



CITY OF RACINE

General Application Form

Department of City Development
730 Washington Ave., Rm. 102
Racine, WI 53403
Phone: 262-636-9151
Fax: 262-635-5347

Type of Reviews

- 2035 Comprehensive Plan Amendment (\$0 Fee)
- Administrative Review (\$0 Fee)
- Certified Survey Map (\$170 + \$50 per lot)
- Conditional Use Permits (\$695 Fee)
- Design Review (\$0 Fee)
- Research Request (\$0 Fee)
- Rezoning (\$830 Fee)

APPLICANT NAME: Halle Properties, L.L.C.
ADDRESS: STREET: 20225 N. Scottsdale Rd. **CITY:** Scottsdale **STATE:** AZ **ZIP:** 85255
TELEPHONE: (480) 606-6000 **CELL PHONE:** _____
EMAIL: _____

AGENT NAME (IF APPLICABLE): Todd Mosher @ RA Smith, Inc.
ADDRESS: STREET: 1245 E. Diehl Rd. # 102 **CITY:** Naperville **STATE:** IL **ZIP:** 60563
TELEPHONE: (847) 682-9421 **CELL PHONE:** _____
EMAIL: todd.mosher@rasmith.com

PROPERTY ADDRESS (ES): 5103 Washington Avenue
CURRENT ZONING: B-2 Community Shopping District
CURRENT/MOST RECENT PROPERTY USE: Movie Theater
PROPOSED USE: Retail sales and installation of wheels and tires in a new Discount Tire store
PROPOSED ZONING (only if applicable): N/A
LEGAL DESCRIPTION AND TAXKEY (only required for CSM, Rezoning and Comprehensive Plan Amendments): _____
N/A
CURRENT COMPREHENSIVE PLAN DESIGNATION: (only for comp plan amendments) N/A
PROPOSED COMPREHENSIVE PLAN DESIGNATION: (only for comp plan amendments) N/A

Are you the owner of the property included in the area of the requested zoning?
 Yes No Option to Purchase Lease

***NOTE:** The owner of the property (if different than the applicant) must sign this application.

OWNER & APPLICANT AUTHORIZATION

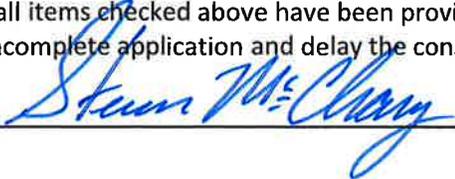
The signature(s) hereby certify that the statements made by myself and constituting part of this application are true and correct. I am fully aware that any misrepresentation of any information on this application may be grounds for denial of this application. I agree that if this request is approved, it is issued on the representations made in this submittal, and any approval or subsequently issued building permit(s) or other type of permit(s) may be revoked without notice if there is a breach of representation or conditions of approval. The applicant/owner by their signature understands and agrees that they are responsible for the completion of all on-site and off-site improvements as shown and approved on the final plan:

Owner (s) Signature: Denise Wamser "Agent for Owner" **Date:** 9/4/2019
Print Name: Denise Wamser "Agent for owner"

Applicant (s) Signature: Scott M Fairrier **Date:** 9/4/19
Print Name: SCOTT M FAIRRIER

- Surface Details**
 - Indicate the surface detail of all outdoor areas (i.e.: grass, gravel, asphalt, concrete, pavers, etc.).
- Sewer/Water**
 - Show the location of all sewer, water and storm sewer lines (only for new construction or project where there is an increase in impervious surface).
- Signage**
 - Provide proposed signage information for the project. (Note: This is required if signage is the reason for the conditional use. If not, signage may be approved separately from the Conditional Use review unless otherwise indicated by Staff).
- Drainage/Grading**
 - Show on-site surface water drainage and grading, and building and ground elevations (new construction only).
- FLOOR PLANS & ELEVATION DRAWINGS TO SCALE:** (Unless otherwise noted, provide 3 copies, One of the three copies shall be no larger than 11"x17". The reduced copy does not need to be to scale. (NOTE: Submit 8 sets for Planned Developments): **If you are unable to provide this information addressing all the requirements below, you may wish to contact an architect to assist you in creating your plans.**
- Scaled Floor Plans**
 - Provide an 'as-built' copy, and a 'proposed build out' copy if any changes to the internal layout are requested. Scaled dimensions of all interior areas shall be provided. These areas may include office spaces, general work areas, storage areas, waiting rooms, repair areas, bathrooms, garage areas, kitchen areas, etc.
- Architecture**
 - Provide detail of existing architectural treatments on the entire building exterior. If remodeling, repairing, or new construction work is part of this proposal, also provide information on proposed colors, materials, and extra features such as awnings, canopies, porticos, etc. Identify what materials the building will be constructed of (i.e.: masonry, brick, etc.). Indicate any proposed changes to the materials (including the roof).
- OTHER INFORMATION**
- Written Description**
 - Provide a DETAILED, WRITTEN description of the proposed business. Provide information about the type of business, machinery involved, type of product produced and/or services being provided, noise issues, parking data, etc. Additional information may be requested throughout the review process.
- Deliveries**
 - Discuss anticipated truck traffic and size of trucks, as well as frequency of deliveries and pick-ups.
- Maintenance Plan**
 - Provide a site maintenance plan, indicating who will be responsible for things such as grass cutting, garbage and litter removal, enforcement of parking standards, clearing of snow, daily site up-keep, etc. If these duties will be contracted out, include a copy of the contractor's proposal or agreement.
- Indicate any plans for future expansion, if applicable**
- Review Fee**
 - **A non-refundable review fee of \$695.00, payable by cash or check, made out to the City of Racine shall be submitted with the complete submittal+. If this request is being made in conjunction with a rezoning request, the combined fee is \$1,120.00.**

