



Partners in Design
ARCHITECTS

**Partners in Design
Architects, Inc.**

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Suite 220
Kenosha, WI 53140
262.652.2800

I L L I N O I S
2610 Lake Cook Road
Suite 280
Riverwoods, IL 60015
847.940.0300

May 20, 2024

Department of City Development
Racine, Wisconsin

Re: Butter Buds, Inc. Conditional Use Application

To Whom it May Concern:

We are requesting your consideration of a minor amendment to the existing conditional use related to the Butter Buds, Inc. facility located at 2330 Chicory Road and 3911 S Memorial Drive. Butter Buds currently operates out of both facilities and they are contemplating an addition of a finished goods cold storage facility that would combine the two buildings into a single structure.

Butter Buds has already gone through the effort of combining the parcels into a single parcel so upon completion of the project they will have a single building on a single parcel.

The proposed addition is a 4,952 sf finished product cold storage structure. The addition will not cause a change in zoning, hours of operation or general use of the building or lot. There will be no change in hard surface, parking or site lighting and the addition will fully comply with the required building setbacks.

The exterior building material of the addition will be a split face concrete masonry unit with integral color to match the existing north building. Accent color banding, using a smooth face concrete masonry unit, is proposed to reflect similar accent banding of the existing two buildings.

We appreciate your consideration of our request.

Sincerely,

Mark A. Molinaro Jr., AIA, ALA, LEED AP

www.pidarchitects.com

PASSION COLLABORATION VISION



Application for Conditional Use Permit

Applicant Name: Rich Kauffman/Butter Buds, Inc.

Address: 2330 Chicory Road City: Racine

State: WI Zip: 53403

Telephone: (262)598-9900 Cell Phone:

Email: kauffman@bbuds.com

Agent Name: Mark Molinaro/Partners in Design Architects

Address: 600 52nd Street, STE 220 City: Kenosha

State: WI Zip: 53140

Telephone: (262)652-2800 Cell Phone: (262)705-8000

Email: markm@pidarchitects.com

Property Address (Es): 2330 Chicory Road, Racine

Current Zoning: I-1/IP

Current/Most Recent Property Use: Dry ingredient production/storage

Proposed Use: No change in use - addition will include cold storage of finished product





The application will be evaluated using the standards of Sec. 114-154 of the Municipal Code (below). Please use the space to justify and explain how your proposal addresses these conditions; use an additional sheet if necessary.

- (1) The establishment, maintenance, or operation of the conditional use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare;
The proposed building addition will result in the combination of two buildings (and parcels) into a single building and parcel. The new building size and site access conforms to all local and state code requirements.
- (2) The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
Proposed project is located in an existing industrial park and meets the requirements of the park protective covenants and the City of Racine ordinances.
- (3) The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;
The proposed addition will not have a material impact on any adjacent and/or surrounding properties.
- (4) Adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided;
All existing utilities are in place and will adequately support the proposed addition.
- (5) Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;
Ingress and egress from site will not be impacted in any material way by the addition. Fire department access will be enhanced with the relocation of the FDC.
- (6) The proposed conditional use is not contrary to the objectives of the current land use plan for the city; and
Proposed addition is appropriate under the current zoning.
- (7) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the plan commission.
The project conforms in all aspects.





If the required supplemental materials, which constitute a completed application, are not submitted, the application will not be processed.

Required Submittal Format

1. An electronic submission via email/USB drive/CD/Download link; and
2. One (1) paper copy, no larger than 11” x 17” size.

Required Submittal Item	Applicant Submitted	City Received
1. Conditional Use Review Application	<input type="checkbox"/>	
2. Written description of project, including: <ol style="list-style-type: none"> a. Hours of operation b. Anticipated delivery schedule c. Maintenance plan d. General use of the building and lot 	<input type="checkbox"/>	
3. Site Plan (drawn to scale), including: <ol style="list-style-type: none"> a. Fully dimensioned property boundary b. All buildings (existing and proposed) c. Setbacks from property lines d. Identification as to whether all elements are “Existing” or “Proposed” e. Dimensioned parking spaces and drive aisle layout f. Trash enclosure location and materials g. Loading spaces h. Fire hydrant locations i. Location of signage, with setbacks 	<input type="checkbox"/>	
4. Zoning Analysis Table <ol style="list-style-type: none"> a. Land area (in acres and square feet) b. Building area (in square feet) c. Setbacks (required yards in feet) d. Floor Area Ratio (building area divided by lot area) e. Lot Coverage (building footprint divided by lot area) f. Height of all buildings and structures g. Percentage of greenspace (landscaped areas divided by lot area) h. Parking spaces 	<input type="checkbox"/>	
5. Landscape Plan <ol style="list-style-type: none"> a. Bufferyards b. Parking Areas c. Screening and fencing locations d. Plant lists including the following: Latin and Common Names, Number of each planting material, and Size at planting. 	<input type="checkbox"/>	






Required Submittal Item	Applicant Submitted	City Received
6. Lighting Plan a. Location of light fixtures b. A cut sheet of light fixtures with indication of cut-offs or shielding c. Illumination diagram indicating intensity of lighting on the property.	<input type="checkbox"/>	
7. Floor Plan a. Preliminary floor plan layout of all buildings/structures b. Labels for the type of use of the area c. Labels for square footage of the area	<input type="checkbox"/>	
8. Engineering Plan a. Stormwater Plan (Drainage pattern, flow, detention) b. Existing and proposed roadway and access configurations c. Cross access	<input type="checkbox"/>	
9. Signage Plan a. dimensioned color elevations of signage b. A diagram showing the location of the proposed signage	<input type="checkbox"/>	
10. Building/site elevations (if new building or exterior changes planned) a. Building elevations showing all four sides of the buildings in color b. Elevation of trash enclosure area	<input type="checkbox"/>	
11. Building Material Samples (if making exterior changes)	<input type="checkbox"/>	
12. Review Fee	<input type="checkbox"/>	


Acknowledgement and authorization signatures

A conditional use is not like a building permit; applying does not mean it will be approved.

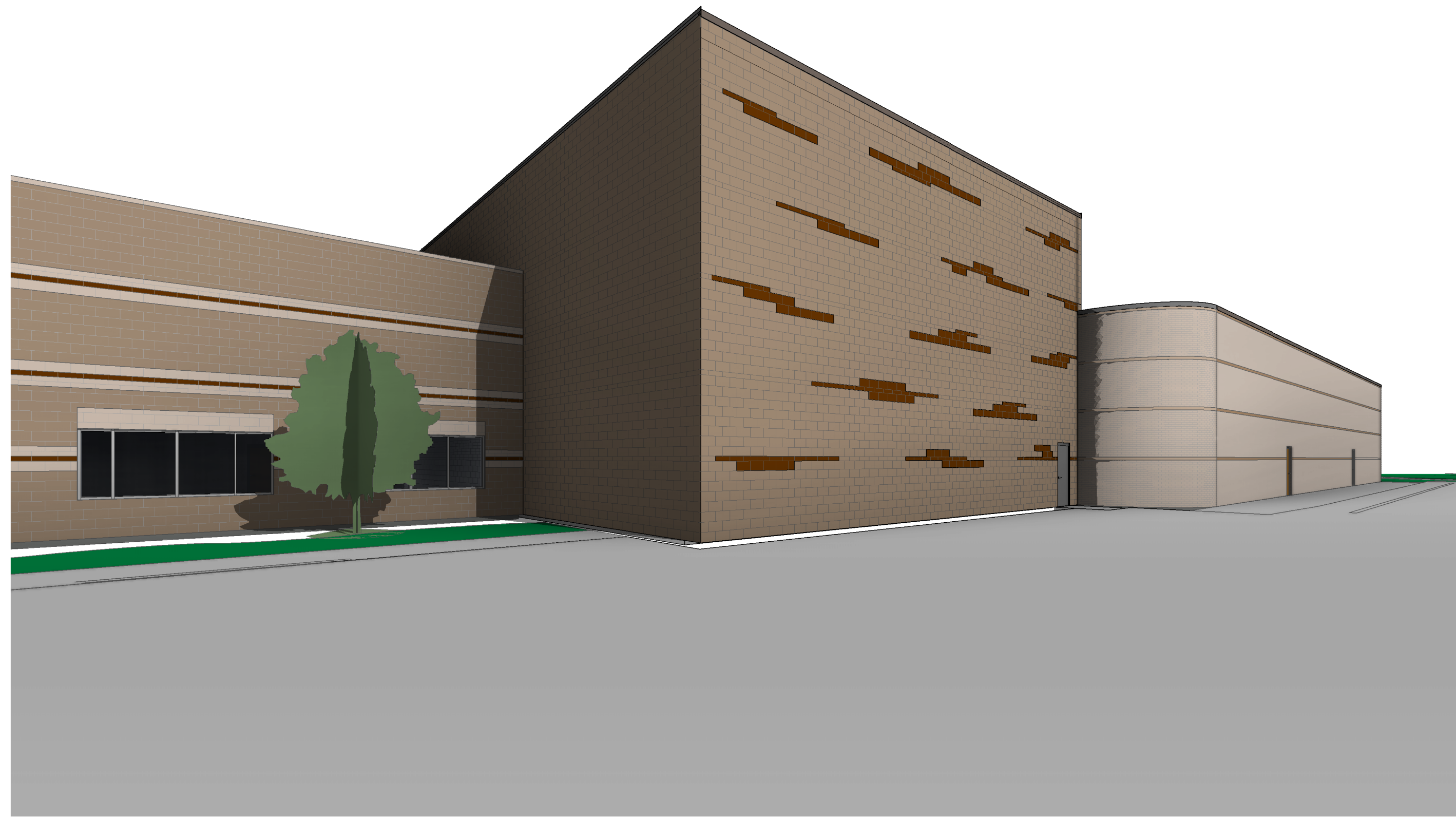
The approval may contain conditions related to the improvement of the site which must be met prior to the issuance of a building occupancy permit. Conditions related to the operational aspect(s) of the business must be complied with at all times. That, in the event site improvement work required by ordinance cannot be completed prior to desired occupancy, a financial assurance, at 100% of the improvement estimate, guaranteeing completion of the required improvements must be placed on file with the City of Racine. Estimates and Assurance documents are subject to the review and final approval by the City. Improvements may include but are not limited to landscaping, fencing, lighting, pavement surfacing and sealing, dumpster enclosures, and exterior building improvements;

The signature(s) hereby certify that the statements made by myself and constituting part of this application are true and correct. I am fully aware that any misrepresentation of any information on this application may be grounds for denial of this application.

Owner Signature (acknowledgement and authorization):  Date: 5/20/24

Applicant Signature (acknowledgement):  Date: 5/20/24





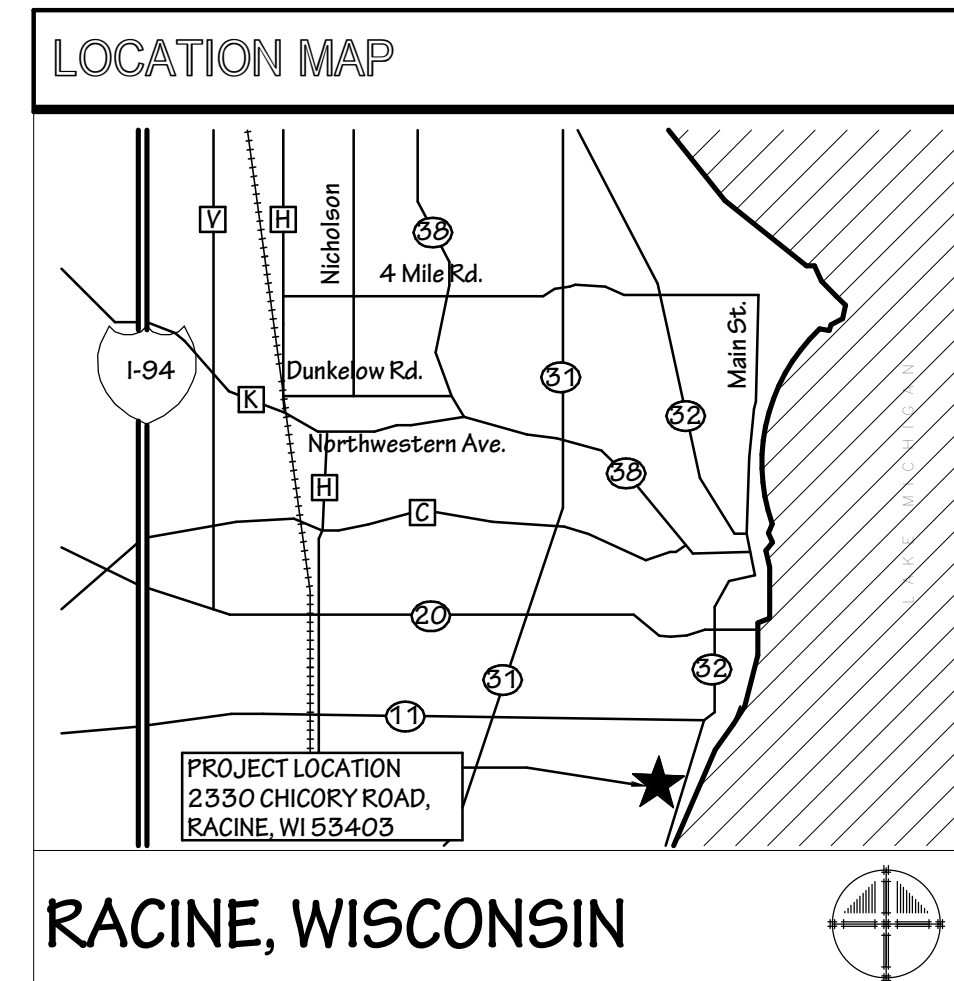
BUTTER BUDS EXPANSION

BUTTER BUDS RACINE, WISCONSIN

PROJECT DATA	
APPLICABLE CODES: 2015 IBC - INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS 2015 IBC - INTERNATIONAL EXISTING BUILDING CODE	
BUILDING USE AN OCCUPANCY CLASSIFICATION GROUP F1	
CONSTRUCTION CLASSIFICATION: TYPE IIB	
EXISTING BUILDING AREAS: NORTH BUILDING: 77,860 SQ FT SOUTH BUILDING: 51,351 SQ FT TOTAL BUILDING AREA: 129,211 SQ FT	
ADDITION BUILDING AREA: 4,952 SQ FT	

GENERAL NOTES	
1. DO NOT SCALE DRAWINGS.	
2. CONTRACTOR SHALL FIELD VERIFY AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS AND DIMENSIONS.	
3. EACH CONTRACTOR SHALL REVIEW AND COMPLETE PLANS FOR RELATED WORK.	
4. ALL WORK SHALL BE IN COMPLIANCE WITH STATE AND LOCAL CODES FOR RESPECTIVE TRADES.	

