



**CITY OF RACINE**

**APPLICATION FOR CONDITIONAL USE**

Department of City Development  
730 Washington Ave., Rm. 102  
Racine, WI 53403  
Phone: 262-636-9151  
Fax: 262-635-5347

*NOTE: Incomplete or illegible submittals will not be scheduled for Plan Commission or Common Council Consideration.*

PLEASE CLEARLY PRINT ALL INFORMATION REQUESTED BELOW. IF NOT APPLICABLE, INDICATE WITH A "N/A" IN THE BLANK:

APPLICANT NAME: SHANNON GORDON - COO  
ADDRESS: STREET 3109 MT. PLEASANT STREET CITY: RACINE STATE: WI ZIP: 53404  
EMAIL ADDRESS: SHANNON.GORDON@RUSD.ORG  
TELEPHONE: 262-664-7130 CELL PHONE: 262-221-2029 FAX: 262-631-7051

AGENT NAME: JIM HOOPER - CONSTRUCTION OPERATIONS MANAGER  
ADDRESS: STREET 3109 MT. PLEASANT STREET CITY: RACINE STATE: WI ZIP: 53404  
EMAIL ADDRESS: JAMES.HOOPER@RUSD.ORG  
TELEPHONE: 262-664-7130 CELL PHONE: 262-977-5826 FAX: 262-631-7051

ADDRESS OF PROPOSED CONDITIONAL USE: 930 Dr Martin Luther King Dr.  
CURRENT / MOST RECENT PROPERTY USE: Educational  
PROPOSED USE: Educational & Business  
NUMBER OF LEGAL, ON-SITE PARKING SPACES: 70 stalls  
NUMBER OF DWELLING UNITS: 0  
SQUARE FEET OF BUILDING (PER FLOOR): LL = 6,610 sf, 1st = 66,191 sf, 2nd = 48,688 sf, 3rd = 9429 sf  
SQUARE FEET TO BE USED FOR CONDITIONAL USE (PER FLOOR): LL = 6,610 sf, 1st = 442 sf

NUMBER OF EMPLOYEES: FULL-TIME See attached PART-TIME: See attached  
PROPOSED HOURS/DAYS OF OPERATION: See attached  
ITEMS AVAILABLE TO CUSTOMERS BEYOND HOURS OF OPERATION (IE: ATM, VACUUM, FUEL PUMP, ETC.) N/A

PLEASE CHECK THE APPROPRIATE BOX REGARDING YOUR INTEREST IN THE PROPERTY:  
OWNER  OPTION TO PURCHASE  LEASE  LAND CONTRACT  OTHER

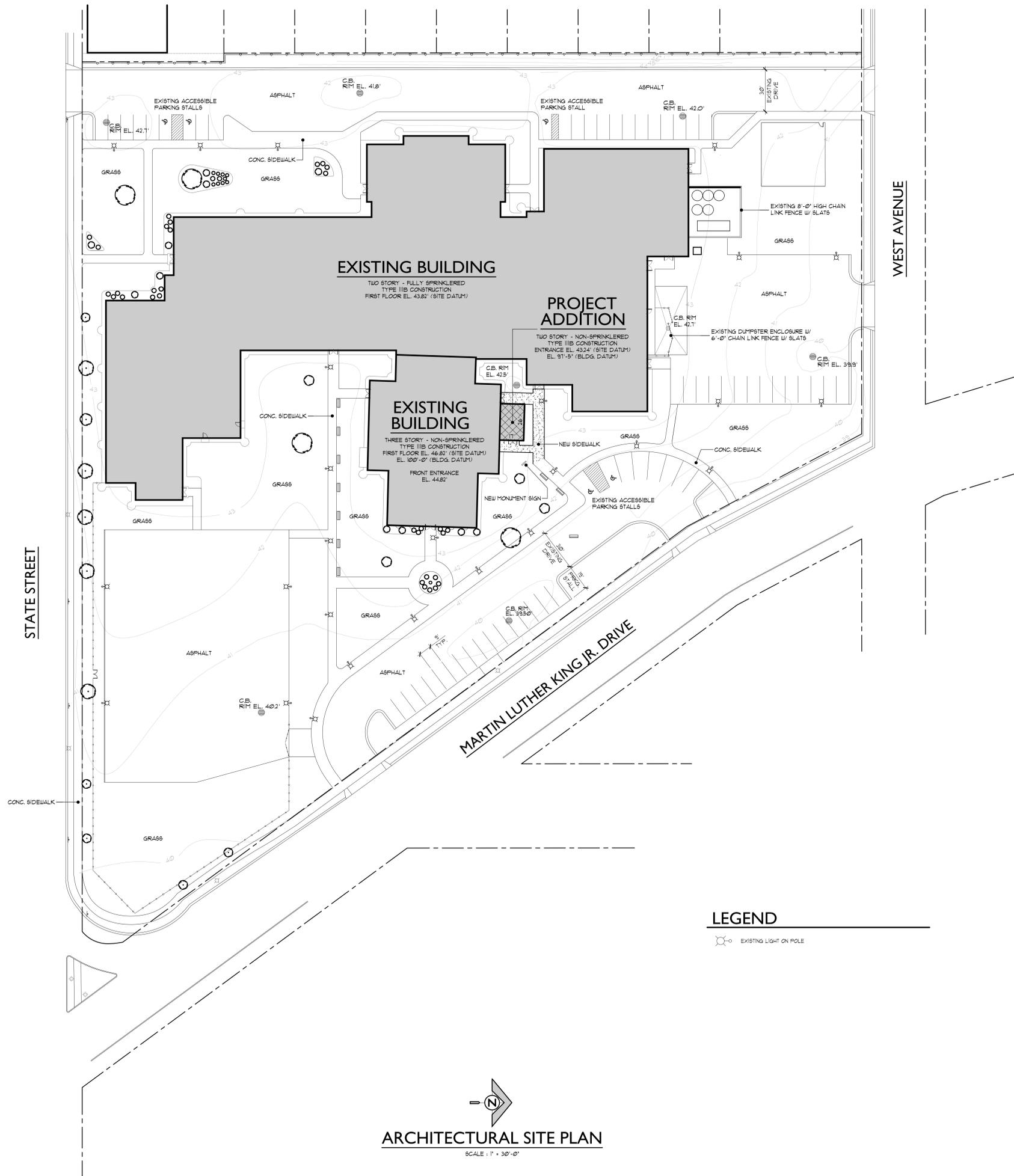
**OWNER & APPLICANT AUTHORIZATION**

If you currently are not the owner of the property for which the Conditional Use is requested, the owner/s must also sign this form, or provide a separate written, dated, and signed statement that authorizes the applicant to process the request.