I certify that all items checked above have been provided. I understand that not providing all of this information may result in an incomplete application and delay the consideration of my project for approval.

SIGNATURE:  DATE: 2/12/19

September 17, 2019

**City of Racine
Department of City Development
730 Washington Avenue – Room 102
Racine, WI 53403**

**Re: Conditional Use Permit
5103 Washington Avenue**

To Whom It May Concern:

Discount Tire is proposing to construct an 8,200 SF building, consisting of a showroom/waiting area facing Washington Avenue and six service bays facing west. From which they will sell, service and install tires and wheels, no automobile or truck repair services are offered or performed.

In order to serve the customers the store is generally staffed by 6-8 sales/managerial staff and 8-12 technicians will work in the service bays. Tire inventory will be stored on an interior racking system in the service bays and on a mezzanine above the bays to quickly accommodate customers' requests. Used tires are stored in a separate room until hauled away 2-3 times a week by a tire recycler, typically using a smaller box truck. New inventory is delivered by a tractor trailer 2-3 times a week.

The hours of operation are Monday-Friday from 8 AM to 6 PM and Saturday from 8 AM to 5 PM. All Discount Tire stores are closed on Sundays. Normally no cars or trucks are left outside overnight, staff will pull those cars into the service bays.

It is assumed that landscape and snow removal services will be contracted out to local service providers. These details are hashed out by regional management staff closer to an opening date and are not available at this time. It is also assumed that general day to day upkeep of the exterior, picking up trash etc... will be performed by store staff.

All Discount Tire locations are corporately owned and operated and are designed/developed to maximize the property to operate at their standards, so there are generally no plans for future expansions.

Respectfully,

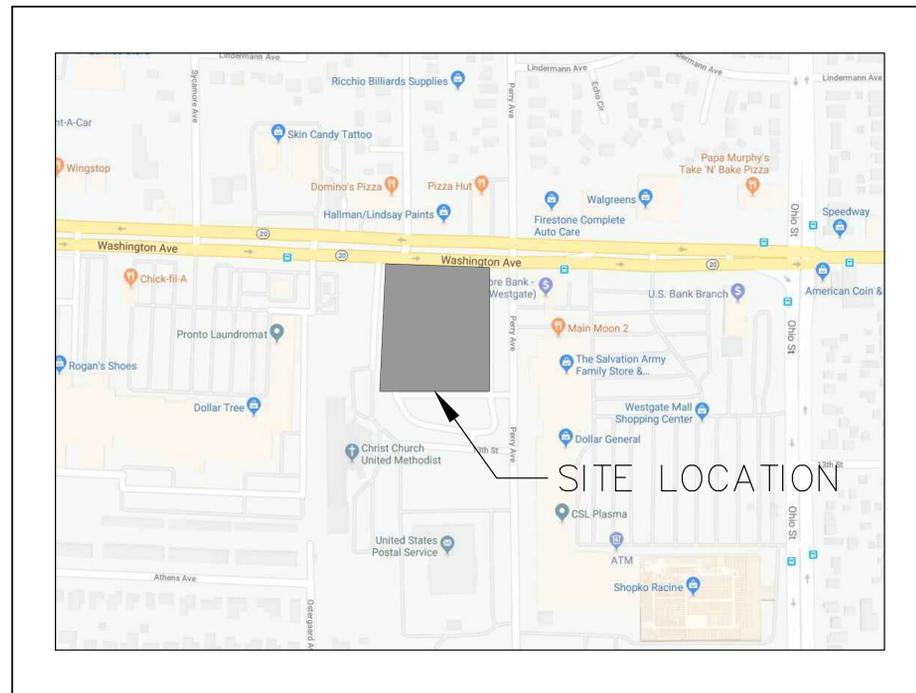


**Steven McCleary
Project Coordinator**

DISCOUNT TIRE

DISCOUNT TIRE - WIM-11976 5103 WASHINGTON AVENUE CITY OF RACINE, WISCONSIN 53406 RACINE COUNTY ENGINEERING PLANS

VICINITY MAP



PLAN INDEX

SHEET NO.	DESCRIPTION
C000	TITLE SHEET
1 OF 2	ALTA/NSPS LAND TITLE SURVEY
2 OF 2	ALTA/NSPS LAND TITLE SURVEY
C100	DEMOLITION PLAN
C200	DIMENSIONED SITE PLAN
C300	GRADING AND EROSION CONTROL
C400	SITE UTILITY PLAN
C500	EROSION CONTROL DETAILS
C501	SITE DETAILS
C502	UTILITY DETAILS
C600	SPECIFICATIONS
L100	LANDSCAPE PLAN