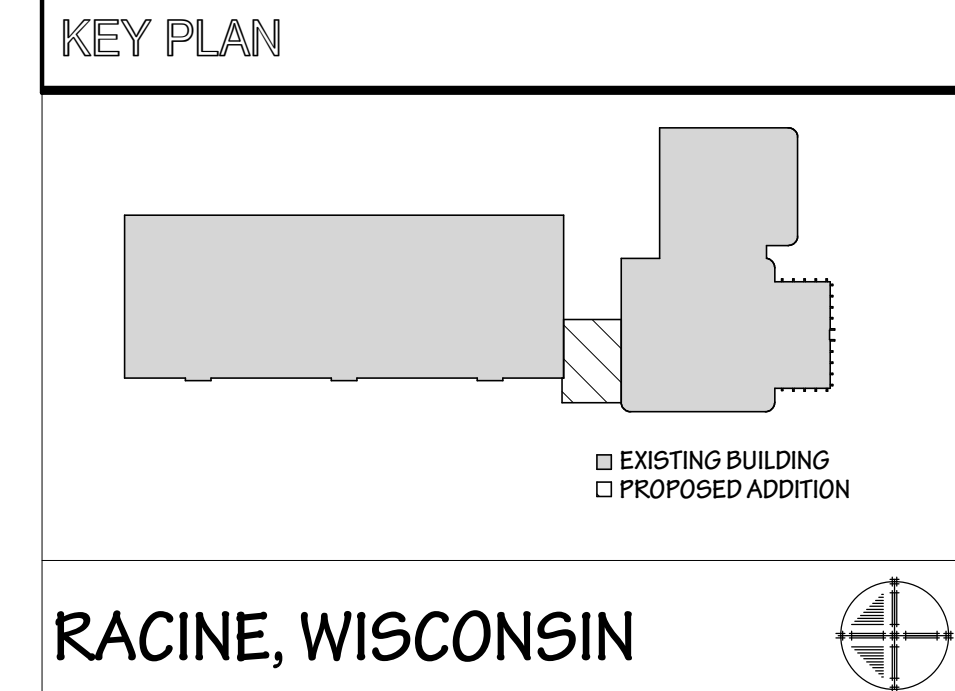
ABBREVIATIONS			
HM	HOLLOW METAL	ALT	ALTERNATE
HT	HEIGHT	A/E	ARCHITECT/ENGINEER
HW	HOT WATER	AF	ABOVE FINISH FLOOR
INT	INTERIOR	ALUM	ALUMINUM
INSUL	INSULATION	BD	BOARD
JT	JOINT	B/O	BOTTOM OF
LAV	LAVATORY	CPT	CARPET
MFR	MANUFACTURER		CENTERLINE
MIN	MINIMUM	CLG	CEILING
MO	MASONRY OPENING	CJ	CONTROL JOINT
MTL	METAL	CMU	CONCRETE MASONRY UNIT
NIC	NOT IN CONTRACT	CONC	CONCRETE
NTS	NOT TO SCALE	CONT	CONTINUOUS
OC	ON CENTER	CO	CLEAN OUT
OFI	OWNER FURNISHED, CONTRACTOR TO INSTALL	CW	COLD WATER
OPP	OPPOSITE	CT	CERAMIC TILE
PLYWD	PLYWOOD	DBL	DOUBLE
PL	PLASTIC LAMINATE	DF	DRINKING FOUNTAIN
f	PLATE	DIA	DIAMETER
PT	PORCELAIN TILE	DIM	DIMENSION
QT	QUARRY TILE	DN	DOWN
REQ'D	REQUIRED	DR	DOOR
RO	ROUGH OPENING	DS	DOWNSPOUT
SHT	SHEET	DTL	DETAIL
SV	SHEET VINYL	DWG	DRAWING
SIM	SIMILAR	EA	EACH
SS	SOLID SURFACE	EIFS	EXTERIOR INSULATION AND FINISH SYSTEM
SST	STAINLESS STEEL	EL	ELEVATION
STD	STANDARD	EJ	EXPANSION JOINT
SAT	SUSPENDED ACOUSTIC TILE CEILING	EQ	EQUAL
TBD	TO BE DETERMINED	EQUIP	EQUIPMENT
TEMP	TEMPORARY	EXIST	EXISTING
T/O	TOP OF	EXT	EXTERIOR
T&G	TONGUE AND GROOVE	EWC	ELECTRIC WATER COOLER
TYP	TYPICAL	FEC	FIRE EXTINGUISHER CABINET
UNO	UNLESS NOTED OTHERWISE	FIN	FINISH
VCT	VINYL COMPOSITION TILE	FD	FLOOR DRAIN
VB	VINYL BASE	FLR	FLOOR
VIF	VERIFY IN FIELD	FRP	FIBERGLASS REINFORCED PLASTIC
WD	WOOD	GA	GAUGE
WWF	WELDED WIRE FABRIC	GALV	GALVANIZED
		GYP BD	GYP SUM BOARD



SHEET INDEX	
TITLE SHEET	
A0.0	TITLE SHEET
CIVIL	
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C2.0	DIMENSIONED SITE PLAN
C3.0	SITE DEMOLITION PLAN
C4.0	SITE UTILITY PLAN
C5.0	SITE GRADING AND EROSION CONTROL PLAN
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C7.0	TYPICAL SECTIONS AND CONSTRUCTION DETAILS
STM-1	STORM SEWER DRAINAGE AREA MAP
ARCHITECTURAL	
A1.1	ARCHITECTURAL SITE PLAN
A3.1	FLOOR PLAN
A4.1	ELEVATIONS

IMPORTANT DATES	
WALK-THROUGH:	
BIDS DUE:	
PROJECT COMMENCEMENT:	
PROJECT COMPLETION:	

BID PACKAGES	



CLIENT:	
BUTTER BUDS 2330 CHICORY ROAD RACINE, WISCONSIN 53403 PHONE: 262.598.9900 ATTN:	

ARCHITECT:	
PARTNERS IN DESIGN ARCHITECTS 600 52ND STREET, SUITE 220 KENOSHA, WISCONSIN 53140 PHONE: 262.652.2800 ATTN: MARK MOLINARO JR, AIA	

GENERAL CONTRACTOR:	
BUKACEK CONSTRUCTION 2429 SUMMIT AVENUE RACINE, WISCONSIN 53404 PHONE: 262.637.1493 ATTN: PAUL MILLER	

CIVIL ENGINEER:	
NIELSEN MADSEN + BARBER 1458 HORIZON BLVD, SUITE 200 RACINE, WISCONSIN 53406 PHONE: 262.634.5588 ATTN: JASON CHRISTENSEN, P.E.	

STRUCTURAL ENGINEER:	

MEP ENGINEER:	

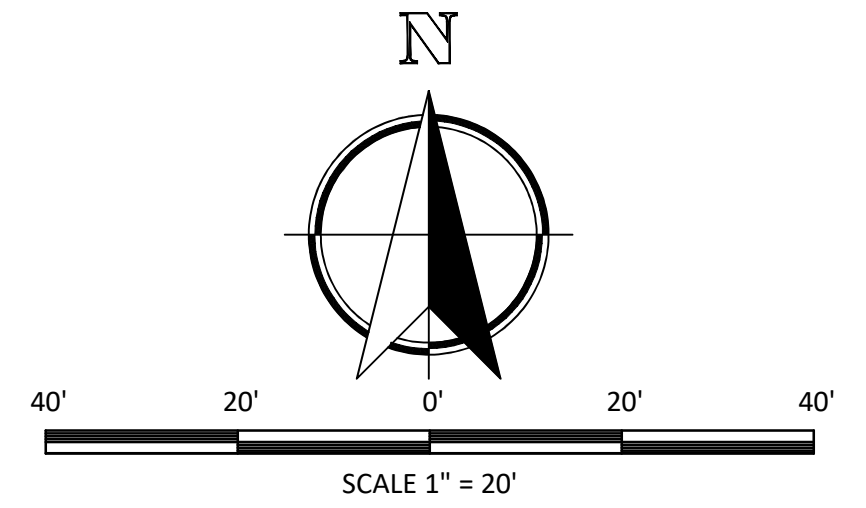
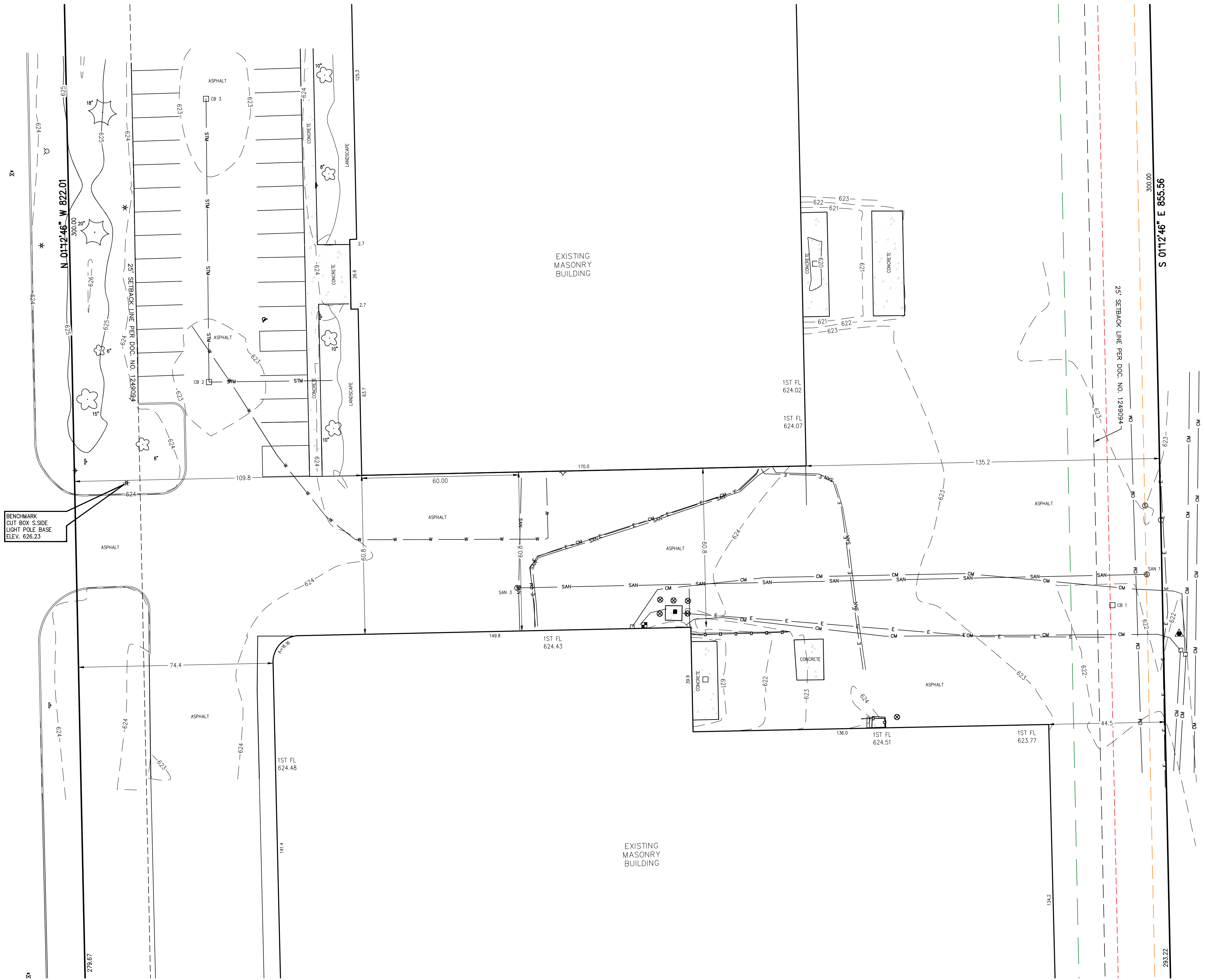


BUTTER BUDS EXPANSION

PROJECT NUMBER: 081.21.146

PHDC SUBMITTAL
ISSUE DATE: 05.17.2024

SOUTH MEMORIAL DRIVE



FIELD WORK: 10-18-2023 WJB / JME

EXISTING UTILITY DATA

CB 1 RIM 621.27 IE. 12" SW 612.82 IE. 12" SW 617.32 IE. 30" N 600.92 IE. 30" S 600.87	SAN 1 RIM 622.33 IE. 30" N/S 602.98 IE. 12" W 605.13	SAN 2 RIM 622.96 IE. 30" N/S 602.96	SAN 3 RIM 624.18 IE. 12" E/W 612.83 IE. 8" S 612.92 IE. 8" N 613.14
CB 2 RIM 622.49 IE. 8" N 618.19 IE. 8" E 618.19	CB 3 RIM 622.51 IE. 8" S 619.41		



UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.