Applicant: Date: 8-5-19 Signature: \_\_\_\_\_  
Print Name: SHANNON S. GORDON  
Property Owner's Consent: Date: \_\_\_\_\_ Signature: \_\_\_\_\_  
Print Name: \_\_\_\_\_

**\*\*Please submit this application and submittal requirements together with a non-refundable fee of \$695.00. If request is submitted with a rezoning request, the combined non-refundable fee is \$1,120.00.**

(Go to Page 2 for Submittal Requirements)...



  
**ARCHITECTURAL SITE PLAN**  
 SCALE: 1" = 30'-0"

**LEGEND**  
 ○-○ EXISTING LIGHT ON POLE

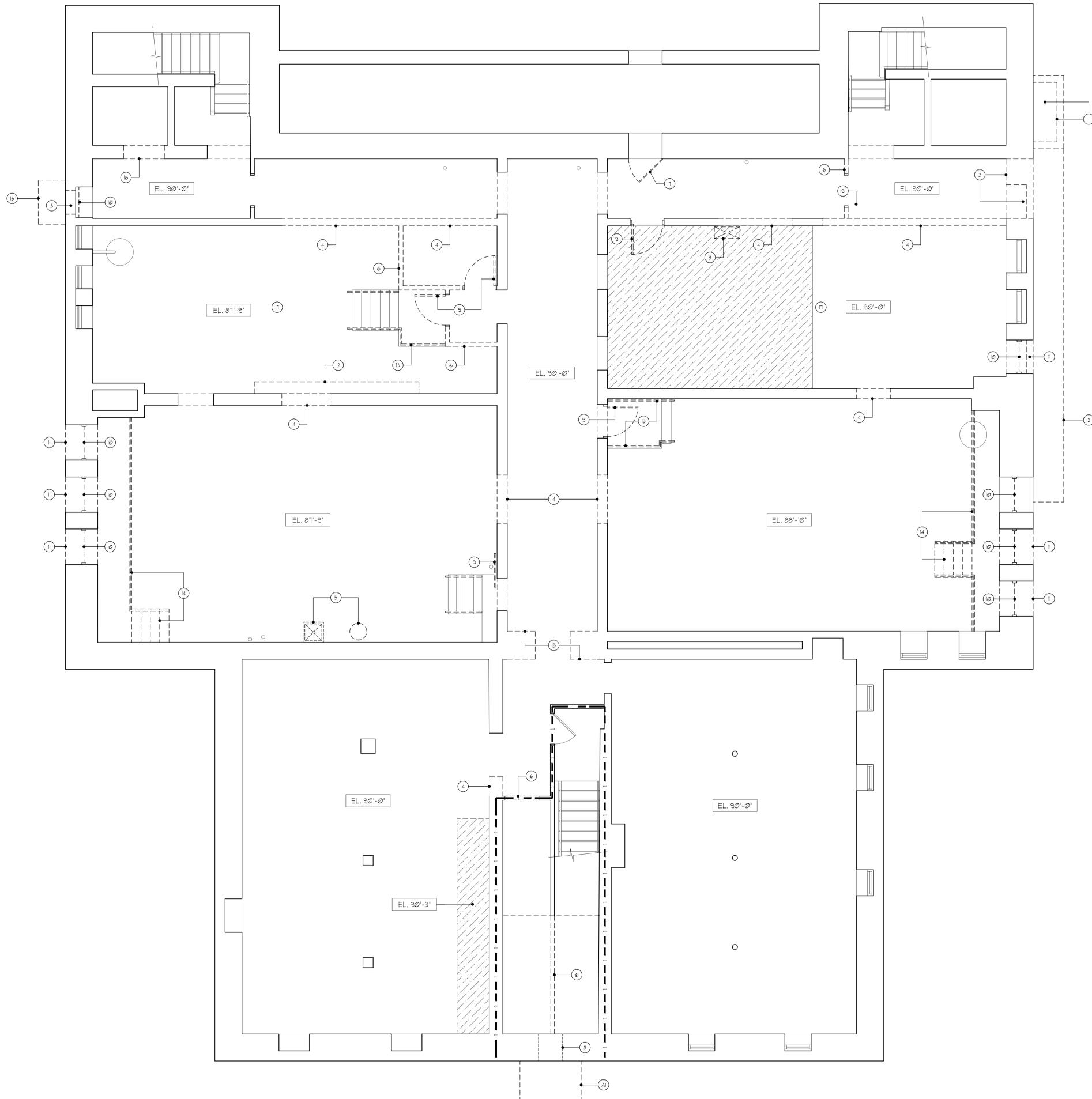
Elevator addition and interior renovation project for:  
**THE RACINE COMMUNITY HEALTH CENTER**  
 930 DR. MARTIN LUTHER KING DR. RACINE, WI 53404  
**BUTTERFIELD, RUDIE & SEITZ, INC.**  
 RACINE, WISCONSIN

ARCHITECTURE ■ ENGINEERING ■ PLANNING  
 PHONE: (262) 634-5565  
 EMAIL: info@BRS-Architects.com