REVIEWING / PERMITTING AUTHORITIES:

CITY OF RACINE BUILDING INSPECTION DIVISION
JEFFERY HINTZ
ASSOCIATE PLANNER
730 WASHINGTON AVENUE, ROOM #102
CITY OF RACINE, WI 53403
262-636-9473
jeffery.hintz@cityofracine.org

CITY OF RACINE ENGINEERING DEPARTMENT

JOHN ROONEY
DEPUTY COMMISSIONER OF PUBLIC WORKS
730 WASHINGTON AVENUE, ROOM #303
CITY OF RACINE, WI 53403
262-636-9460
john.rooney@cityofracine.org

CITY OF RACINE FIRE DEPARTMENT

CRAIG FORD
CAPTAIN
810 8TH STREET
CITY OF RACINE, WI 53403
262-635-7915

UTILITY CONTACTS:

WATER
CITY OF RACINE-WATER DEPARTMENT
CHAD REGALIA-CHIEF ENGINEER
262-636-9539
chad.regalia@cityofracine.org

SEWER
VILLAGE OF MOUNT PLEASANT
ROB BOWERS-ASST. SEWER UTILITY MANAGER
262-664-7847
rbowers@mtpleasantwi.gov

ELECTRIC
WE ENERGIES
800-753-9509
(FAX) 414-944-5552

GAS
WE ENERGIES
800-753-9509
(FAX) 414-944-5552

TELEPHONE/CABLE
AT&T
JEFF KNIEP-TELECOM SPECIALIST OSP
PLANNING AND ENGINEERING
262-636-0767
jk5386@att.com

DEVELOPER/OWNER:
HALLE PROPERTIES, LLC
20225 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85255
PH.: (480) 606-6000
FAX: (480) 606-4370

CIVIL ENGINEER/LANDSCAPE ARCHITECT

raSmith
CREATIVITY BEYOND ENGINEERING
16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

PLAN DATE: SEPTEMBER 5, 2019

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:
1	09/25/2019	ALL	CITY COMMENTS

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
Mount Pleasant, WI | Waukegan, IL | Irvine, CA

DISCOUNT TIRE - WIM 11976
CITY OF RACINE, WI

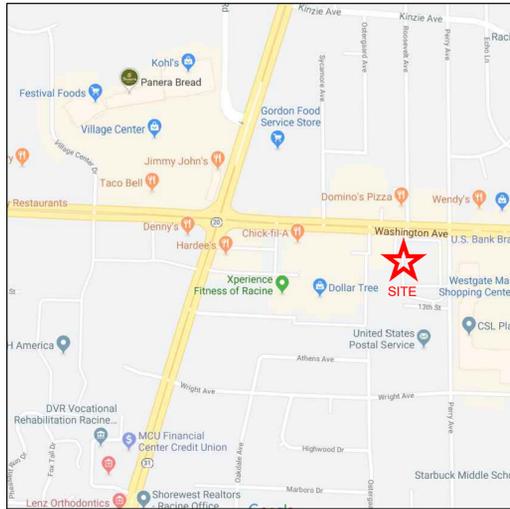
COVER SHEET

© COPYRIGHT 2019
R.A. Smith, Inc.
DATE: 09/05/2019
SCALE: N.T.S.
JOB NO. 3190244
PROJECT MANAGER:
ROBERT J. YERSIN, P.E.
DESIGNED BY: RJY
CHECKED BY: TM

SHEET NUMBER
C000



Know what's below.
Call before you dig.



VICINITY MAP - NOT TO SCALE

Known as 5103 Washington Avenue, in the City of Racine, Racine County, Wisconsin.

PARCEL I:
 Lot Two (2) of CERTIFIED SURVEY MAP NO. 3248, being a part of the Northeast One-quarter (1/4) of the Southeast One-quarter (1/4) of Section Thirteen (13), in Township Three (3) North, Range Twenty-two (22) East, in the City of Racine, Racine County, Wisconsin, recorded on May 15, 2017 in Volume 10 of Certified Survey Maps, Pages 703 to 706, as Document No. 2464602.