DIGGERS HOTLINE
Call 811 or (800) 242-8511
www.DiggersHotline.com

LEGEND

- ELECTRIC METER
- E— ELECTRIC LINE
- W— WATER MAIN
- FIRE DEPT. CONNECTOR
- PAD MOUNT TRANSFORMER
- ⊙ LIGHT POLE
- COMMUNICATION BOX
- C— COMMUNICATION LINE
- ⊕ FLOOD LIGHT
- CATCH BASIN
- ⊙ SANITARY MANHOLE
- SAN— SANITARY SEWER
- ⊕ SIGN
- ⊙ DECIDUOUS TREE
- ⊙ 5/8" REBAR FOUND
- 1" IRON PIPE FOUND

BUTTER BUDS EXPANSION
RACINE, WISCONSIN
EXISTING CONDITIONS

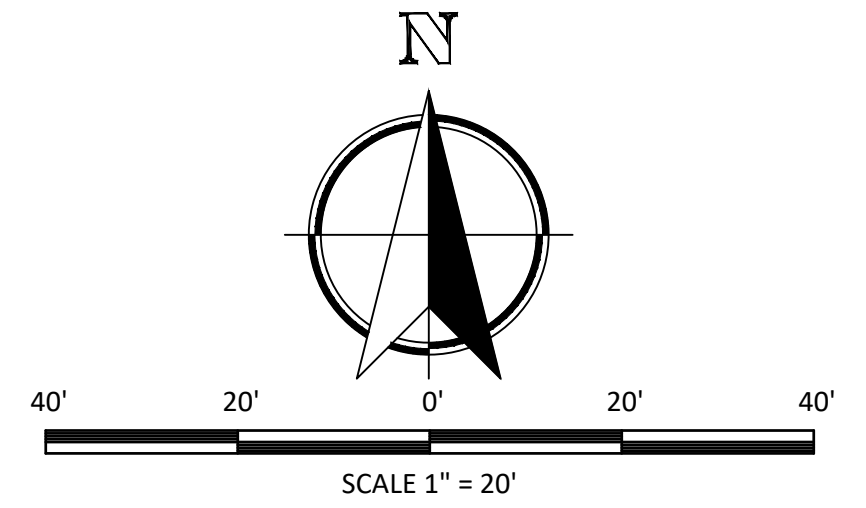
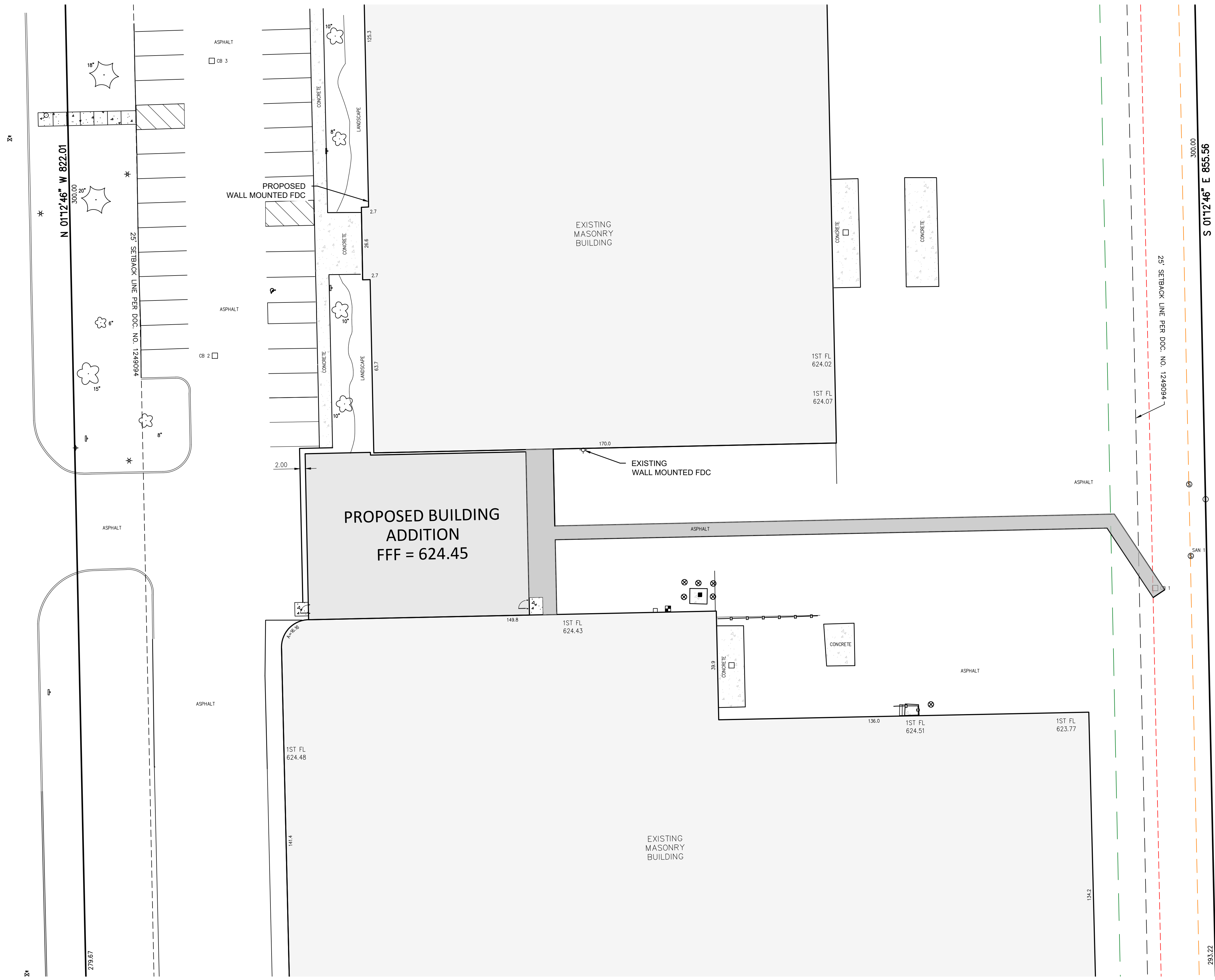


Nielsen Madsen + Barber
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1458 Horizon Blvd., Suite 200, Racine, WI. 53406
Tel: (262)634-5588 Website: www.nmbssc.net

PROJECT NO: 20010036.03
DRAWN BY: JJC
DATE: 05/12/24
SHEET NO:

C1.0

SOUTH MEMORIAL DRIVE



UTILITY NOTE

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BUTTER BUDS EXPANSION
 RACINE, WISCONSIN
 DIMENSIONED SITE PLAN

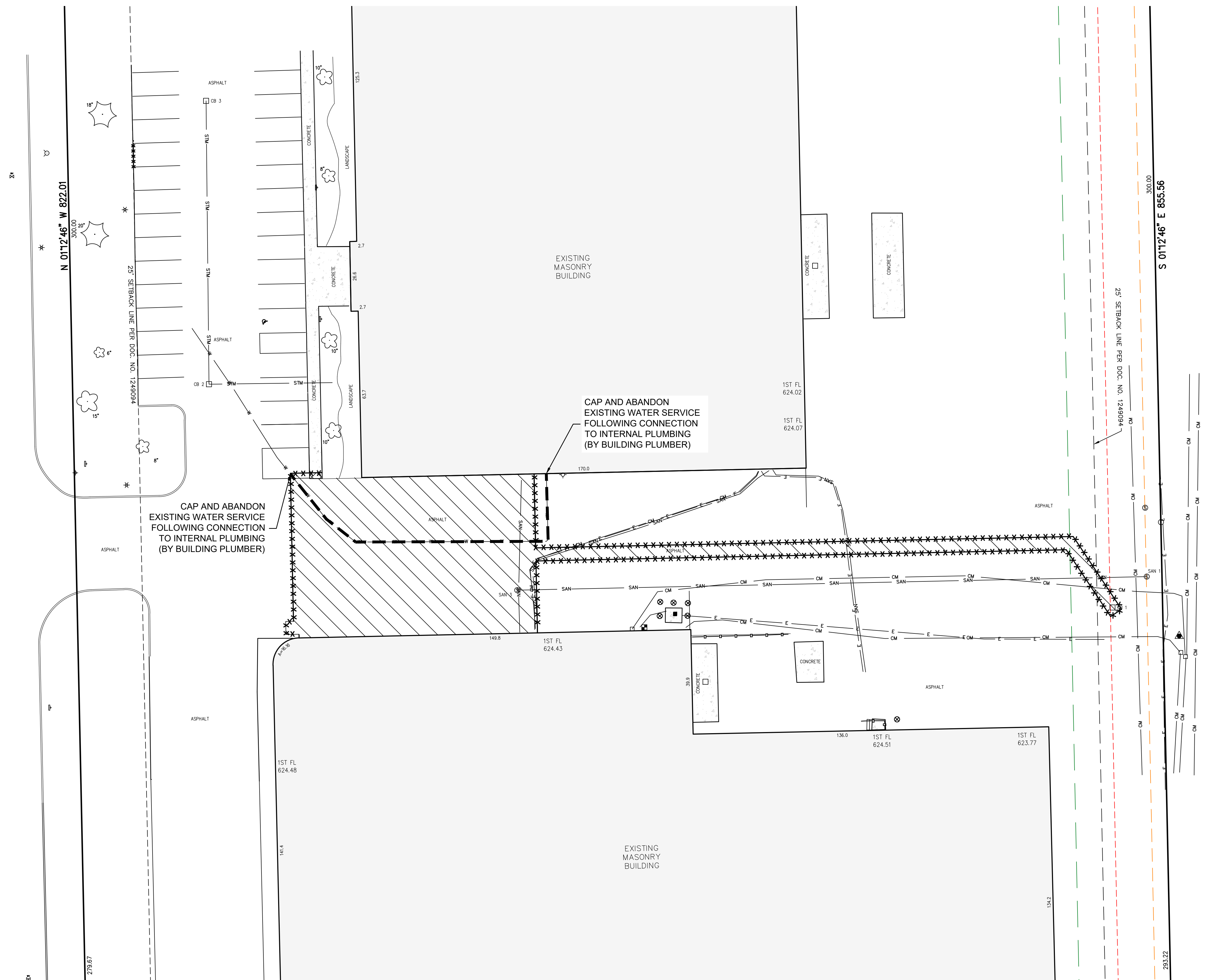


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 1458 Horizon Blvd, Suite 200, Racine, WI, 53406
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PROJECT NO:
20010036.03
 DRAWN BY: CHECKED BY:
JJC JJC
 DATE:
05112024
 SHEET NO.:

C2.0

SOUTH MEMORIAL DRIVE



N

SCALE 1" = 20'

BEARINGS BASE: GRID NORTH, WISCONSIN STATE PLANE
COORDINATE SYSTEM, SOUTH ZONE (NAD-27)

FIELD WORK: 10-18-2023 WJB / JME

**SITE DEMOLITION
LEGEND**

- REMOVE CONCRETE PAVEMENT & BASE
- REMOVE ASPHALT PAVEMENT & BASE
- SAWCUT (FULL DEPTH)
- ABANDON WATER SERVICE (IN PLACE)

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BUTTER BUDS EXPANSION
RACINE, WISCONSIN