**Butterfield  
 Rudie  
 & Seitz**  
 BRS PROJECT NO.  
**10-19C**  
 AUG. 5, 2019

REVISIONS

SHEET NO.  
**1**



### DEMOLITION NOTES

- GRIND FLOOR LEVEL DOWN AS REQ'D FOR NEW CONSTRUCTION IN ORDER TO MATCH FLOOR LEVEL IN CENTER CORRIDOR.
- REMOVE PORTION OF SLAB ON GRADE AND BASE AS REQ'D FOR NEW CONSTRUCTION.
- 1 REMOVE SUSPENDED SLAB AS REQ'D FOR NEW CONSTRUCTION.
- 2 REMOVE PORTION OF FOOTING AS REQ'D FOR NEW CONSTRUCTION.
- 3 REMOVE PORTION OF STONE AND POURED CONCRETE FOUNDATION WALL AS REQ'D FOR NEW CONSTRUCTION.
- 4 REMOVE PORTION OF MASONRY WALL FROM UNDERSIDE OF FLOOR ABOVE TO MIN. OF 4" BELOW FINISHED FLOOR AS REQ'D FOR NEW CONSTRUCTION.
- 5 REMOVE EXISTING PLUMBING FIXTURES AND CAP PLUMBING LINES AS REQ'D FOR NEW CONSTRUCTION. SEE PLUMBING PLANS.
- 6 REMOVE PARTITION WALLS AS REQ'D FOR NEW CONSTRUCTION.
- 7 REMOVE ACCESS DOOR AND HARDWARE.
- 8 REMOVE HVAC DUCT. SEE MECHANICAL PLANS.
- 9 REMOVE DOOR FRAME AND HARDWARE AS REQ'D FOR NEW CONSTRUCTION. SALVAGED AND PROVIDE TO OWNER.
- 10 REMOVE WINDOW AND HARDWARE AS REQ'D FOR NEW CONSTRUCTION.
- 11 REMOVE PORTION OF STONE AND POURED CONCRETE FOUNDATION WALL BELOW WINDOW AS REQ'D FOR NEW CONSTRUCTION.
- 12 REMOVE MASONRY PARTIAL WALL AND SUPPORTING HARDWARE AS REQ'D.
- 13 REMOVE HANDRAIL AND GUARDRAIL AS REQ'D FOR NEW CONSTRUCTION.
- 14 REMOVE WOOD PLATFORM, HANDRAILS, GUARDRAILS, AND STAIRS AS REQ'D FOR NEW CONSTRUCTION.
- 15 REMOVE MASONRY WALL AND ARCH FROM UNDERSIDE OF FLOOR ABOVE TO MIN. OF 4" BELOW FINISHED FLOOR AS REQ'D FOR NEW CONSTRUCTION. FIELD VERIFY W/ ARCHITECT DURING DEMOLITION THAT THIS WALL IS NOT LOAD BEARING.
- 16 REMOVE PORTION OF MASONRY WALL AS REQ'D FOR NEW CONSTRUCTION. TOP OF OPENING SHALL BE UNDERSIDE OF STAIR LANDING TO THE WEST.
- 17 REMOVE LATHE CEILING FROM THIS ROOM.

### FRONT ENTRANCE BID

- A1 REMOVE SUSPENDED SLAB AND SIDEWALK AS REQ'D FOR NEW CONSTRUCTION.

**LOWER LEVEL DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"

Elevator addition and interior renovation project for:  
**THE RACINE COMMUNITY HEALTH CENTER**  
 930 DR. MARTIN LUTHER KING DR. RACINE, WI 53404

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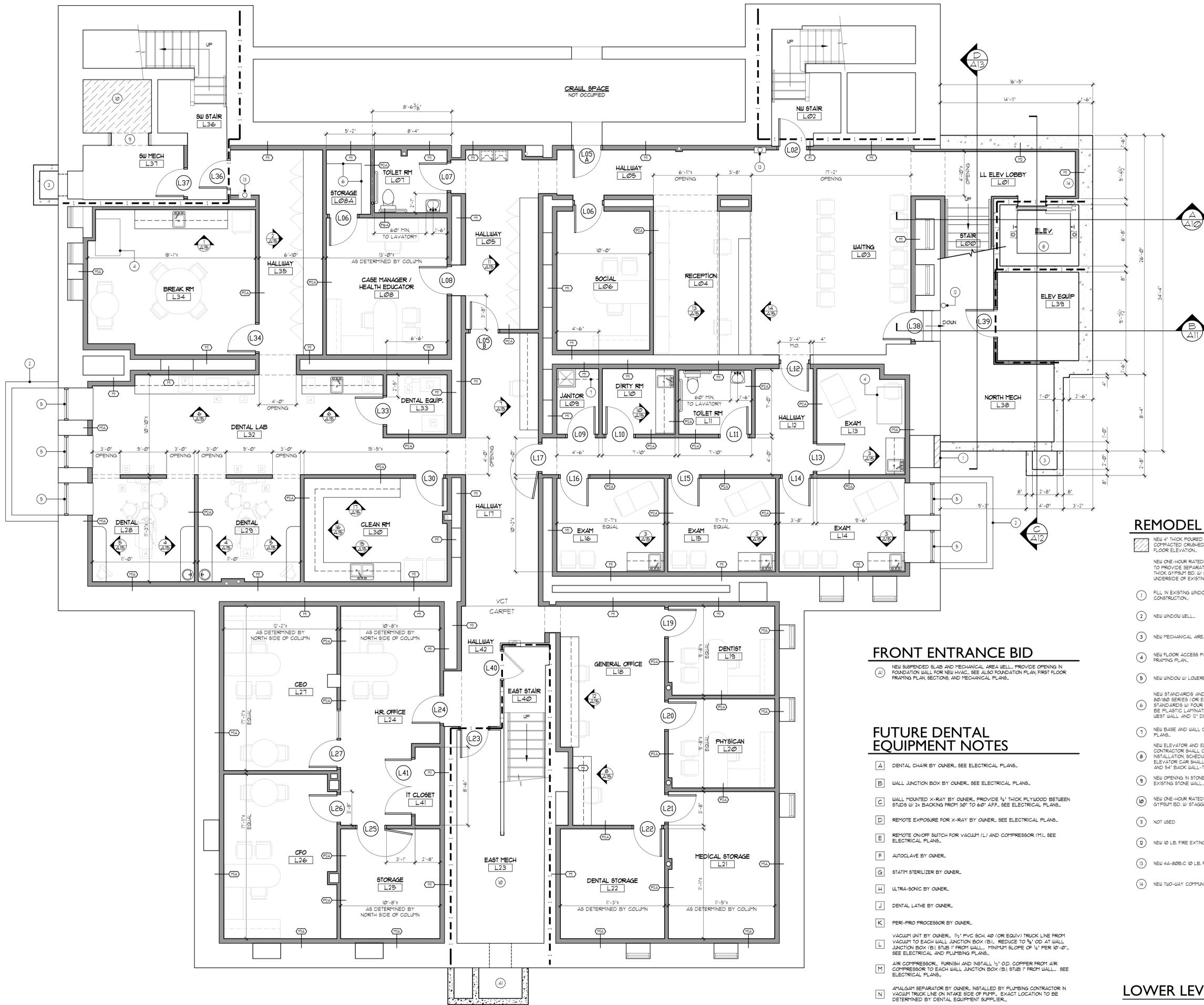
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**REMODEL NOTES**