PARCEL II:
 A non-exclusive easement and right-of-way for ingress and egress for vehicular and pedestrian travel of all kinds for the benefit of Parcel I created by Executrix' Deed by Constance Papas, Executrix of the Estate of Spiro J. Papas, deceased, and Christ Church Methodist of Racine, dated May 24, 1968 and recorded in the Office of the Register of Deeds for Racine County, Wisconsin on September 26, 1969 in Volume 1031 of Records, Page 456, as Document No. 859530, described as follows: That part of the Southeast One-quarter (1/4) of Section Thirteen (13), in Township Three (3) North, Range Twenty-two (22) East, in the City of Racine, County of Racine, State of Wisconsin, bounded as follows: Begin at the Northeast corner of the Southeast 1/4 of Section 13, Township 3 North, Range 22 East; run thence West along the North line of the Southeast 1/4 of said Section 13, 1296.5 feet; thence South parallel with the East line of said Section 13, 607.98 feet more or less to the Northerly line of Thirteenth Street; and the point of beginning of this description; run thence North 20.03 feet parallel to the East line of said Section 13; thence South 86°58' East 40.39 feet to a point on the Northerly line of Thirteenth Street; thence Southwesterly along the Northerly line of Thirteenth Street (which line at said point is the arc of a cul-de-sac) to the point of beginning.

PARCEL III:
 A non-exclusive easement for access as set forth in a Reciprocal Easement Agreement recorded on May 15, 2017 as Document No. 2464655.

NOTE: THE ABOVE DESCRIBED PROPERTY WILL BE KNOWN AS:

Lot ___ of CERTIFIED SURVEY MAP NO. _____, a division of Lot Two (2) of CERTIFIED SURVEY MAP NO. 3248, being a part of the Northeast One-quarter (1/4) of the Southeast One-quarter (1/4) of Section Thirteen (13), in Township Three (3) North, Range Twenty-two (22) East, in the City of Racine, Racine County, Wisconsin, recorded in the Office of the Register of Deeds for Racine County on _____ in Book ____, Pages ____ to ____ inclusive, as Document No. _____.

Encroachment list

- Ⓐ - Telephone pedestal and utility vault along the North property line are not in an easement.

Metes and bounds description:

Part of Lot 2, Certified Survey Map No. 3248, being a part of the Northeast 1/4 of the Southeast 1/4 of Section 13, Town 3 North, Range 22 East, in the City of Racine, Racine County, Wisconsin, bounded and described as follows: Commencing at the Northeast corner of said 1/4 Section, thence North 89°10'36" West along the North line of said 1/4 Section 1080.06 feet to a point; thence South 00°49'24" West 77.00 feet to the Northwest corner of Lot 1, Certified Survey Map No. 3248 and the point of beginning; thence South 00°49'24" West along the West line of said Lot 1 a distance of 260.00 feet to a point; thence North 89°10'36" West 199.08 feet to a point on the West line of said Lot 2; thence North 02°07'30" West along said West line 260.35 feet to the North line of said Lot 2; thence South 89°10'36" East along said North line and the South line of Washington Ave 212.47 feet to the point of beginning.

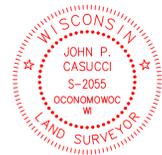
Containing 53,502 square feet or 1.2282 acres.

SURVEY CERTIFICATION

To: The Reinalt-Thomas Corporation, a Michigan corporation, Halle Properties, L.L.C., an Arizona limited liability company, including their subsidiaries, affiliates, successors and assignees, Wisconsin Title Service Company, Inc. and Chicago Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 10(b), 11, 13, 14, 16, 17, 18, 19, 20 and 21 of Table A thereof. The fieldwork was completed on July 29, 2019.

Date of Plat or Map: August 20, 2019



John P. Casucci
 John P. Casucci
 Professional Land Surveyor
 Registration Number 2055
 john.casucci@rasmith.com

A. Basis of Bearings

Bearings are based on the North line of the Southeast 1/4 of Section 13-3-22, which is assumed to bear North 89°10'36" West.

B. Title Commitment

This survey was prepared based on Wisconsin Title Service Company, Inc. an agent for Chicago Title Insurance Company title commitment number 1906C0363, effective date of June 11, 2019, which lists the following easements and/or restrictions from schedule B-II:

- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met. **The exception does affect the surveyed property by location, non-plottable.**
- Special taxes or assessments, if any, payable with the taxes levied or to be levied for the current and subsequent years. **Not a survey item.**
- Liens, hook-up charges or fees, deferred charges, reserve capacity assessments, impact fees, or other charges or fees due and payable on the development or improvement of the Land, whether assessed or charged before or after the Date of Policy. **Not a survey item.**
- Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records. **Not a survey item.**
- Rights or claims of parties in possession not shown by the public records. **The exception does affect the surveyed property by location, non-plottable.**
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. **The exception does affect the surveyed property by location, see encroachment list.**
- Easements or claims of easements not shown by the public records. **The exception does affect the surveyed property by location, non-plottable.**
- Any claim of adverse possession or prescriptive easement. **The exception does affect the surveyed property by location, non-plottable.**
- The lien of general real estate taxes for the year 2019, not yet due or payable. **Not a survey item.**
- Mortgage, and the Terms and Conditions thereof, from Midland (Washington/Perry) Associates II, a Wisconsin Limited Partnership to Johnson Bank for \$435,000.00 dated May 12, 2017 and recorded on May 16, 2017 in the Office of the Register of Deeds for Racine County, Wisconsin, as Document No. 2464702. **Not a survey item.**
- Rights of others and obligations as to maintenance and repair of the easement insured as Parcel II in Schedule A hereof. **The exception does not affect the surveyed property by location, non-plottable.**
- Cross Access Easement as shown on the recorded plat of Certified Survey Map No. 3248. **The exception does affect the surveyed property by location, shown.**
- No access to Washington Avenue a/k/a S.T.H 20 as shown on the recorded plat of Certified Survey Map No. 3248. **The exception does affect the surveyed property by location, shown.**
- Possible interest of the City of Racine for a temporary limited easement by reason of a Transportation Project Plat No. 2440-09-20-4.01 recorded on January 13, 2017 as Document No. 2455407 and Amended by Transportation Project Plat No. 2440-09-20-4.01 Amendment No. 1 recorded on June 28, 2017, as Document No. 2468372. **The exception does affect the surveyed property by location, shown.**
- Reciprocal Easement Agreement recorded on May 15, 2017, as Document No. 2464655. **The exception does affect the surveyed property by location, shown.**
- Distribution Easement Underground recorded on December 20, 2017 as Document No. 2482809. **The exception does not affect the surveyed property by location, shown.**
- Temporary Limited Easement recorded on August 30, 2018 as Document No. 2502342. **The exception does affect the surveyed property by location, shown.**
- Right to a lien for unpaid commissions, if any, in favor of any real estate broker for the property, pursuant to Section 779.32, Wis. Stats. This exception will be removed on receipt by the Company of a satisfactory affidavit of the present owner that no such commissions are owed, or that all commissions will be paid at closing. No broker or notice of intent to file lien has been recorded as of the effective date of this commitment to insure. **Not a survey item.**

C. Flood Note

According to flood insurance rate map of the City of Racine, community panel number 55101C0229D, effective date of May 2, 2012, this site falls in zone X (areas determined to be outside the 0.2% annual chance floodplain)

D. Parking Spaces

There are no regular and no handicapped parking spaces marked on this site.

E. Datums

Elevations refer to NGVD 1929 Datum, starting BM. Found brass plug for North witness corner for the Northeast corner of the Southeast 1/4 of Section 13-3-22, elevation 695.337'. Horizontal datum NAD27.

F. Municipal Zoning

Per City of Racine website, Land is Zoned B-2 Community Shopping. No required setbacks by ordinance.

G. Notes

There is no evidence of recent earth moving work, building construction or building additions observed in the process of conducting the fieldwork.

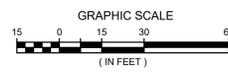
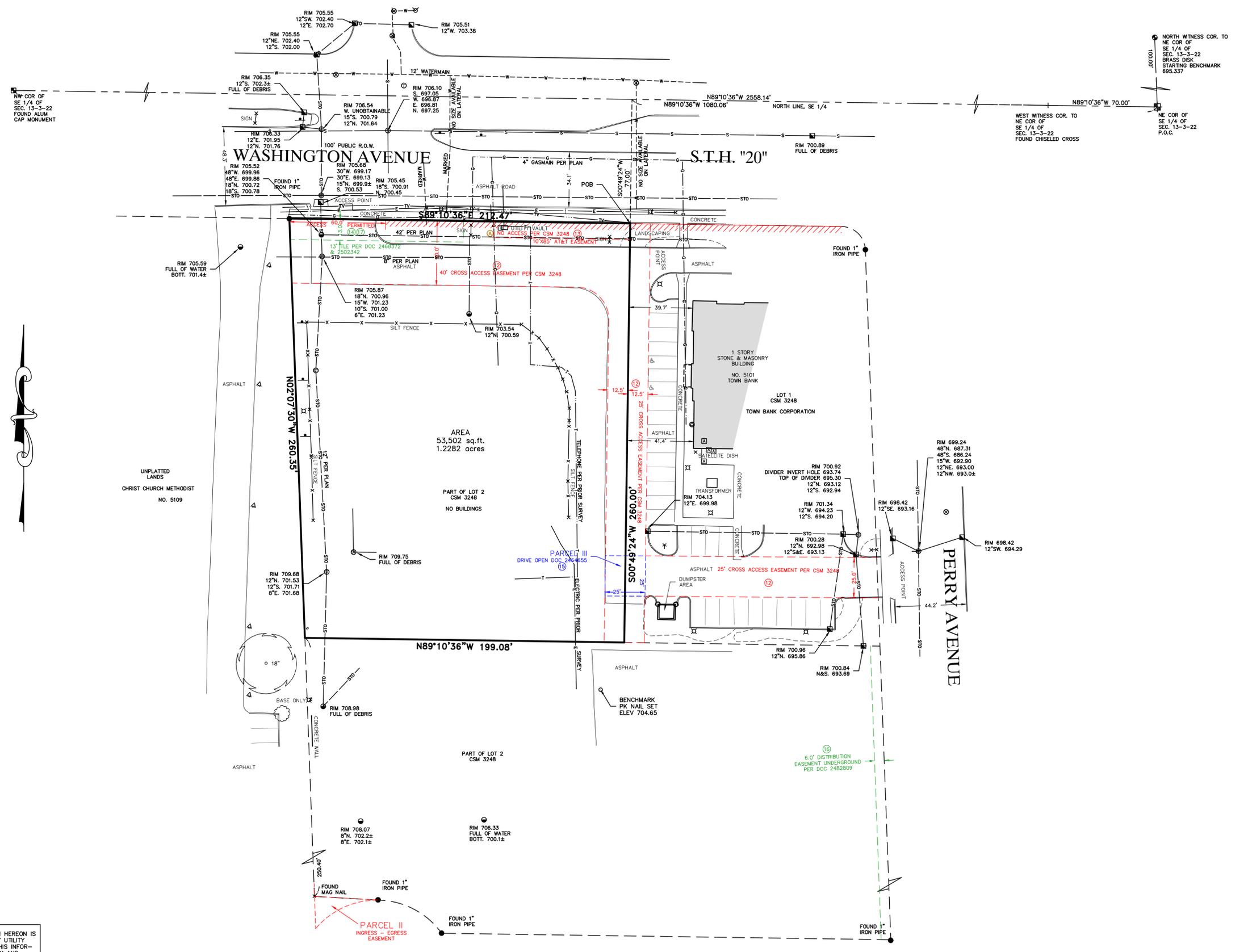
There is no proposed changes in street right of way lines, if such information is made available to the surveyor by the controlling jurisdiction observed in the process of conducting the fieldwork.