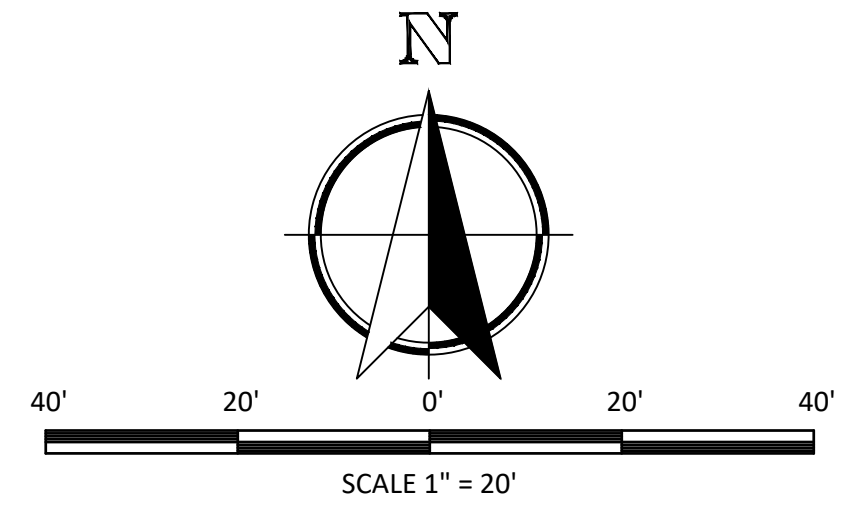


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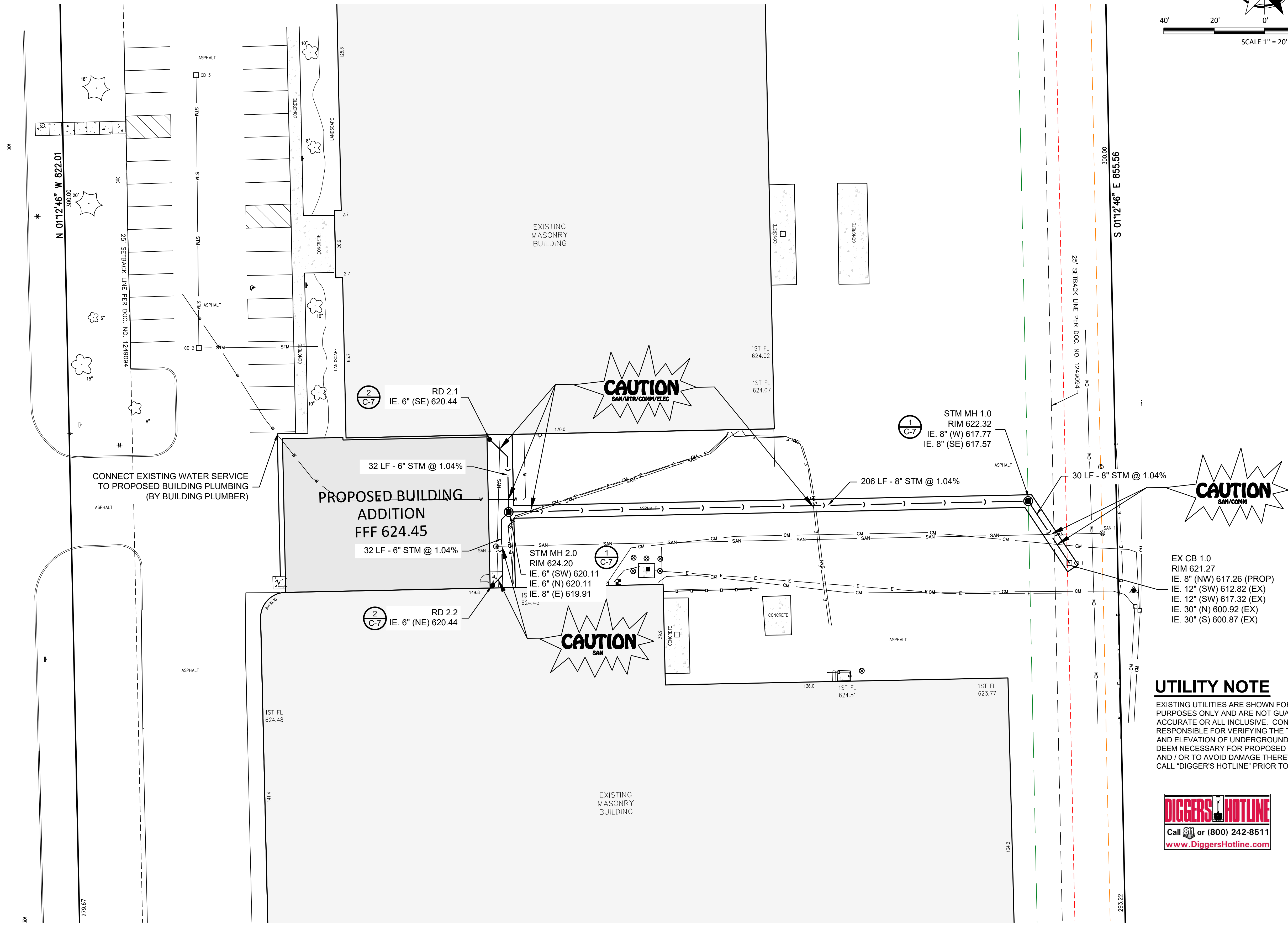
PROJECT NO: 20010036.03
 DRAWN BY: CHECKED BY: JJC
 DATE: 05/12/24
 SHEET NO:

C3.0

SITE DEMOLITION PLAN



SOUTH MEMORIAL DRIVE



- EX CB 1.0
- RIM 621.27
- IE. 8" (NW) 617.26 (PROP)
- IE. 12" (SW) 612.82 (EX)
- IE. 12" (SW) 617.32 (EX)
- IE. 30" (N) 600.92 (EX)
- IE. 30" (S) 600.87 (EX)

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BUTTER BUDS EXPANSION
RACINE, WISCONSIN
SITE UTILITY PLAN



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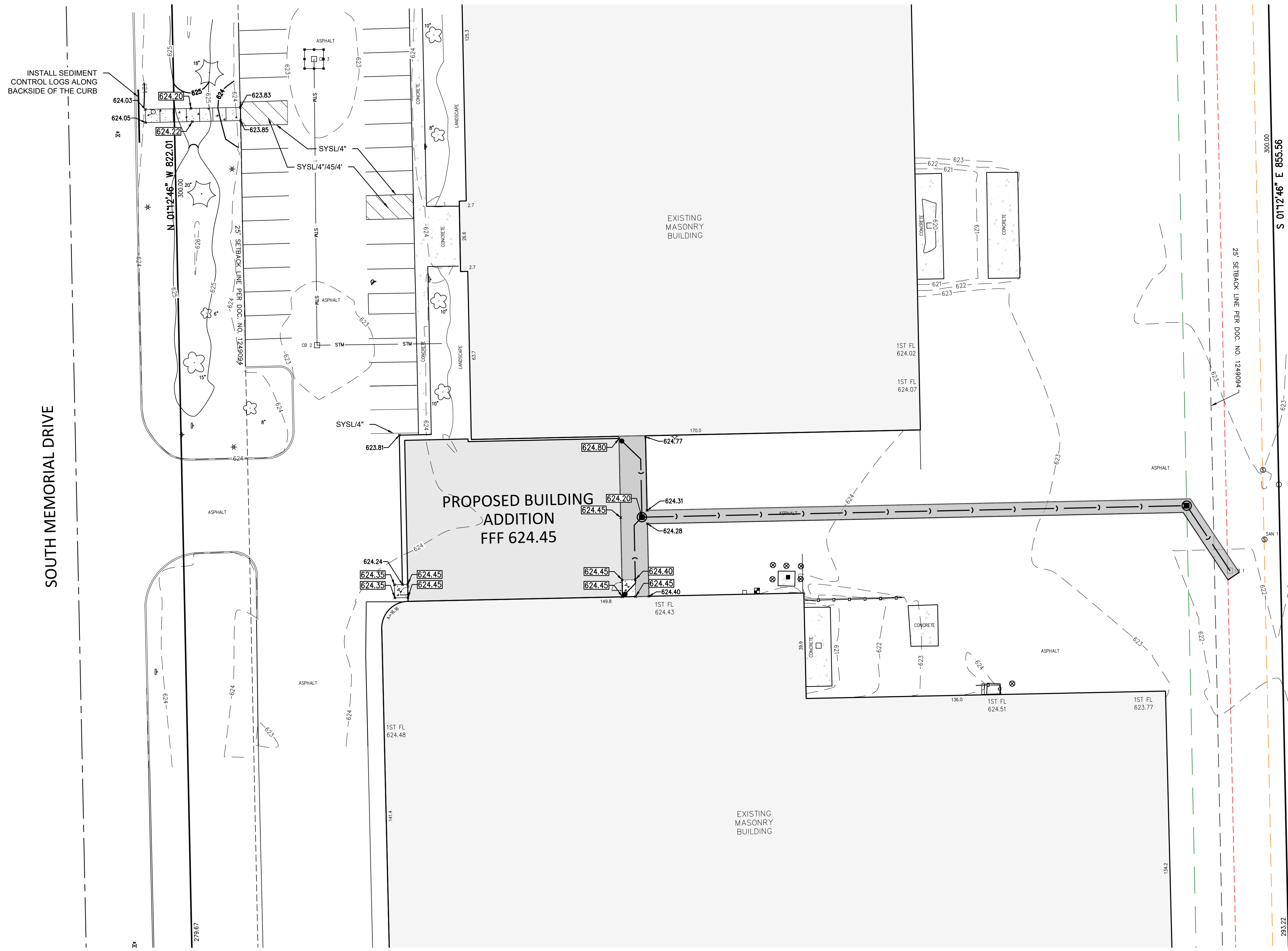
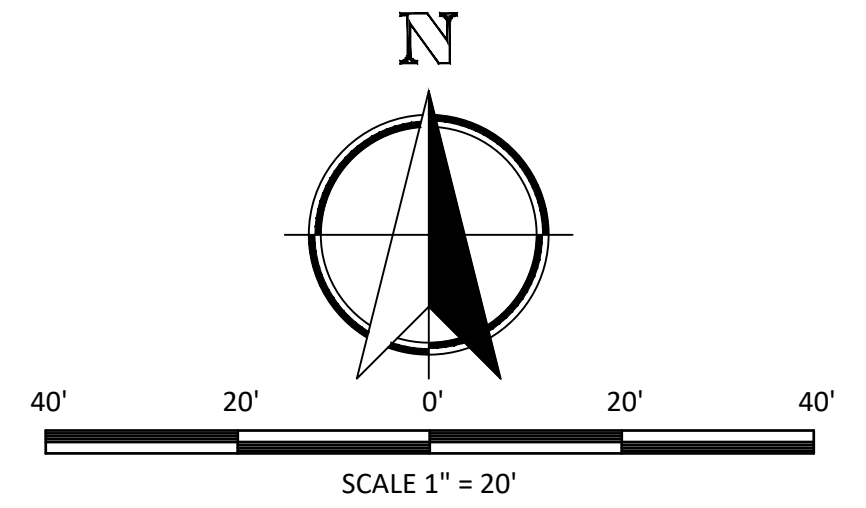
PROJECT NO:
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C4.0

PAVEMENT MARKING LEGEND

SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH

SYSL/4"/45'/4' - SINGLE YELLOW SOLID LINE / 4" WIDE EACH, 45', 4' O.C..



GRADING AND EROSION LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING SPOT GRADES
- PROPOSED FINISHED GRADES
- STORM INLET PROTECTION
- LIGHT-DUTY CONCRETE PAVEMENT
- HEAVY-DUTY ASPHALT PAVEMENT
- FINISHED FIRST FLOOR ELEVATION

UTILITY NOTE

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BUTTER BUDS EXPANSION
RACINE, WISCONSIN



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1458 Horizon Blvd, Suite 200, Racine, WI, 53406
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PROJECT NO:
20010036.03
DRAWN BY: JJC
CHECKED BY: JJC
DATE:
05/12/24
SHEET NO:

C5.0

SITE GRADING AND EROSION CONTROL PLAN

REFERENCES

EROSION CONTROL, EARTHWORK, SITE GRADING AND PAVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STATE OF WISCONSIN, STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION", CURRENT EDITION, HEREIN REFERRED TO AS THE "STATE SPECIFICATIONS".

STORM SEWER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN", 6TH EDITION, DECEMBER 22, 2003 WITH ADDENDA NO. 1 AND NO. 2, HEREIN REFERRED TO AS THE "STANDARD SPECIFICATIONS".

"MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), 2009 EDITION WITH REVISIONS 1 AND 2 INCORPORATED

DEMOLITION NOTES

THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL AT A LOCATION APPROVED (BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PAVEMENTS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLY COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION, SITE CLEARING, AND DISPOSAL.

THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.

THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE LAND SURVEYOR AND ENGINEER OF RECORD ASSUME NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDING PRIOR TO MODIFICATION OF THE BUILDING.

ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.

ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CALL DIGGERS HOTLINE AT 1-800-242-8511 A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION ACTIVITIES TO LOCATE AND MARK ALL UNDERGROUND UTILITIES.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE AND MARK ALL UNDERGROUND PRIVATE UTILITIES.

CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH SIGNS, FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. TEMPORARY CLOSURE OF ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION.

CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING THE COURSE OF WORK.

PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

EXISTING ITEMS TO REMAIN INCLUDING, BUT NOT LIMITED TO, FENCES, SIGNS, UTILITIES, BUILDINGS, TREES, PAVEMENTS, AND LIGHT POLES SHALL BE CAREFULLY PROTECTED DURING THE DEMOLITION PROCESS. ANY DAMAGE SUSTAINED TO ITEMS TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.

PROPERTY CORNERS AND BENCHMARKS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL LIMIT PAVEMENT REMOVALS TO ONLY THOSE AREAS AS SHOWN ON THESE CONSTRUCTION PLANS OR AS NECESSARY TO COMPLETE THE WORK. CONCRETE SIDEWALK AND CURB & GUTTER IS TO BE REMOVED TO NEAREST JOINT IN ORDER TO ACCOMMODATE PROPOSED IMPROVEMENTS. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENTS AND OR OTHER IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPAIR OF DAMAGED PAVEMENT AND OTHER ITEMS AT NO ADDITIONAL COST TO THE OWNER.

ABANDONMENT OF UTILITIES SHALL BE IN ACCORDANCE WITH SECTION 3.2.24 OF THE "STANDARD SPECIFICATIONS".

IF PREVIOUSLY UNIDENTIFIED HAZARDOUS, CONTAMINATED MATERIALS, OR OTHER ENVIRONMENTAL RELATED CONDITIONS ARE DISCOVERED, STOP WORK IMMEDIATELY AND NOTIFY THE OWNER FOR ACTION TO BE TAKEN. DO NOT RESUME WORK UNTIL SPECIFICALLY AUTHORIZED BY THE OWNER.