- 1. NEW 4" THICK FORMED CONG. SLAB ON GRADE W/ 4" W/ (W/4) OVER COMPACTED CRUSHED STONE BASE. FLOOR TO MEET AND MATCH ADJACENT FLOOR ELEVATION.
- 2. NEW ONE-HOUR RATED CEILING SHALL BE INSTALLED THROUGH OUT LOWER LEVEL TO PROVIDE SEPARATION FROM FIRST FLOOR. PROVIDE TWO LAYERS OF 1/2" THICK GYPSUM BD. W/ STAGGERED JOINTS OVER 2x FRAMING FASTENED TO UNDERSIDE OF EXISTING FLOOR JOISTS TO ALLOW SPACE FOR EXISTING CONDUIT.
- 3. FILL IN EXISTING WINDOW OPENING W/ CMU TO MEET AND MATCH EXISTING EXTERIOR CONSTRUCTION.
- 4. NEW WINDOW WELL.
- 5. NEW MECHANICAL AREA WELL.
- 6. NEW FLOOR ACCESS PANEL FOR ACCESS TO SUMP PUMP. SEE FIRST FLOOR FRAMING PLAN.
- 7. NEW WINDOW W/ LOWERED WINDOW SILL. SEE SECTION.
- 8. NEW STANDARDS AND BRACKETS ADJUSTABLE SHELVING. Knappe 4 Vogt 80/80 SERIES (OR EQUAL) IN WHITE COLOR. FIVE (5) 60" HIGH VERTICAL STANDARDS W/ FOUR (4) SETS OF BRACKETS AND SHELVES. SHELVES SHALL BE PLASTIC LAMINATE COVERED PLYWOOD IN WHITE COLOR. 18" DEEP ON WEST WALL AND 12" DEEP ON NORTH WALL.
- 9. NEW BASE AND WALL CABINETS W/ SINGLE BOWL SINK. SEE ALSO PLUMBING PLANS.
- 10. NEW ELEVATOR AND ELEVATOR EQUIPMENT PURCHASED BY OWNER. GENERAL CONTRACTOR SHALL COORDINATE W/ OWNER'S ELEVATOR SUPPLIER FOR INSTALLATION SCHEDULING SUPERVISION ETC. MIN. INTERIOR DIMENSIONS OF ELEVATOR CAR SHALL BE 68" SIDE-TO-SIDE, 51" BACK WALL-TO-FRONT RETURN AND 54" BACK WALL-TO-INSIDE FACE.
- 11. NEW OPENING IN STONE WALL. PATCH OUT JAMBS OF OPENING TO MATCH FACE OF EXISTING STONE WALL. SEE FRAMING PLAN FOR NEW LINTEL.
- 12. NOT USED.
- 13. NEW 10 LB. FIRE EXTINGUISHER W/ WALL MOUNT BRACKET.
- 14. NEW 4A-80B-C 10 LB. FIRE EXTINGUISHER IN RECESSED CABINET.
- 15. NEW TWO-WAY COMMUNICATION SYSTEM. SEE SPEC.

**FRONT ENTRANCE BID**

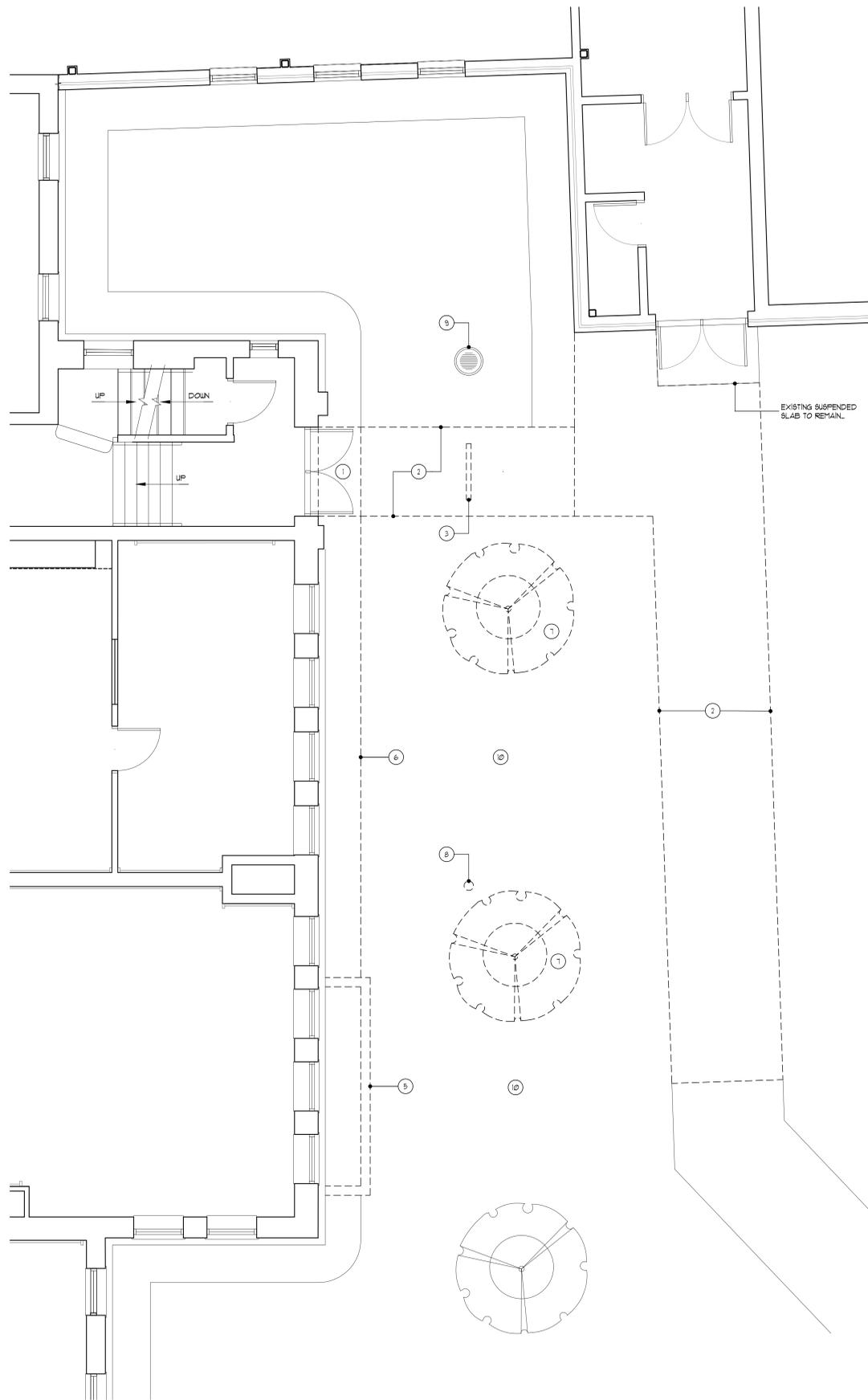
- A. NEW SUSPENDED SLAB AND MECHANICAL AREA WELL. PROVIDE OPENING IN FOUNDATION WALL FOR NEW HVAC. SEE ALSO FOUNDATION PLAN, FIRST FLOOR FRAMING PLAN, SECTIONS AND MECHANICAL PLANS.