There is no evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.

There is no evidence of wetland flags on the site observed in the process of conducting the fieldwork.

An agreement has been made to waive the requirement of setting property corners.

DESCRIPTION	
DATE	
ALTA/NSPS LAND TITLE SURVEY CITY OF RACINE, WI RACINE, WI 5103 WASHINGTON STREET	
© COPYRIGHT 2019 R.A. Smith, Inc. DATE: 7/29/2019 SCALE: JOB NO. 167933 PROJECT MANAGER: JPC DESIGNED BY: RJY CHECKED BY: JPC SHEET NUMBER 1 OF 2	



LEGEND

- BOLLARD
- △ SIGN
- AIR CONDITIONER
- ⊕ LIGHT POLE
- ⊙ SPOT/YARD/PEDESTAL LIGHT
- ⊞ ELECTRIC METER
- ⊕ TELEPHONE MANHOLE
- ⊞ TELEPHONE PEDESTAL
- ⊙ GAS METER
- ⊕ STORM MANHOLE
- ⊙ ROUND INLET
- ⊞ SQUARE INLET
- ⊕ SANITARY MANHOLE
- ⊞ IRRIGATION CONTROL BOX
- ⊙ WATER VALVE
- DECIDUOUS TREE
- SHRUB
- s — SANITARY SEWER
- st — STORM SEWER
- w — WATERMAIN
- g — MARKED GAS MAIN
- e — MARKED ELECTRIC
- tv — MARKED CABLE TV LINE
- — INDICATES PROPERTY LINE
- x — INDICATES FENCE LINE
- — INDICATES EASEMENT LINE VARYING COLORS
- — INDICATES OVERHANG
- 780 — INDICATES EXISTING CONTOUR ELEVATION
- × 780.55 — INDICATES EXISTING SPOT ELEVATION

DIGGERS HOTLINE TICKET NO. 2019-27-07817

THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

(P) INDICATES PIPE SIZES PER RECORD PLANS. OTHER PIPE SIZES ARE ESTIMATED. NO PIPE SIZES SHOULD BE RELIED UPON WITHOUT FURTHER VERIFICATION.