STORM SEWER SPECIFICATIONS

MATERIAL FOR STORM SEWERS SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DSPS) AND THE CITY OF RACINE SPECIFICATIONS.

THE STORM SEWER SYSTEM WAS SIZED ACCORDING TO SPS TABLE 382.36-4 "MAXIMUM CAPACITY OF STORMWATER HORIZONTAL CONVEYANCE PIPING FOR CONCRETE, ASTM C76 AND ASTM C14". ANY MATERIAL APPROVED BY THE CITY OF RACINE AND THE WISCONSIN DEPARTMENT OF COMMERCE MAY BE USED AT THE SLOPES AND SIZES DESIGNED.

STORM SEWER, ROOF DRAIN AND STORM BUILDING SEWER PIPE AND TUBING MATERIALS SHALL CONFORM TO SPS 384.30 OF THE WISCONSIN ADMINISTRATIVE CODE. REINFORCED CONCRETE PIPE (RCP) AND POLYVINYL CHLORIDE (PVC) MATERIALS SHALL BE SELECTED FROM TABLE 384.30-6. CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE MATERIAL (IF SELECTED) SHALL MEET THE REQUIREMENTS OF AASHTO M-252 FOR 4'-10" DIAMETER SIZES AND AASHTO M294 FOR 12"-48" DIAMETER SIZES.

BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".

A BROWN 12-GUAGE TRACER WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE STORM SEWERS, ROOF DRAINS AND STORM BUILDING SEWER LATERALS PER SPS 382.36(7)(d)10. THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE WITHIN THE STRUCTURES AND CLEANOUTS.

STORM SEWER MANHOLES (MH) SHALL BE 48" DIAMETER REINFORCED CONCRETE STRUCTURES, UNLESS OTHERWISE STATED ON THE PLANS.

ALL MANHOLES INSTALLED IN PAVED SURFACES AND NOT ACCEPTING RUNOFF SHALL BE FURNISHED WITH A NEENAH R-1580, TYPE "B" FRAME & GRATE. ALL MANHOLES AND CATCH BASINS INSTALLED IN PAVED SURFACES AND ACCEPTING RUNOFF SHALL BE FURNISHED WITH A NEENAH R-2080, TYPE "B" FRAME & GRATE.

ALL STRUCTURES SHALL BE FURNISHED WITH A MINIMUM 12" SUMP.

ALL STORM SEWERS, CATCH BASINS AND MANHOLES SHALL BE CONSTRUCTED WITH WATER AND GAS TIGHT JOINTS IN CONFORMANCE WITH SPS 384.40.

ALL STORM SEWERS INSTALLED IN EXISTING OR PROPOSED PAVED AREAS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH TABLE 37, CHAPTER 8.43.4 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS. TRENCHES RUNNING PARALLEL TO AND LESS THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE COMPACTED GRANULAR BACKFILL.

STORM WATER MAINTENANCE PLAN

THE STORM WATER DRAINAGE SYSTEM BEING INSTALLED AS PART OF THIS PROJECT SHALL BE INSPECTED ON A SEMIANNUAL BASIS.

AS PART OF THE INSPECTION, ANY SILT, SEDIMENT OR DEBRIS BUILT UP IN THE BOTTOM OF THE STRUCTURE SHALL BE REMOVED AND DISPOSED OF.

IF EXCESSIVE AMOUNTS OF SEDIMENT ARE PRESENT, THE MAINTENANCE SCHEDULE SHALL BE ADJUSTED ACCORDINGLY OR A PAVEMENT SWEEPING PROGRAM ESTABLISHED TO MINIMIZE THE SEDIMENT LOADING ENTERING THE STORM WATER DRAINAGE/WATER QUALITY SYSTEM.

THE PROPERTY OWNER IS ULTIMATELY RESPONSIBLE FOR ENSURING THAT THE STORM WATER LEAVING THE SITE IS AS CLEAN AS PRACTICABLE.

EROSION & SEDIMENT CONTROL NOTES

THE EROSION AND SEDIMENT CONTROL PROVISIONS DETAILED ON THE DRAWINGS AND SPECIFIED HEREIN ARE THE MINIMUM REQUIREMENTS FOR EROSION CONTROL.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE ANY REVISIONS, ADJUSTMENTS OR PROPOSED ALTERATIONS TO THE CONSTRUCTION SEQUENCING AND/OR EROSION CONTROL PLANS. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND REGULATORY OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BEST MANAGEMENT PRACTICES (BMP'S). ALL SIGNIFICANT DEVIATIONS FROM THE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF RACINE.

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE, REPAIR AND REMOVAL OF ALL EROSION CONTROL DEVICES REQUIRED FOR THE PROJECT WHICH SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF RACINE ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS. SEE CITY OF RACINE EROSION CONTROL PERMITS FOR ADDITIONAL DETAILS OR REQUIREMENTS.

ALL EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AS REQUIRED IN THE WISCONSIN ADMINISTRATIVE CODE (SPS 360.21) AND MAINTAINED PER SPS 360.22.

INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL CHECK THE EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS AT ALL THE FOLLOWING INTERVALS UNTIL THE SITE IS STABILIZED:

- A. AT LEAST WEEKLY.
- B. WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES IMMEDIATELY REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.

EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, THE CITY OF RACINE OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE OR LOCAL INSPECTORS AND/OR THE ENGINEER OF RECORD, SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

ALL SEDIMENT AND EROSION CONTROL DEVICES, INCLUDING PERIMETER EROSION CONTROL MEASURES SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION SHALL BE INSTALLED PRIOR TO COMMENCING EARTH DISTURBING ACTIVITIES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES UNTIL THE SITE HAS ESTABLISHED A VEGETATIVE COVER AND IS STABILIZED.

ALL PROPOSED STORM SEWER STRUCTURES AND ADJACENT EXISTING STORM INLETS SHALL HAVE A LAYER OF GEOTEXTILE FABRIC (TYPE "FF") INSTALLED BETWEEN THE FRAME & GRATE TO PREVENT SEDIMENT OR SILT FROM ENTERING THE SYSTEM. THE INLET PROTECTION SHALL BE INSPECTED BY THE CONTRACTOR AND REPLACED EVERY 14 DAYS AND AFTER EACH RAINFALL EVENT. FABRIC TO BE REPLACED AS NEEDED TO MEET FIELD CONDITIONS.

THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE (WHEN NECESSARY OR AS REQUIRED BY LOCAL INSPECTORS AND/OR ENGINEER OF RECORD).

EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):

- A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
- B. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
- C. ANY WATER PUMPED FROM PITS, TRENCHES, WELLS OR PONDS SHALL BE DISCHARGED INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 AND BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM OR DRAINAGE DITCH. PUMPED WATER CAN BE TREATED IN FILTER BAGS, STONE FILTERS OR SIMILAR DEVICES. QUALITY OF PUMPED WATER SHALL BE CONTINUOUSLY MONITORED DURING PUMPING OPERATIONS.

CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES, OTHER THAN SHOWN ON THE PLANS, MUST HAVE PRIOR APPROVAL BY THE CITY OF RACINE.

ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 7 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF RACINE ORDINANCE.

EXCESS SOILS ARE TO BE HAULED OFF SITE OR ENCLOSED WITH AN APPROVED SEDIMENT CONTROL DEVICE WITHIN 24 HOURS.

SOIL PILES LEFT UNDISTURBED FOR 7 OR MORE DAYS WILL NEED TO BE STABILIZED BY AN APPROVED METHOD. ALL DISTURBED AREAS NOT COVERED BY PERMANENT STRUCTURES OR PAVEMENT SHALL BE FINISHED GRADED WITH 3"-6" TOPSOIL, SEEDED AND STABILIZED WITHIN 7 DAYS OF REACHING FINAL GRADE. IF DISTURBANCE OCCURS AFTER NOVEMBER 15TH AND BEFORE MAY 15TH, TYPE A SOIL STABILIZER SHALL BE USED.

ALL DISTURBED AREAS SHALL BE STABILIZED WITH CLASS I, TYPE A EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052.

PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AT THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF RACINE.

EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

SITE GRADING & SUB-GRADE PREPARATION

ALL EXISTING TOPSOIL AND OTHER NON-STRUCTURAL MATERIAL WITHIN THE PROPOSED BUILDING PAD, PAVEMENT SECTIONS AND STRUCTURAL FILL AREAS SHALL BE STRIPPED AND HAULED OFF SITE.

EXCAVATE, GRADE & SHAPE SUBGRADES TO THE LINES AND GRADES SHOWN ON THE PLANS. SEE TYPICAL SECTIONS AND CONSTRUCTION DETAILS FOR PAVEMENT THICKNESS AND MATERIALS.

FOR STRUCTURAL FILL DEPTHS LESS THAN 20 FEET, THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION OF THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL HAVE A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS.

THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF THE OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY RECOMMENDED / APPROVED BY THE SOILS ENGINEER MONITORING THE PLACEMENT AND COMPACTION. COHESIVE SOILS WITH MODERATE TO HIGH EXPANSIVE POTENTIALS (PI>15) SHOULD, HOWEVER, BE PLACED, COMPACTED AND MAINTAINED PRIOR TO CONSTRUCTION AT A MOISTURE CONTENT OF 3±1 PERCENT ABOVE OPTIMUM MOISTURE CONTENT TO LIMIT FUTURE HEAVE.

THE FILL SHALL BE PLACED IN LAYERS WITH A MAXIMUM LOOSE THICKNESS OF 9 INCHES. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION.

UPON COMPLETION OF THE GRADING AND COMPACTION OF THE SUBGRADE, A PROOF ROLL SHALL BE CONDUCTED BY THE CONTRACTOR ON ALL SUBGRADES TO RECEIVE DENSE AGGREGATE BASE COURSE. THE CONTRACTOR SHALL PROVIDE A FULLY LOADED QUAD-AXLE TRUCK (18 TON MINIMUM LOAD) TO PERFORM THE PROOF ROLL. CONTRACTOR SHALL COORDINATE THE PROOF ROLL WITH THE OWNER OR HIS REPRESENTATIVES TO ENSURE THEY ARE PRESENT.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

GENERAL NOTES

CONTRACTOR SHALL CONTACT DIGGERS' HOTLINE A MINIMUM OF 3 DAYS BEFORE THE START OF CONSTRUCTION TO IDENTIFY ANY UNDERGROUND UTILITIES PRESENT AT THE SITE. THE LOCATION OF EXISTING PRIVATE UTILITIES MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

ALL PUBLIC SIDEWALKS, CURBS OR PAVEMENTS DISTURBED DURING CONSTRUCTION SHALL BE SAW CUT AT THE NEAREST JOINT AND REPLACED IN KIND PER THE "CITY SPECIFICATIONS". CURB AND GUTTER REPLACEMENT SECTIONS SHALL BE TIED TO EXISTING BY INSTALLING THREE (3) NO. 4 (1/2-INCH), 18-INCH LONG TIE BARS, EVENLY SPACED, DRIVEN 9-INCHES INTO THE EXISTING CURB AND GUTTER AT THE CONNECTION POINT.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

PAVEMENT SPECIFICATIONS

DENSE AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF SECTION 305 OF THE "STATE SPECIFICATIONS". THE COMPLETED BASE SHALL BE IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SHALL BE CONSTRUCTED IN FOUR-INCH (4") LIFTS AND COMPACTED ACCORDING TO SUBSECTION 305.3.2.2 OF THE "STATE SPECIFICATIONS".

ASPHALTIC CONCRETE PAVEMENT SHALL BE WISDOT LT 58-28 S MEETING THE REQUIREMENTS OF SECTION 460 OF THE "STATE SPECIFICATIONS". PAVEMENT SHALL BE INSTALLED IN TWO (2) LIFTS IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET. A TACK COAT SHALL BE INSTALLED BETWEEN THE LOWER AND UPPER COURSES IN ACCORDANCE WITH SECTION 455.3.2 OF THE "STATE SPECIFICATIONS".

CONCRETE FOR PAVEMENT(S), SIDEWALKS, CURB & GUTTER AND DRIVEWAY APRONS SHALL BE GRADE A-FA, AIR-ENTRAINED, AS SPECIFIED IN SUBSECTION 501.3.1 OF THE "STATE SPECIFICATIONS". ALL EXTERIOR CONCRETE SHALL BE "READY-MIXED" AND RECEIVE A BROOM FINISH. ALL CONCRETE WORK SHALL BE CURED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBSECTION 415.2.4 OF THE "STATE SPECIFICATIONS".

CONTRACTION JOINTS SHALL BE AT TEN-FOOT (10') INTERVALS FOR CURB AND GUTTER AND FIVE-FOOT (5') INTERVALS FOR FIVE-FOOT (5') WIDE SIDEWALK. FINAL JOINTING PLAN FOR CONCRETE PAVEMENT TO BE PREPARED BY THE CONTRACTOR.

EXPANSION JOINTS SHALL BE PLACED AS OUTLINED IN SUBSECTION 601.3.6 OF THE "STATE SPECIFICATIONS". FILLER MATERIAL FOR EXPANSION JOINTS SHALL BE 1/2" FIBER MATERIAL.

CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLES, VALVE BOXES, ETC.) TO MATCH THE FINISHED GRADES OF THE AREA AFFECTED BY THE CONSTRUCTION.

PAVEMENT MARKING NOTES

CONTRACTOR SHALL VERIFY PAVEMENT MARKING COLOR WITH OWNER PRIOR TO CONSTRUCTION.