**FUTURE DENTAL EQUIPMENT NOTES**

- A. DENTAL CHAIR BY OWNER. SEE ELECTRICAL PLANS.
- B. WALL JUNCTION BOX BY OWNER. SEE ELECTRICAL PLANS.
- C. WALL MOUNTED X-RAY BY OWNER. PROVIDE 1/2" THICK PLYWOOD BETWEEN STUDS W/ 2x BACKING FROM 30" TO 60" AFF. SEE ELECTRICAL PLANS.
- D. REMOTE EXPOSURE FOR X-RAY BY OWNER. SEE ELECTRICAL PLANS.
- E. REMOTE ON/OFF SWITCH FOR VACUUM (V) AND COMPRESSOR (M). SEE ELECTRICAL PLANS.
- F. AUTOCLAVE BY OWNER.
- G. STAIN STERILIZER BY OWNER.
- H. ULTRA-SONIC BY OWNER.
- J. DENTAL LATHE BY OWNER.
- K. PERI-PRO PROCESSOR BY OWNER.
- L. VACUUM UNIT BY OWNER. 1/2" PVC SCH. 40 (OR EQUIV) TRUCK LINE FROM VACUUM TO EACH WALL JUNCTION BOX (B). REDUCE TO 3/8" OD AT WALL JUNCTION BOX (B) STUB 1" FROM WALL. MINIMUM SLOPE OF 1/4" PER 10'-0". SEE ELECTRICAL AND PLUMBING PLANS.
- M. AIR COMPRESSOR. FURNISH AND INSTALL 1/2" OD COPPER FROM AIR COMPRESSOR TO EACH WALL JUNCTION BOX (B) STUB 1" FROM WALL. SEE ELECTRICAL PLANS.
- N. ANALGAM SEPARATOR BY OWNER. INSTALLED BY PLUMBING CONTRACTOR IN VACUUM TRUCK LINE ON INTAKE SIDE OF PUMP. EXACT LOCATION TO BE DETERMINED BY DENTAL EQUIPMENT SUPPLIER.

**LOWER LEVEL REMODELED PLAN**

SCALE: 1/4" = 1'-0"



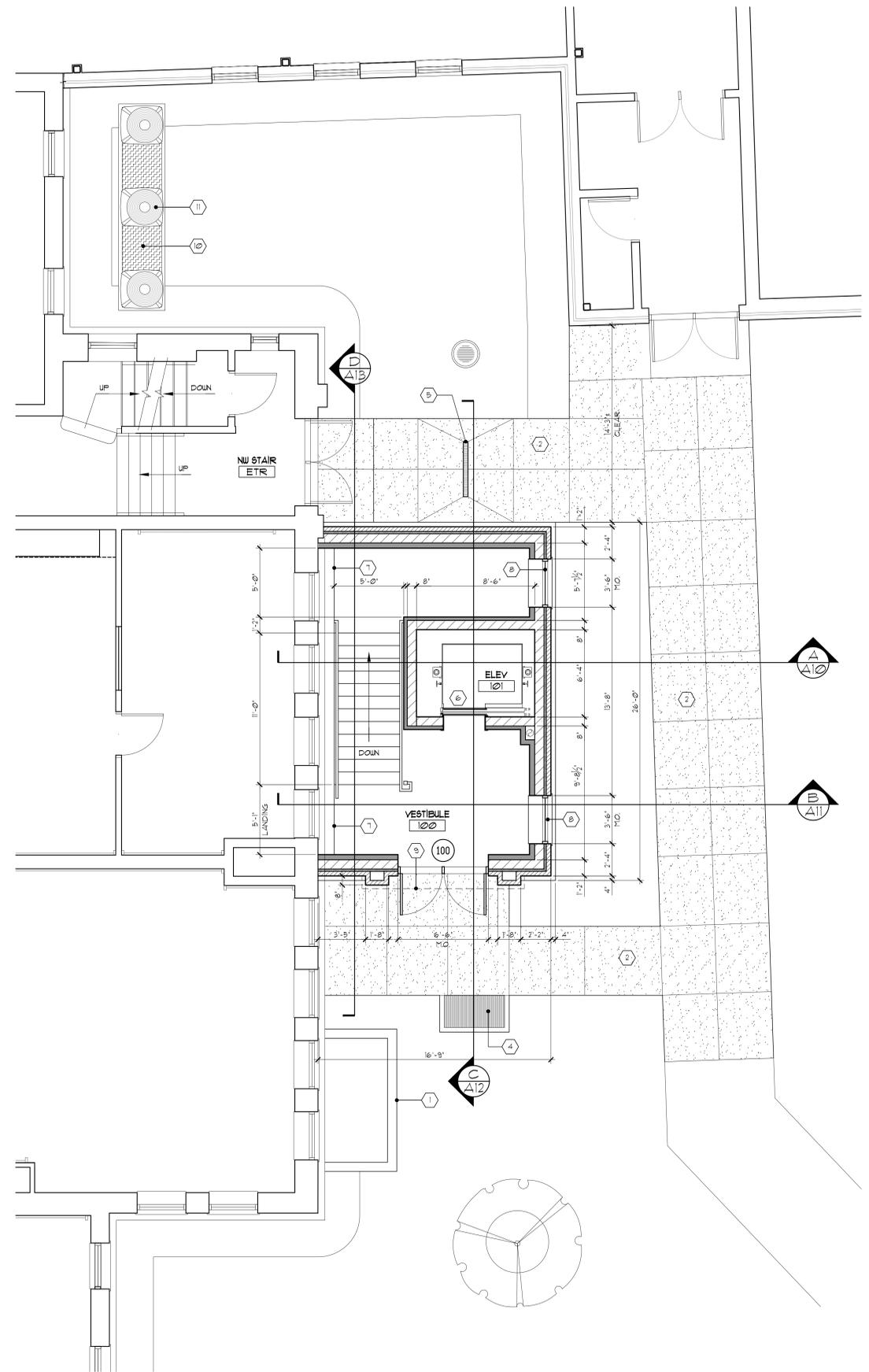
**FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