DATE	DESCRIPTION

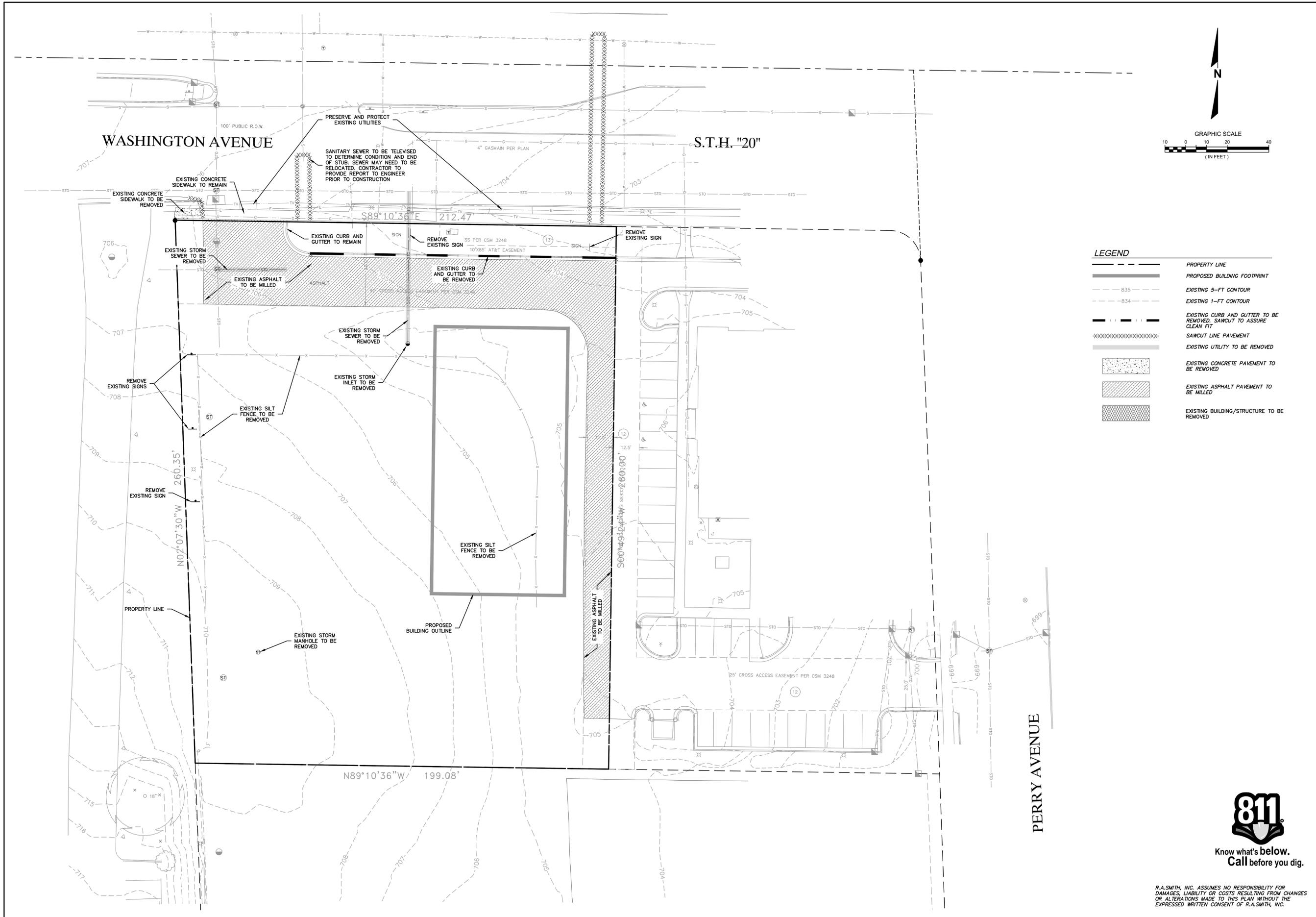
16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com



ALTANSPS LAND TITLE SURVEY
CITY OF RACINE, WI
RACINE, WI
5103 WASHINGTON STREET

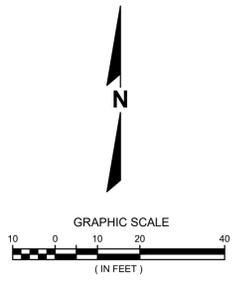
© COPYRIGHT 2019
R.A. Smith, Inc.
DATE: 7/29/2019
SCALE: 1"=30'
JOB NO. 167933
PROJECT MANAGER:
JPC
DESIGNED BY: RJJ
CHECKED BY: JPC

SHEET NUMBER
2 OF 2



LEGEND

	PROPERTY LINE
	PROPOSED BUILDING FOOTPRINT
	EXISTING 5-FT CONTOUR
	EXISTING 1-FT CONTOUR
	EXISTING CURB AND GUTTER TO BE REMOVED. SAWCUT TO ASSURE CLEAN FIT
	SAWCUT LINE PAVEMENT
	EXISTING UTILITY TO BE REMOVED
	EXISTING CONCRETE PAVEMENT TO BE REMOVED
	EXISTING ASPHALT PAVEMENT TO BE MILLED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED



DATE	DESCRIPTION
09/25/2019	CITY COMMENTS

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
Menomonee Falls, WI | Wauwatosa, WI | Waukesha, WI | Janesville, WI | Incline, CA