PROVIDE CONTRACTOR GRADE ACRYLIC PAINT FOR NEW ASPHALT OR COATED ASPHALT. ALL MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT PAVEMENT SURFACE FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK AND WHICH CANNOT BE PUT INTO AND ACCEPTABLE CONDITION NORMAL PREPARATORY WORK AS SPECIFIED.

DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE AREAS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.

LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.

PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM OVERSPRAY PAINT.

APPLY MARKING PAINT AS A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES (OR TO MANUFACTURERS SPECIFICATIONS).

BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.

ALL HANDICAPPED ACCESSIBLE PARKING SHALL BE LOCATED PER 2009 IBC 1106.6.

PER WISCONSIN

BUTTER BUDS EXPANSION
RACINE, WISCONSIN

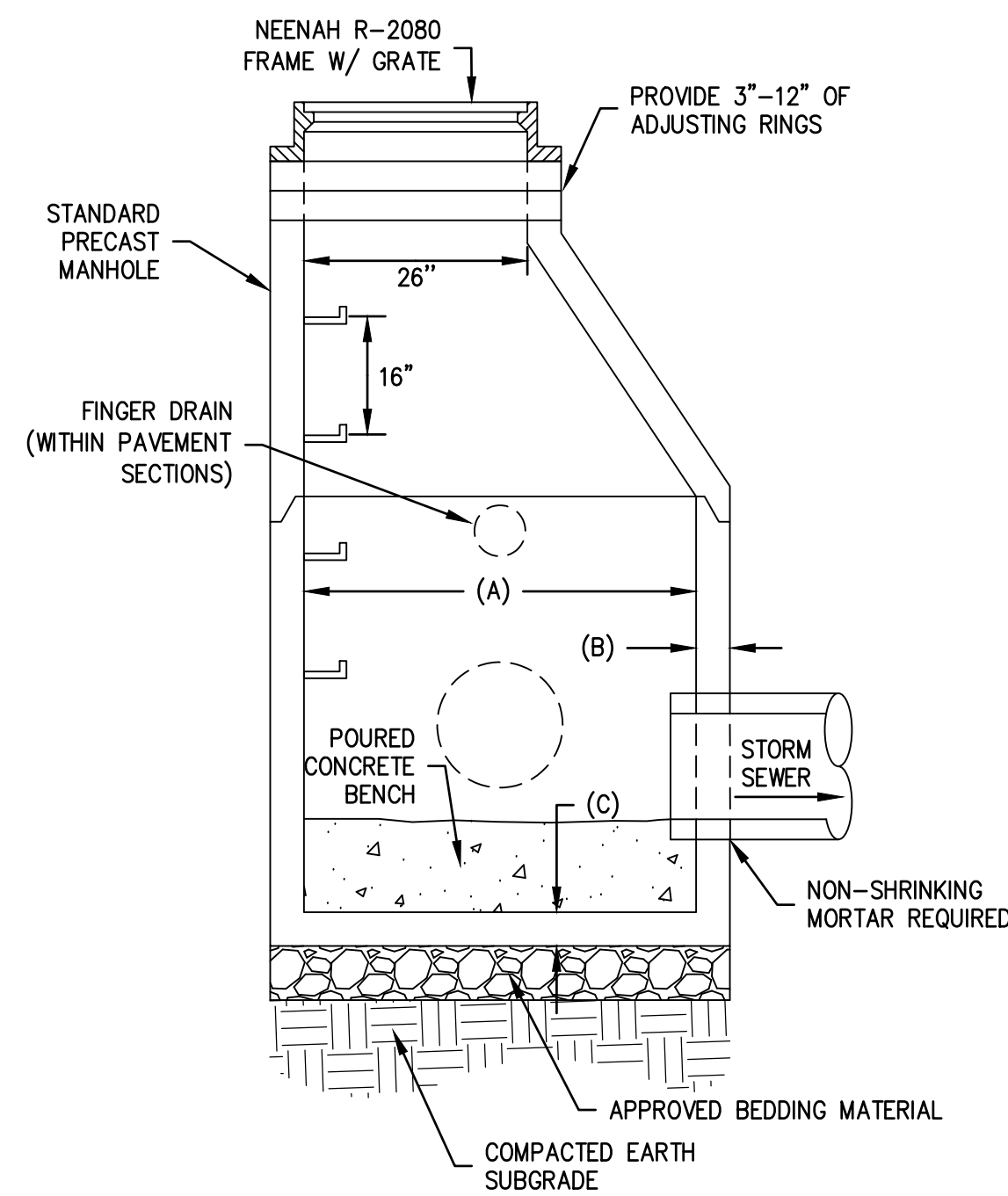
PROJECT SPECIFICATIONS

mb

Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd, Suite 200, Racine, WI, 53406
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PROJECT NO.:
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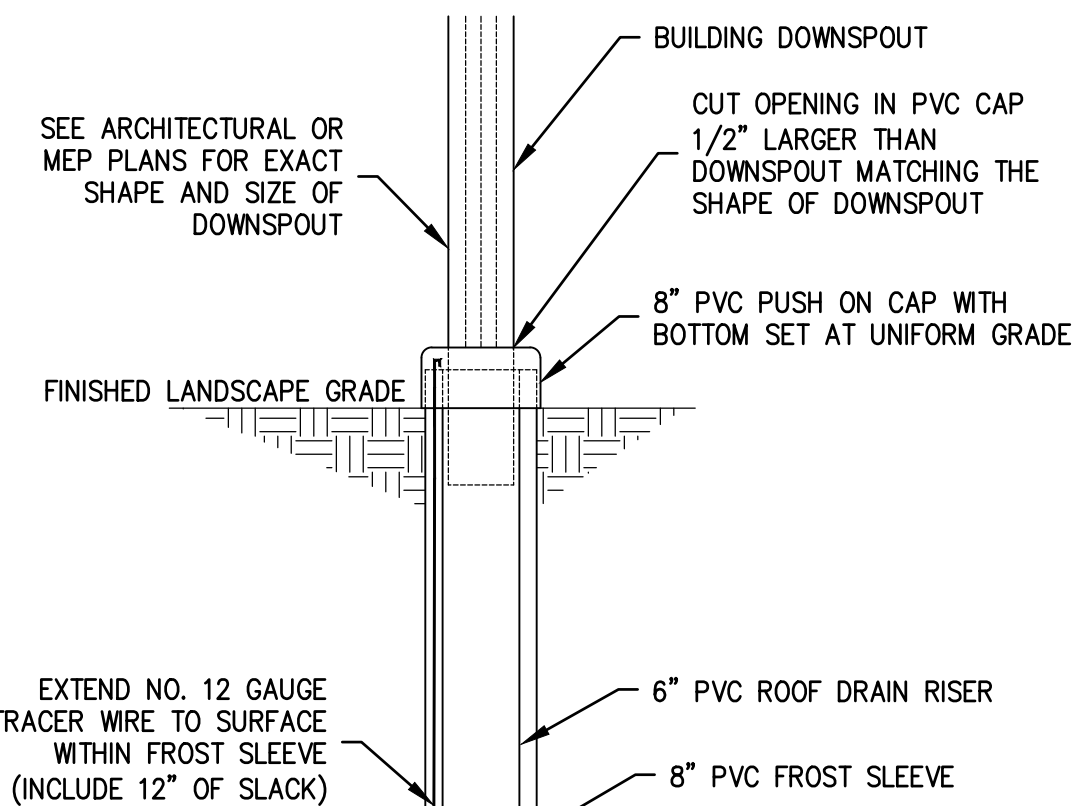
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STRUCTURE DIAMETER (A)*	MINIMUM WALL THICKNESS (B)**	MINIMUM BASE AND TOP THICKNESS (C)**
4'	5"	6"
5'	6"	8"
6'	7"	8"
7'	8"	8"
8' >	9"	8"

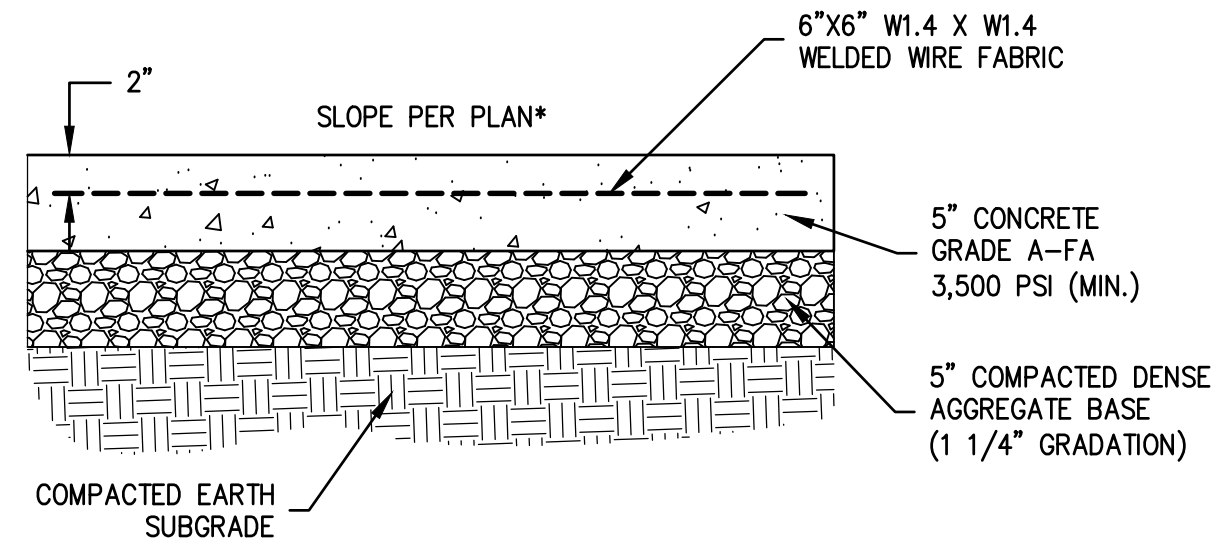
*STRUCTURE DIAMETER SHALL BE STANDARD 48" UNLESS OTHERWISE NOTED ON PLAN
 **MINIMUM THICKNESS SHALL NOT BE LESS THAN THAT REQUIRED TO MEET AASHTO H-20 LOADINGS

1 STANDARD STORM SEWER MANHOLE DETAIL N.T.S.



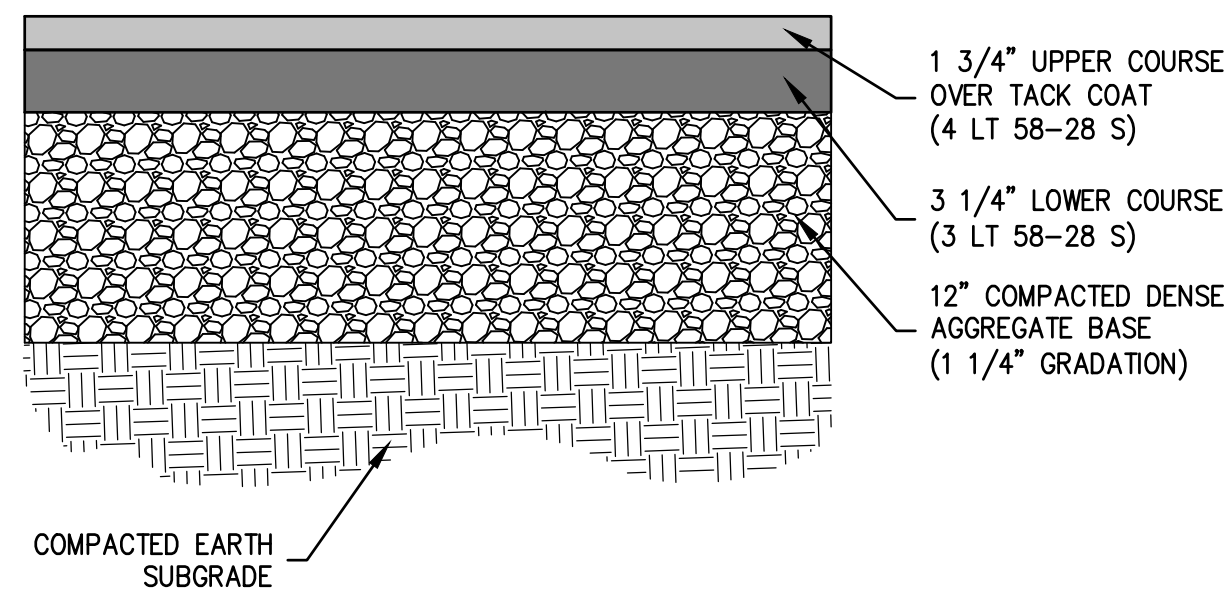
*CONTRACTOR TO VERIFY SHAPE AND SIZE OF DOWNSPOUT PRIOR TO INSTALLING RISERS AND ADJUST IF NECESSARY.

