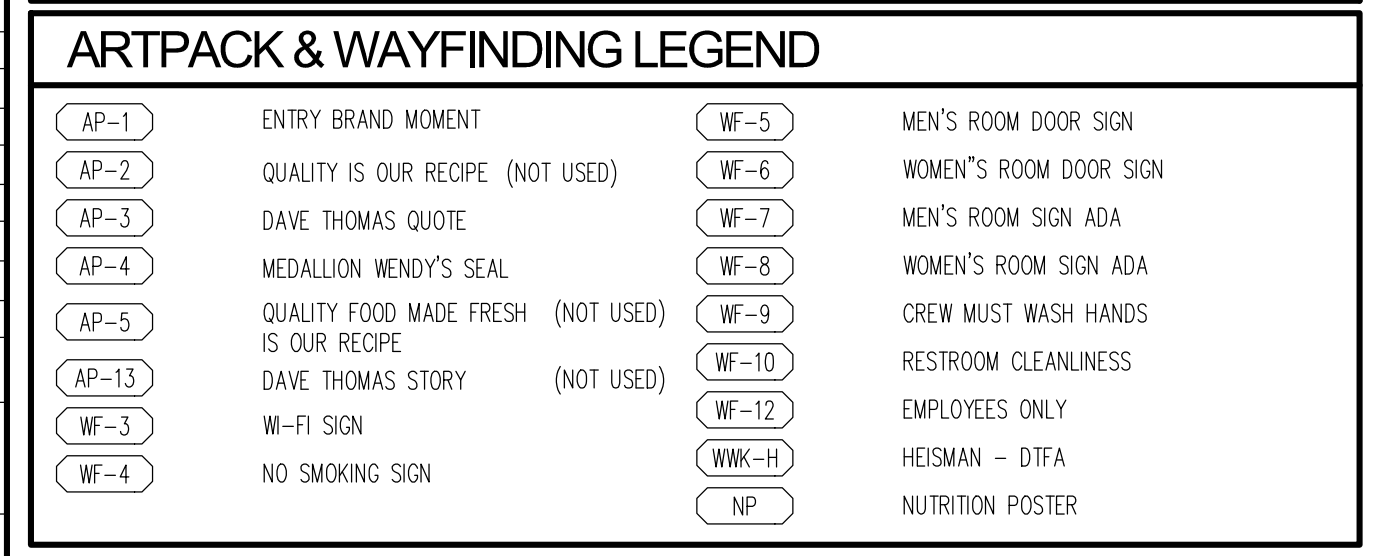
NOTE: WHEN ATTACHING LEGS TO TABLE TOPS, MAKE SURE THE LEGS ARE STRAIGHT AS SHOWN SO THAT CHAIRS CAN SLIDE FREELY UNDER THE TABLE WITHOUT HITTING THE TABLE LEGS.

- GENERAL NOTES**
- G.C. SHALL COORDINATE REQUIREMENTS OF MILLWORK, SPECIALTIES, EQUIPMENT, AND FURNISHINGS WITH OWNER PRIOR TO START OF WORK.
  - ELECTRICAL & PLUMBING REQUIREMENTS FOR THE INSTALLATION OF MILLWORK, SPECIALTIES, EQUIPMENT, AND FURNISHINGS IS THE RESPONSIBILITY OF THE G.C.
  - EQUIPMENT LISTED IS TO BE FURNISHED BY THE KITCHEN EQUIPMENT SUPPLIER UNLESS NOTED OTHERWISE.
  - GENERAL CONTRACTOR PROVIDES LABOR FOR UNCRATING, ASSEMBLY AND SETTING OF EQUIPMENT.
  - GENERAL CONTRACTOR WILL SUPPLY CRITICAL DIMENSIONS, PLUMBING AND ELECTRICAL SPECIFICATIONS FOR EQUIPMENT SUPPLIED BY THE KITCHEN EQUIPMENT SUPPLIER.
  - ELECTRICAL AND PLUMBING CONTRACTOR TO MAKE FINAL CONNECTION TO EQUIPMENT, IF REQ'D.
  - SEE INTERIOR ELEVATIONS FOR ARTPACK GRAPHIC LOCATIONS.
  - SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT.
  - THE CONTRACTOR SHALL PROVIDE AND INSTALL SOLID WOOD BLOCKING FOR ALL WALL MOUNTED ITEMS, SIGNAGE, EQUIPMENT, MILLWORK, ETC.. COORDINATE LOCATIONS WITH OWNER'S CONSTRUCTION REPRESENTATIVE AS NECESSARY.
  - EXISTING EQUIPMENT TO REMAIN UNLESS NOTED OTHERWISE.