**DEMOLITION NOTES**

- 1 REMOVE SUSPENDED SLAB AS REQ'D FOR NEW CONSTRUCTION.
- 2 REMOVE SIDEWALK AS REQ'D FOR NEW CONSTRUCTION.
- 3 REMOVE TRENCH DRAIN. SEE CIVIL / PLUMBING PLANS.
- 4 NOT USED
- 5 REMOVE MASONRY WINDOW WELL.
- 6 REMOVE LANDSCAPE BED AND EDGE.
- 7 REMOVE TREE, MULCH, ETC. AS REQ'D FOR NEW CONSTRUCTION.
- 8 REMOVE CLEAN OUT. SEE CIVIL / PLUMBING PLANS.
- 9 EXISTING CATCH BASIN. SEE CIVIL / PLUMBING PLANS FOR NEW CONSTRUCTION AND/OR TIE-IN.
- 10 REMOVE GRASS, EARTH WORK, ETC. AS REQ'D FOR NEW CONSTRUCTION.

**REMODEL NOTES**

- GRIND FLOOR LEVEL DOWN AS REQ'D FOR NEW CONSTRUCTION IN ORDER TO MATCH FLOOR LEVEL IN CENTER CORRIDOR.
- 1 NEW AREA WELL FOR BASEMENT WINDOWS. SEE SECTION.
- 2 NEW 5" THICK SIDEWALK SLAB W/ COMPACTED STONE BASE. PROVIDE CONTROL JOINTS AT 60' MAX.
- 3 NEW SUSPENDED SLAB. SEE SECTIONS.
- 4 NEW AREA WELL GRATE. SEE SECTION.
- 5 NEW TRENCH DRAIN. SEE CIVIL / PLUMBING PLANS.
- 6 NEW ELEVATOR AND ELEVATOR EQUIPMENT PURCHASED BY OWNER. GENERAL CONTRACTOR SHALL COORDINATE W/ OWNER'S ELEVATOR SUPPLIER FOR INSTALLATION, SCHEDULING, SUPERVISION, ETC.
- 7 NEW SOLID SURFACE LEDGE W/ 1/4" THICK PLYWOOD BACKER. SEE SECTIONS.
- 8 NEW INSULATED DOUBLE HUNG ALUMINUM WINDOW W/ STONE SILL TO MATCH EXISTING ADJACENT WINDOWS.
- 9 NEW PAINTED WOOD DECORATIVE CORNICE TO MATCH PROFILE AND SIZE OF EXISTING CORNICE OVER PAIR OF DOOR ON WEST SIDE OF ADDITION. SEE ALSO WEST ELEVATION.
- 10 EQUIPMENT PLATFORM. SEE ELEVATIONS AND SECTIONS ON SHEET A8.
- 11 NEW HVAC EQUIPMENT. SEE HVAC PLANS.



**FIRST FLOOR REMODELED PLAN**  
SCALE: 1/4" = 1'-0"

elevator addition and interior renovation project for  
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930 DR. MARTIN LUTHER KING DR. RACINE, WI 53404

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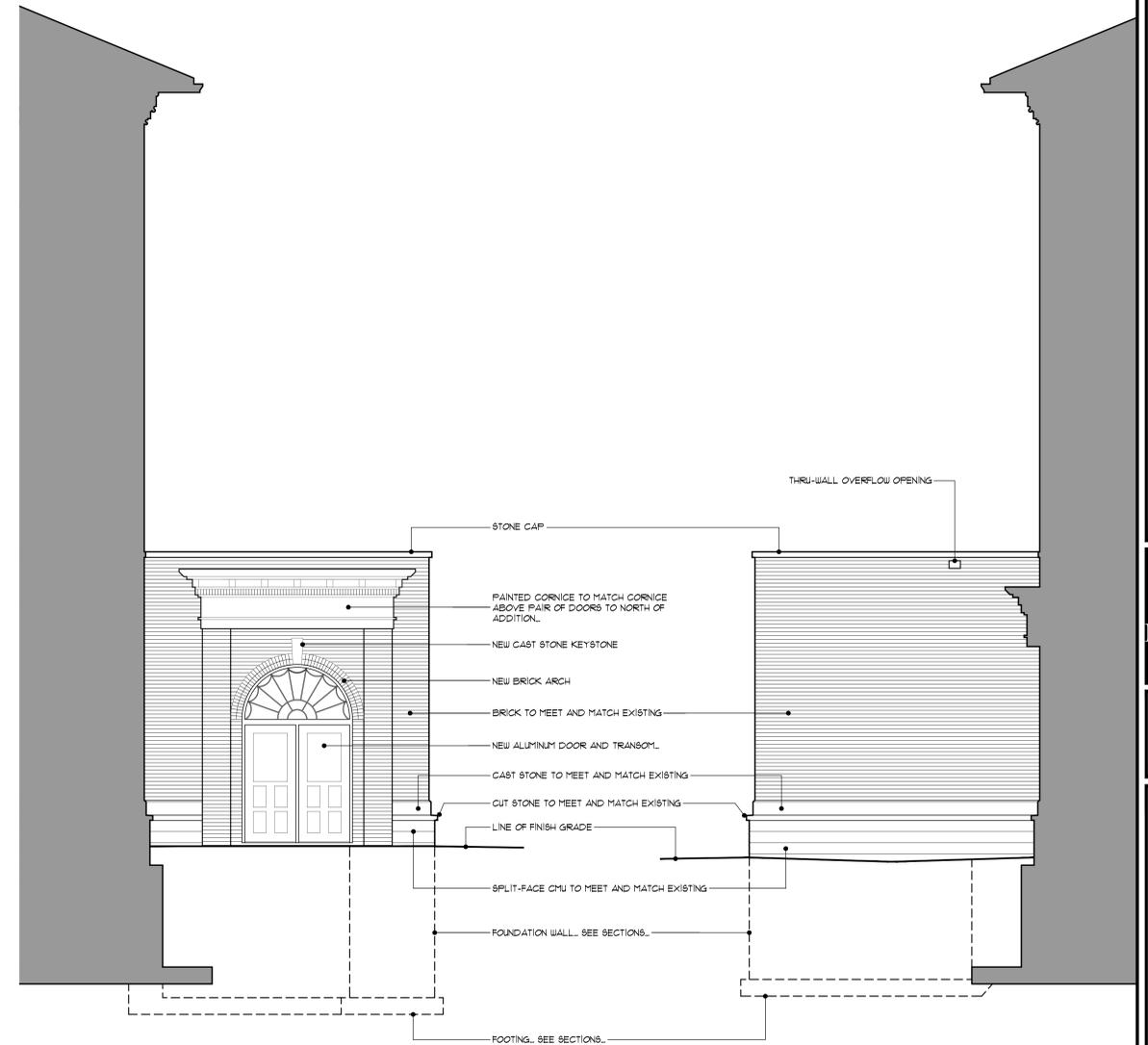
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**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