2 ROOF DRAIN (RD) RISER DETAIL N.T.S.

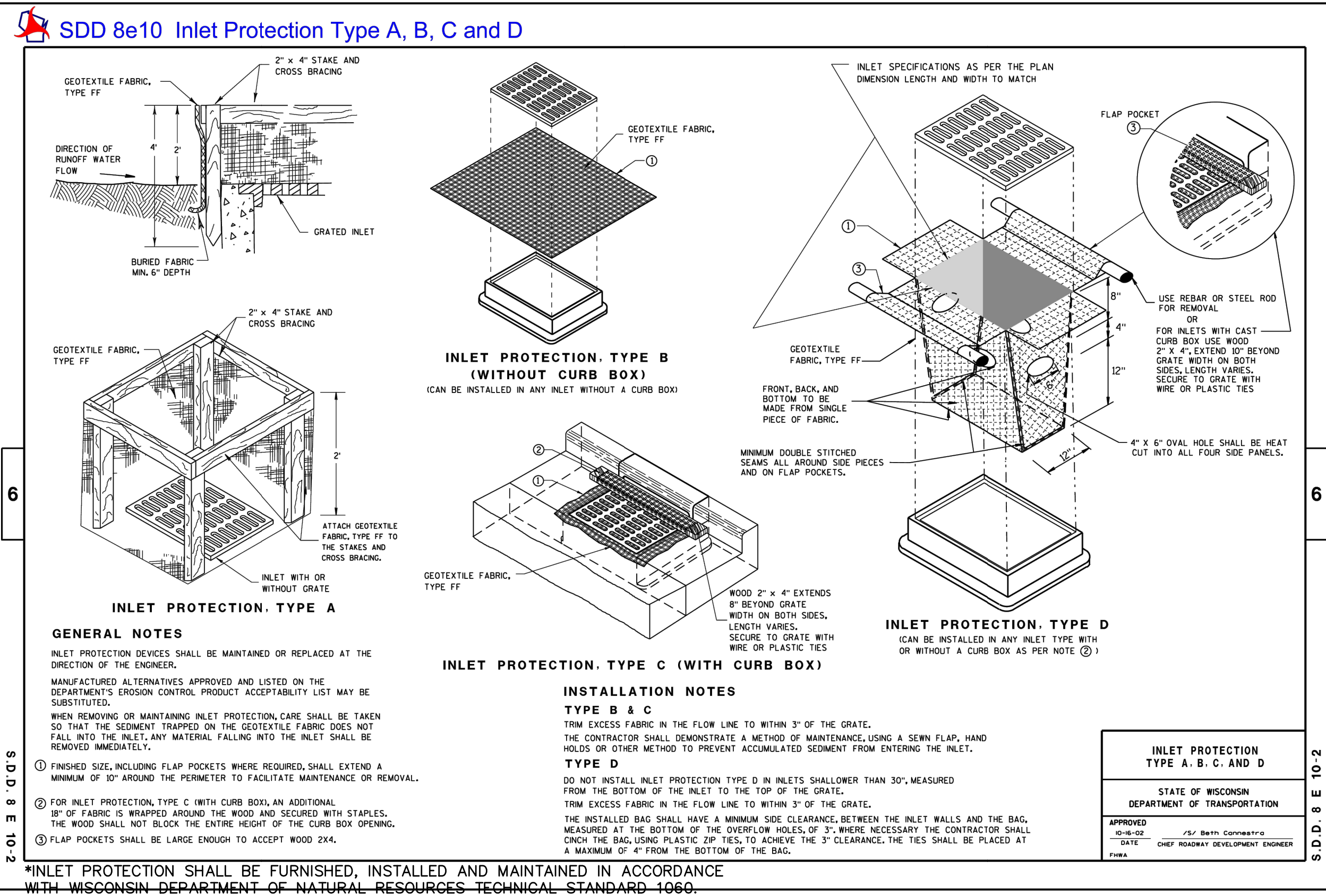


* SIDEWALKS: 1.5% CROSS-SLOPE (TYP.) 2.08% CROSS-SLOPE (MAX.)
 PATIOS, PLAZAS, AND LANDINGS: 2.08% SLOPE IN ANY DIRECTION (MAX.)
 ALL OTHER PAVEMENTS: SLOPE PER PLAN

3 LIGHT-DUTY CONCRETE PAVEMENT (5") (TYPICAL SECTION) N.T.S.



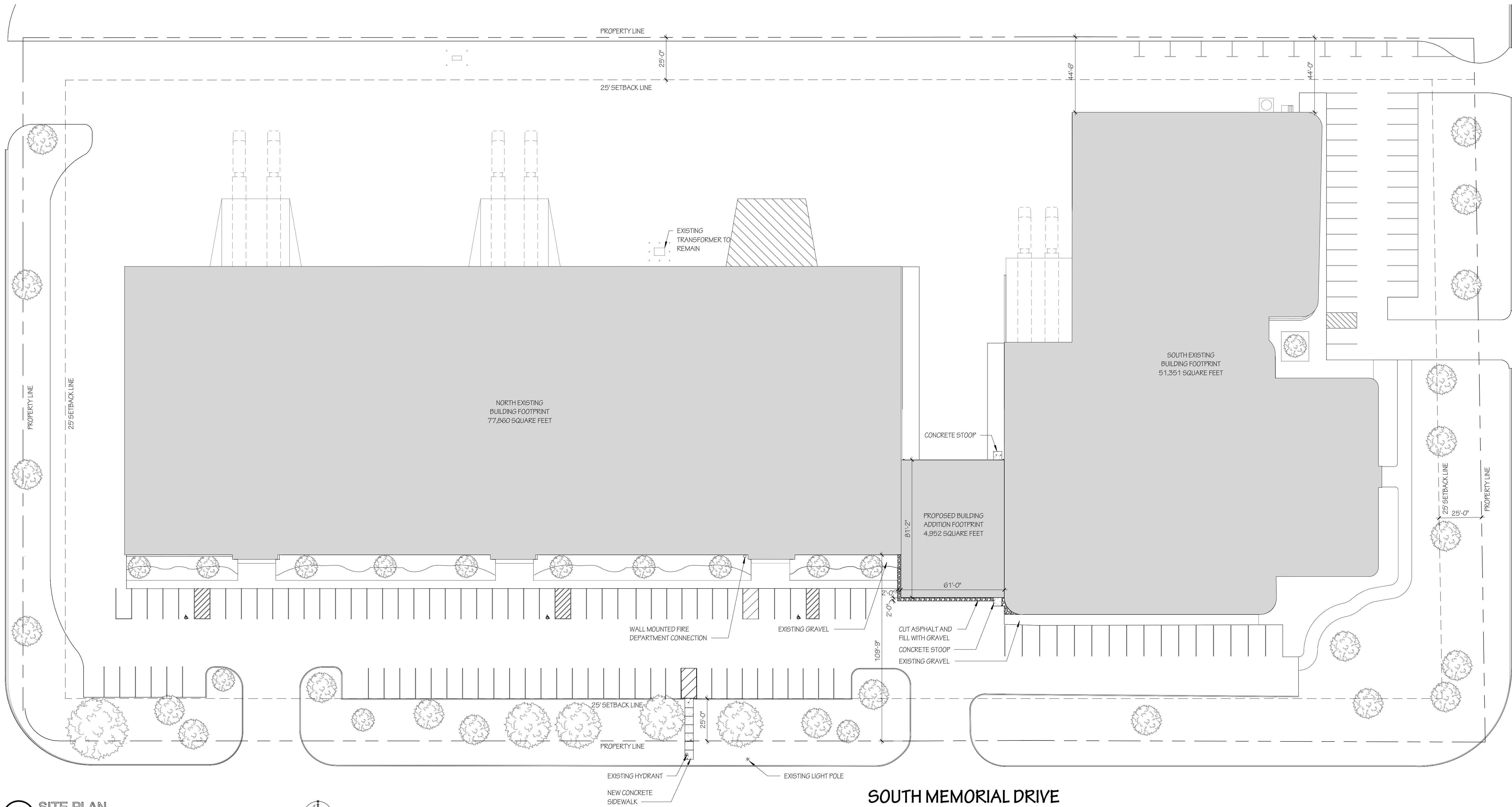
4 HEAVY-DUTY ASPHALT PAVEMENT (5") (TYPICAL SECTION) N.T.S.



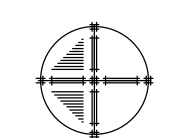
5 INLET PROTECTION DETAIL N.T.S.

NORWOOD CT.

CHICORY RD.



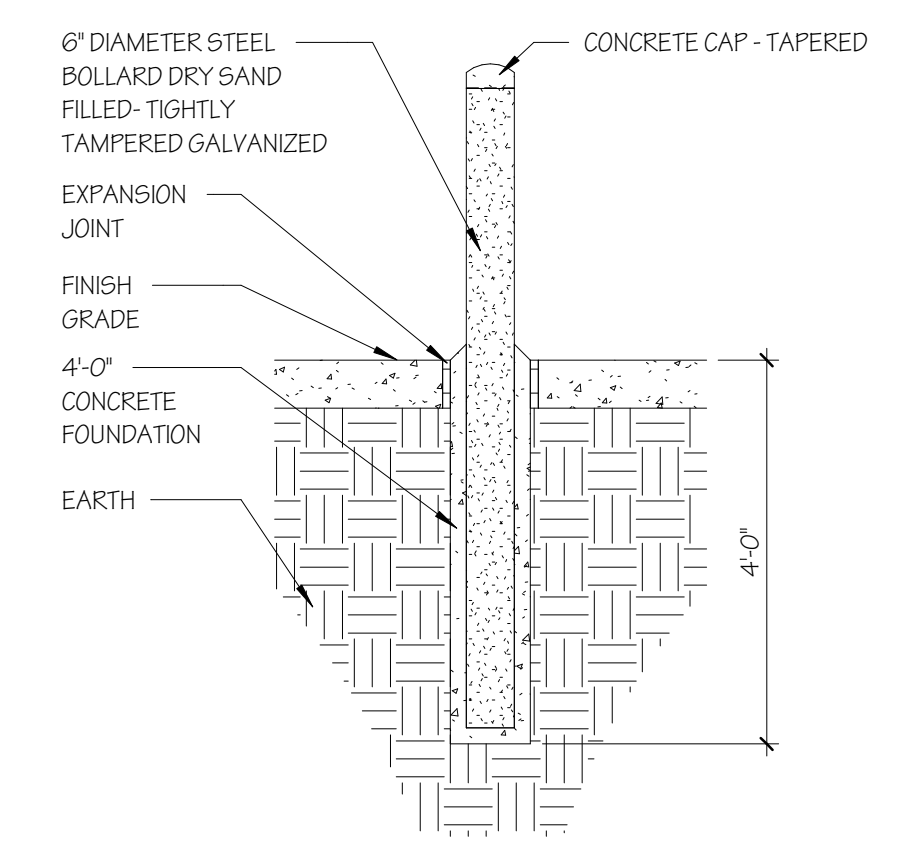
1 SITE PLAN
A1.1 1" = 30'-0"



NOTE: THIS PLAN HAS BEEN PREPARED TO IDENTIFY BUILDING AND ARCHITECTURAL SITE ELEMENTS. REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE GRADING AND SITE CONSTRUCTION ISSUES. PRIOR TO ANY CONSTRUCTION ACTIVITY, CONTRACTOR SHALL FIELD VERIFY THE FINISHED FLOOR LEVEL OF THE EXISTING BUILDING.

GENERAL NOTES

- 1. REFER TO CIVIL DRAWING FOR GRADING
- 2. SEE CIVIL DRAWINGS FOR EXTENT OF PAVINF TYPE AND LOCATION



2 TYPICAL BOLLARD DETAIL
A1.1 1/2" = 1'-0"

REVISIONS

BUTTER BUDS EXPANSION
RACINE, WISCONSIN
ARCHITECTURAL SITE PLAN

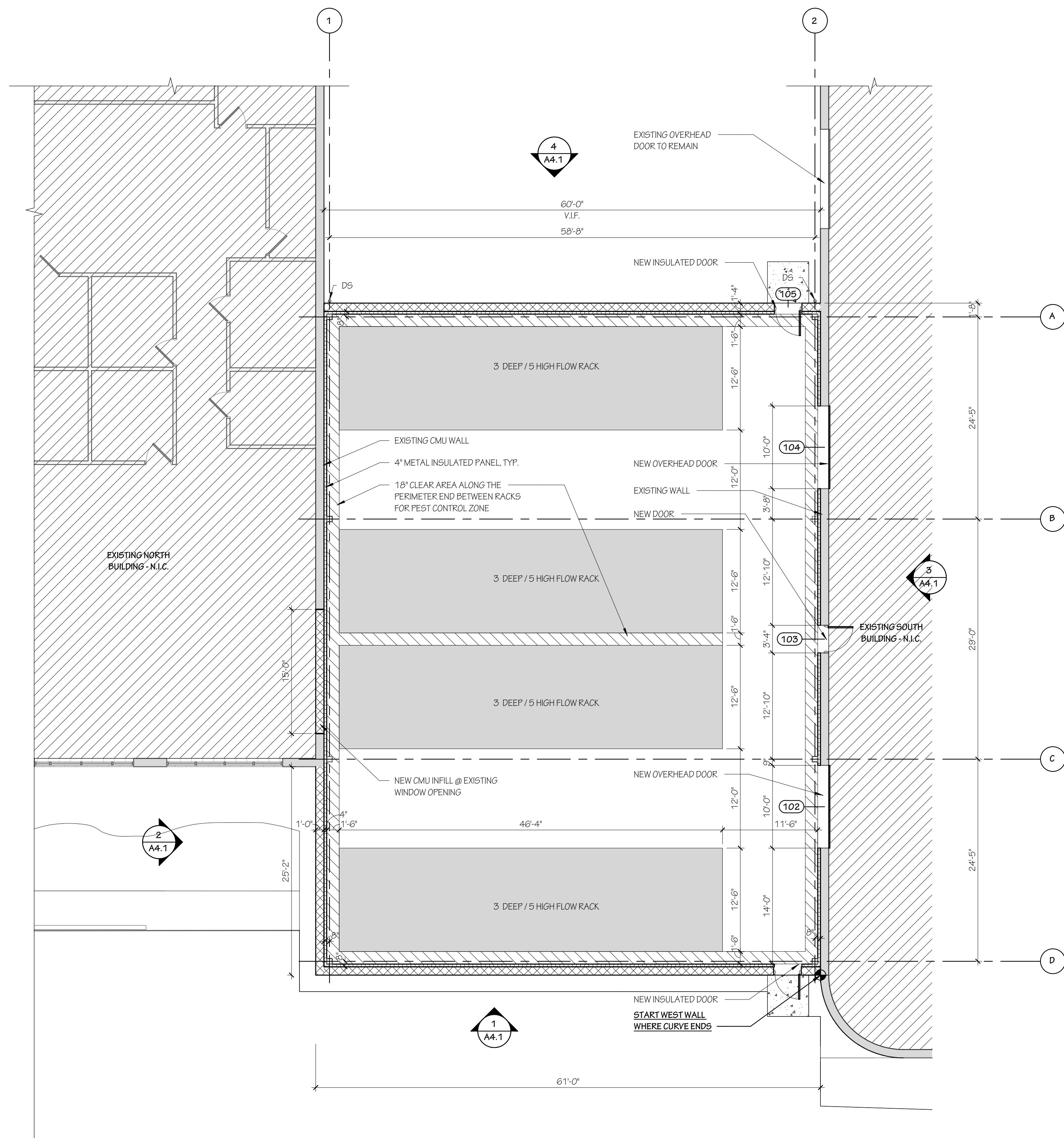
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Partners in Design
ARCHITECTS