EQUIPMENT SCHEDULE		REMARKS		FURNISHED BY	INSTALLED BY
MARK	QUANTITY	DESCRIPTION OF EQUIPMENT	REMARKS		
A0100	1	BEVERAGE SYSTEM DRIVE-THRU(EXISTING)	BEVARIETY OR FREESTYLE	0	0
A0200	1	BEVERAGE SYSTEM SELF-SERVE DINING ROOM(EXISTING)	FREESTYLE US SITES: "SILVER", CANADA SITES: "RED"	0	0
A0501	1	ICED TEA DISPENSER-NARROW OVAL(EXISTING)		ES	ES
C0401	2	NAPKIN DISPENSER		ES	ES
C1502	2	KETCHUP PUMP		ES	ES
C1801	1	LID/STRAW DISPENSER		ES	ES
D0100	1	POS MONITOR	RUNNER SCREEN ON ARM	0	0
D0200	1	POS TERMINAL(REUSE EXISTING)	EXISTING TO BE RELOCATED, OR (NEW OPTIONAL)	0	0
E1405	1	FRONT COUNTER (COUNTER TOP ONLY) 10'-5" V.I.F.		ES	ES
N0202	1	CASH DROP BOX	EXISTING TO BE RELOCATED, OR (NEW OPTIONAL)	ES	ES
N0203	1	DESSERT CASE	VERIFY WITH WENDY'S REPRESENTATIVE	ES	ES
001#	1	REMOTE CONDENSING UNIT - DINING ROOM (ROOF)	# KITCHEN EQUIPMENT SUPPLIER TO VERIFY ACTUAL EQUIPMENT / MODEL / FINISH TO BE USED	ES	ES
001#	1	REMOTE CONDENSING UNIT - DRIVE THRU (ROOF)	# KITCHEN EQUIPMENT SUPPLIER TO VERIFY THAT EXISTING CAN BE REUSED OR IS TO BE REPLACED QUANTITY WILL VARY DEPENDING ON EXACT BEVERAGE SYSTEM CONFIGURATION	ES	ES
002#	1	ICE MACHINE - DINING ROOM(EXISTING)	*QUANTITY WILL VARY DEPENDING ON EXACT BEVERAGE SYSTEM CONFIGURATION	ES	ES
*R0102	3	TRASH RECEPTACLE		ES	ES
R0302	1	CONDIMENT STAND (W/DRAIN)		ES	ES
R####	1	SMALL DRINK CONDIMENT STAND (W/DRAIN)		ES	ES
R0491	1	SELF-SERVE CHASE ASSEMBLY(EXISTING)		ES	ES
R0505	41	CHAIR - STANDARD HEIGHT		ES	ES
R0506	4	CHAIR - CAFE HEIGHT		ES	ES
R0508	14	CHAIR - BAR HEIGHT		ES	ES
R1202	1	CANTILEVER BRACKET FOR TABLE		ES	ES
R13##	1	REFRESH BANQUETTE BOOTH		ES	ES
R1301	1	SINGLE BOOTH W/ FINISH BACK		ES	ES
R1603	1	HIGH CHAIRS		ES	ES
R1705	1	BOOSTER CHAIR		ES	ES
R1902	14	TABLE BASE (22"x22") - STANDARD HEIGHT		ES	ES
R1903	2	TABLE BASE (20x20) - LOUNGE TABLE		ES	ES
R1904	2	TABLE BASE (22"x22") - BAR HEIGHT		ES	ES
R1906	2	TABLE BASE (HANDICAP) - STANDARD HEIGHT	2 BASES PER TABLE	ES	ES
R1907	2	TABLE BASE (42") - STANDARD HEIGHT		ES	ES
R2008	2	TABLE TOP 22"x42" (W/ 4 EASED CORNERS)		ES	ES
R2010	14	TABLE TOP 20"x24"		ES	ES
R2011	2	TABLE TOP 20 1/2"x20 1/2"		ES	ES
R2014	2	TABLE TOP 24"x42"		ES	ES
R2043	1	6-TOP FAMILY TABLE AND BASE		ES	ES
R2045	1	FREESTANDING COMMUNITY W-TABLE (8 SEAT)		ES	ES
R2046	1	CANTILEVERED COMMUNITY W-TABLE (8 SEAT)		ES	ES
R2105	1	TABLE TOP 24" ROUND CLIPPED		ES	ES
R2106	1	TABLE TOP 42" ROUND		ES	ES
R26X1	1	12'-3" BANQUETTE WALL WITH (2) 4'-4" & (1) 3'-3" LONG BOOTH SEATS		ES	ES
R28X1	1	ACCESSIBLE BAR SEATING (8 SEAT)		ES	ES
R30X1	1	CONDIMENT STAND - 66 3/4"		ES	ES
R32X1	2	WELCOME WALL		ES	ES
R32X2	1	8'-0" INTERIOR RED BLADE		ES	ES
R5001	1	REFRESH PINWHEEL BOOTH		ES	ES
U050H	1	BACKLIT STATIC MERCHANDISER (REDHEAD ROASTERS)	# OWNER TO VERIFY ACTUAL EQUIPMENT/MODEL TO BE USED	0	0