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## Racine Community Health Center Abstract

### Grant Information:

- Federal Agency: Health Resources & Services Administration (HRSA)
- Competition Name: Health Center Program-New Access Points
- Funding Opportunity Number: HRSA-19-080
- CFDA Number: 93.224
- Application Due Date: March 12, 2019
- HRSA anticipates issuing/announcing award prior to the start date of September 1, 2019.

### Description of Agency & Proposal Summary

The Racine Community Health Center (RCHC) is a 501c3 organization applying for a New Access Point grant to serve individuals who are unable to access health care due to limited finances, lack of insurance, lack of access to a health care provider, or lack of transportation in Racine, Wisconsin. This community-initiated, grassroots, non-profit organization formed in 2018 with strong ties to the public health department, local health systems and community stakeholders committed to addressing inequities in access to health care for a large number of individuals who are disproportionately low-income and people of color living in the City of Racine in Southeastern Wisconsin.

The Racine Community Health Center will be located in the heart of the City of Racine at Julian Thomas Elementary School and will serve the 54,614 individuals located in the 53404 and 53403 zip codes. An entire section of the school will be remodeled into a community health center which will improve access to health care for the children attending the school and their families and community members living in close proximity to the school.

Racine zip codes 53404 and 53403 have been selected as the service area due to the severity of unmet needs of individuals living in the area. Residents in the service area experience higher rates of poverty and unemployment, lack of insurance and are more likely to be people of color than the surrounding area or the state. According to the American Community Survey 2013-2017, there are 22,540 people (41%) living in the service area who have incomes below 200% of the Federal Poverty Level.

Poverty- Service Area (53404 & 53403) compared to Wisconsin Source: American Community Survey, 2013-2017		
	Service Area	Wisconsin
Below 100% of FPL	17%	12%
100-199% of FPL	24%	17%
200+ of FPL	59%	71%

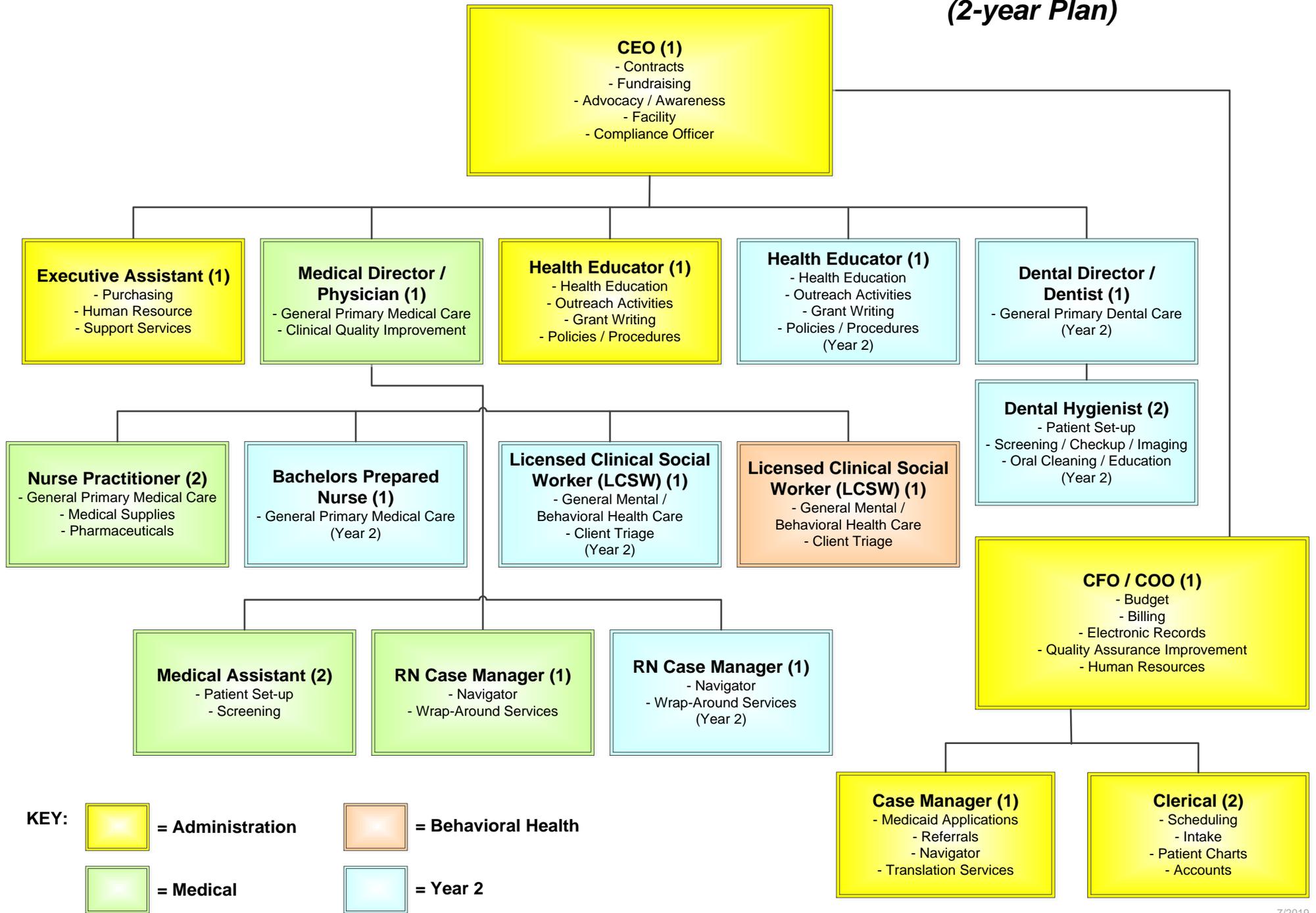
Within the service area 9% of the population is uninsured, 26% utilize Medical Assistance as their form of insurance, 12% have Medicare, 7% utilize health benefits through the Veterans Administration, and 46% have private insurance. The lack of