PROJECT NO.: 081.21.146
DRAWN BY: YES CHECKED BY: MAM
DATE: 05.17.2024
SHEET NO.:

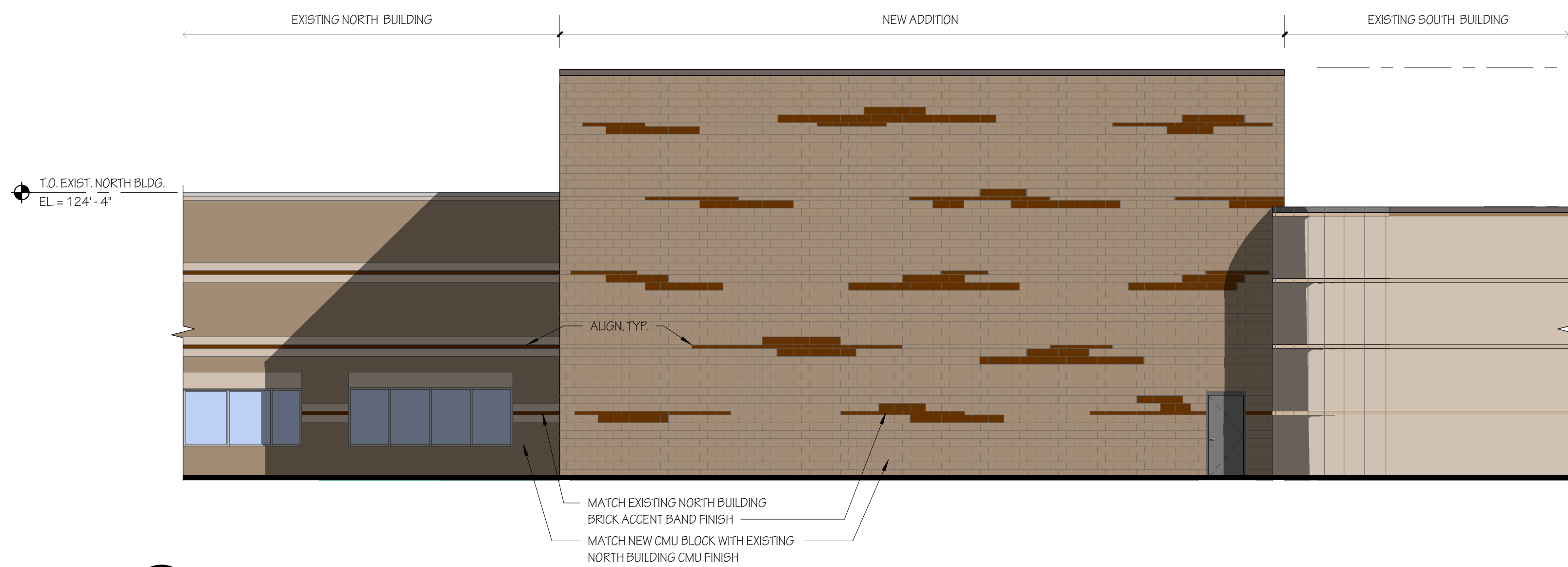
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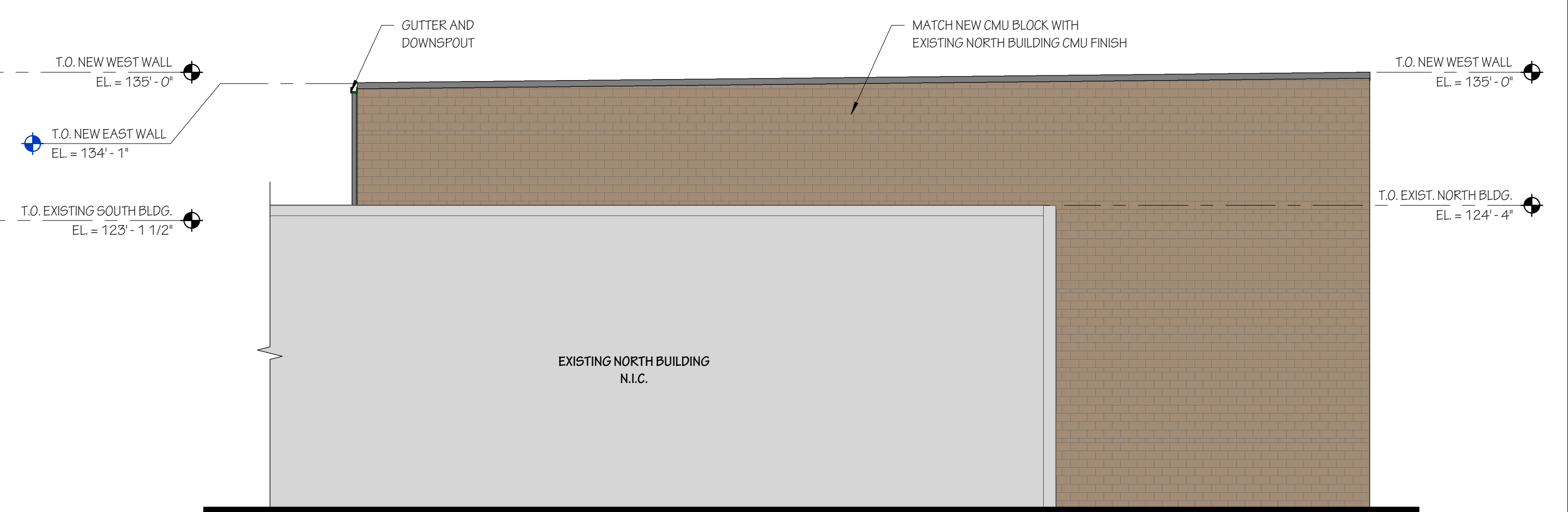
1 ENLARGED FLOOR PLAN
A3.1 1/8" = 1'-0"

DOOR SCHEDULE							
NO.	SIZE	MATERIAL		TYPE		HDW SET	REMARKS
		DOOR	FRAME	DOOR	FRAME		
102	10'-0" X 10'-0" X 1 1/2"						
103	3'-0" X 7'-0" X 1 3/4"						
104	10'-0" X 10'-0" X 1 1/2"						
105	3'-0" X 7'-0" X 1 3/4"						
106	3'-0" X 7'-0" X 1 3/4"						

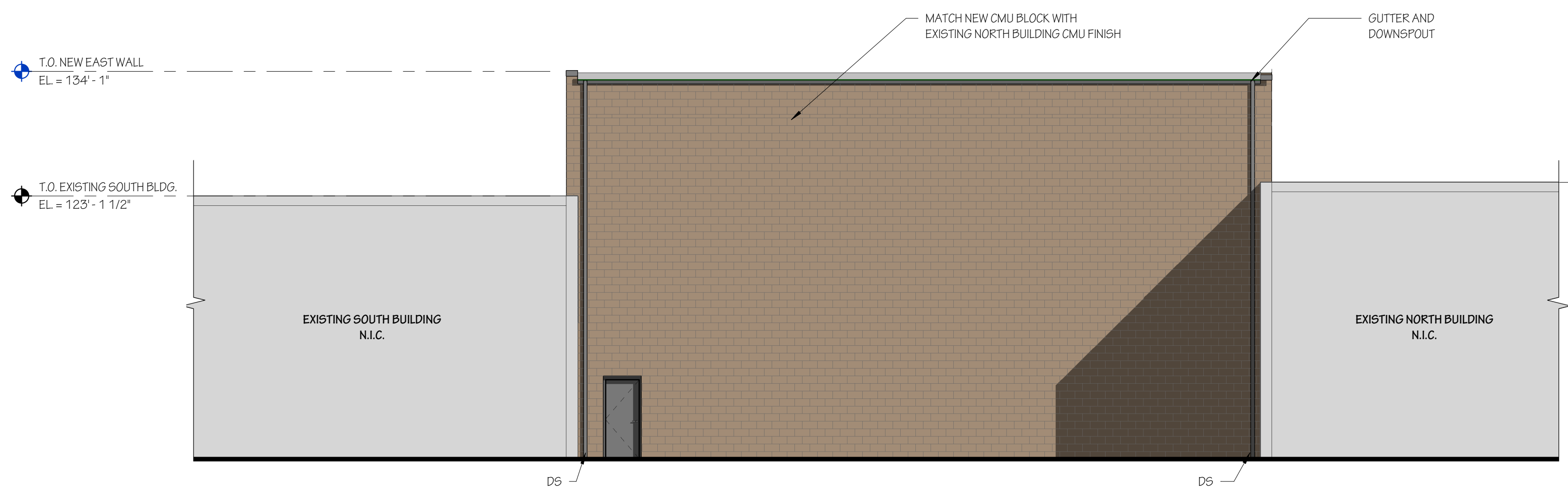
PARTNERS IN DESIGN ARCHITECTS
 BUTTER BUDS EXPANSION
 RACINE, WISCONSIN
 FLOOR PLAN
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 DRAWN BY: YES CHECKED BY: MAM
 DATE: 05.17.2024
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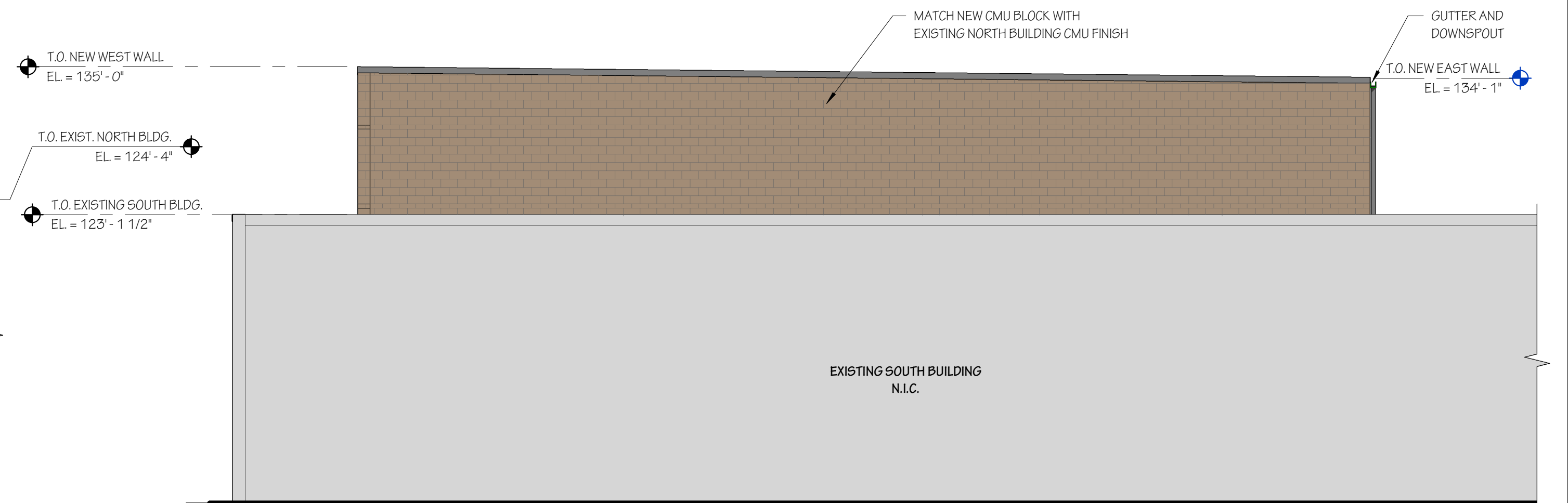
1 WEST ELEVATION
A4.1 1/8" = 1'-0"



2 NORTH ELEVATION
A4.1 1/8" = 1'-0"



4 EAST ELEVATION
A4.1 1/8" = 1'-0"



3 SOUTH ELEVATION
A4.1 1/8" = 1'-0"

BUTTER BUDS EXPANSION
RACINE, WISCONSIN
ELEVATIONS

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