EQUIPMENT SCHEDULE		REMARKS		FURNISHED BY	INSTALLED BY
MARK	QUANTITY	DESCRIPTION OF EQUIPMENT	REMARKS		
U0501	1	BACKLIT STATIC QUEUING BOARDS (EXISTING TO REMAIN)	# OWNER TO VERIFY ACTUAL EQUIPMENT/MODEL TO BE USED	0	0
U0502	2	BACKLIT STATIC QUEUING MENU BOARDS(LOW VOLTAGE)	# OWNER TO VERIFY ACTUAL EQUIPMENT/MODEL TO BE USED	0	0
U0503	1	BACKLIT STATIC RHR BOARD		0	0

\*INDICATES OPTIONAL ITEMS O=OWNER GC=GENERAL CONTRACTOR EC=ELECTRICAL CONTRACTOR PC=PLUMBING CONTRACTOR ES=EQUIPMENT SUPPLIER



**01 EQUIPMENT PLAN**  
SCALE: 1/4" = 1'-0"

SEATING COUNT:  
EXISTING: 82 SEATS  
PROPOSED: 68 SEATS

SITE NUMBER: 935  
BASE MODEL: 3076  
ASSET TYPE: FRANCHISEE  
CLASSIFICATION: REFRESH  
OWNER: BRIDGEMAN FOOD II, INC.  
BASE VERSION: 2017 APRIL  
UPGRADE CLASSIFICATION:  
FRAN NEW BASE  
PROJECT YEAR: 2017  
FURNITURE PACKAGE: 2017  
DESIGN BULLETINS: THRU DB 2017-04

PROJECT TYPE: 3076  
**REFRESH**

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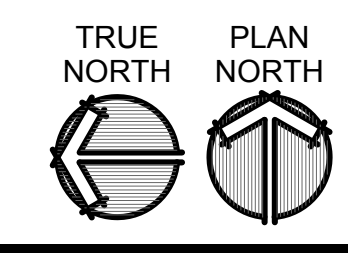
REV.	DATE	DESCRIPTION

ISSUED FOR PERMIT: 07/18/2017  
ISSUE DATE:  
DRAWN BY: TIM MCINTYRE  
CHECKED BY: LISA KENNEDY  
SEAL

**NOT FOR CONSTRUCTION**

SHEET NAME:  
**EQUIPMENT PLAN & SCHEDULE**  
SHEET NUMBER:

**EQ1.1**



# East Elevation



Looking East from building





Looking North from building

Looking South from building



Looking West from building





North Elevation



Pylon sign at entrance to property



# South Elevation



**Partial West Elevation**



# Partial West Elevation



# West Elevation