affordable and appropriate primary care services/providers in the area is exacerbated by unemployment, poverty and the tendency (among the low-income populations) to focus on the immediate crisis (e.g., housing, food, clothing and health emergencies) rather than lifelong health and wellness. RCHC will address this need by offering full scope primary health care services and mental health services utilizing a sliding fee discount program.

RCHC is requesting \$650,000/year for two years (9/1/19-8/31/21). These funds will enable RCHC to provide primary care, case management, mental health care and health education within the Julian Thomas facility. Specialty care, pharmaceuticals and dental services will be facilitated through referral relationships with area providers. By year 3, RCHC will expand oral health services through funding to support a dentist and dental assistant. RCHC will work to link patients to other contractual providers of service and community support systems. This proposed model will increase RCHC's capacity for primary care services and dramatically enhance the community's access to comprehensive primary care and mental health services.

# RACINE COMMUNITY HEALTH CENTER STAFFING MODEL (F)

*(2-year Plan)*



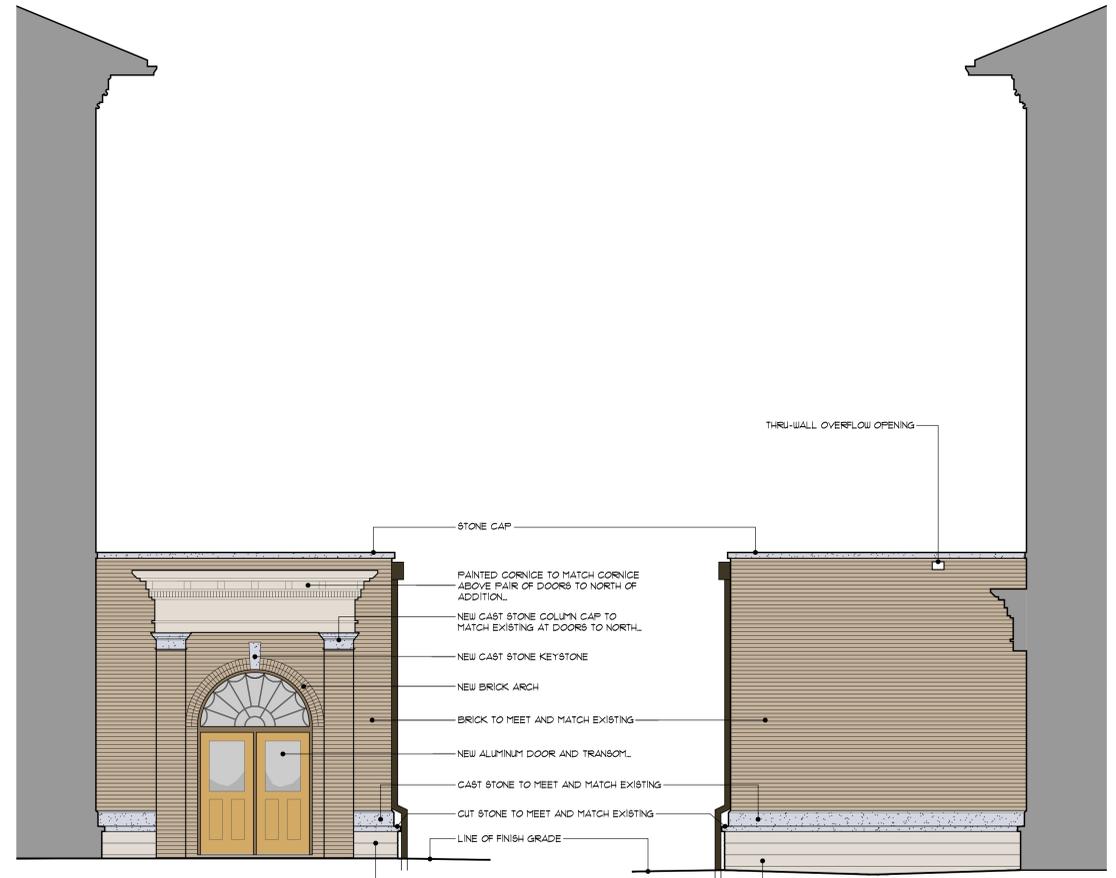
**KEY:**

<span style="display: inline-block; width: 20px; height: 20px; background-color: yellow; border: 1px solid black; margin-right: 5px;"></span> = Administration	<span style="display: inline-block; width: 20px; height: 20px; background-color: orange; border: 1px solid black; margin-right: 5px;"></span> = Behavioral Health
<span style="display: inline-block; width: 20px; height: 20px; background-color: lightgreen; border: 1px solid black; margin-right: 5px;"></span> = Medical	<span style="display: inline-block; width: 20px; height: 20px; background-color: lightblue; border: 1px solid black; margin-right: 5px;"></span> = Year 2



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

**WEST ELEVATION**

SCALE: 1/4" = 1'-0"