DISCOUNT TIRE - WIM 11976
CITY OF RACINE, WI
DEMOLITION PLAN



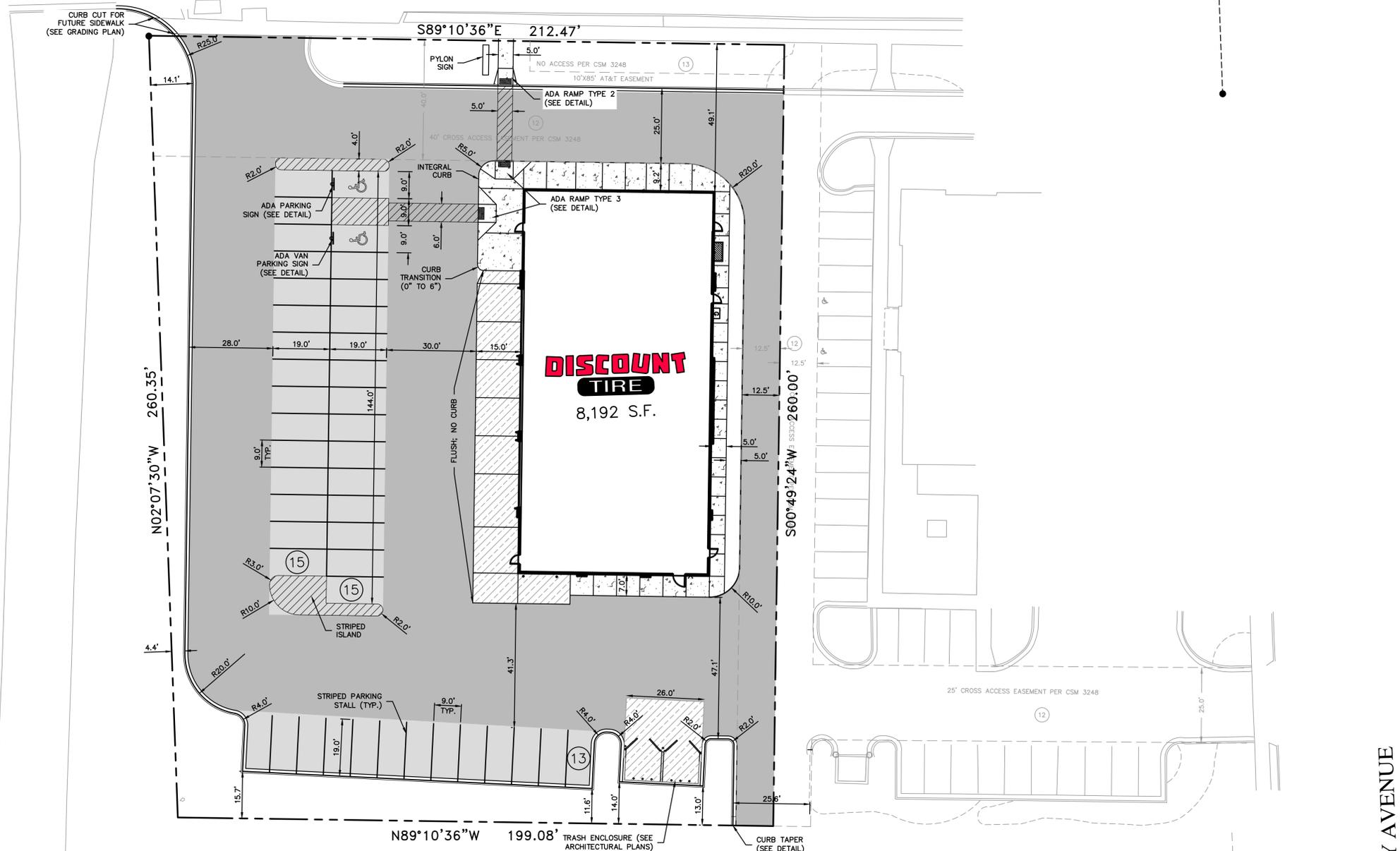
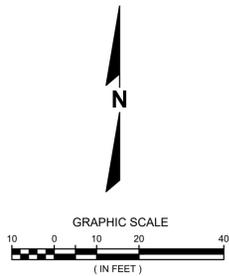
Know what's below.
Call before you dig.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

© COPYRIGHT 2019 R.A. Smith, Inc.
DATE: 09/05/2019
SCALE: 1" = 20'
JOB NO. 3190244
PROJECT MANAGER: ROBERT J. YERSIN, P.E.
DESIGNED BY: RJY
CHECKED BY: TM
SHEET NUMBER
C100

WASHINGTON AVENUE

S.T.H. "20"



LEGEND

- PROPOSED PROPERTY LINE
- HEAVY-DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- HEAVY-DUTY ASPHALT PAVEMENT
- STANDARD-DUTY ASPHALT PAVEMENT
- PROPOSED ACCESSIBLE PAVEMENT MARKING
- PARKING COUNT

PARKING CALCULATIONS

PARKING REQUIREMENTS:

1,596 SF SHOWROOM @ 1 SPACE PER 400 SF	= 4 SPACES
53,502 SF LOT AREA @ 1 SPACE PER 2,000 SF	= 27 SPACES
TOTAL SPACES REQUIRED = 31 SPACES	

PARKING PROVIDED:

STANDARD SPACES	41
ACCESSIBLE SPACES	2
TOTAL PROVIDED	43

ZONING AND SETBACKS

THE PARCEL IS CURRENTLY ZONED B-2 (COMMUNITY SHOPPING DISTRICT)
 BUILDING SETBACK: NONE
 EXISTING USES: NONE
 PROPOSED USE: TIRE STORE AND INSTALLATION

BUILDING INFORMATION

FLOOR AREA	8,192 SF
MEZZANINE AREA	2,750 SF
NUMBER OF FLOORS	1-STORY WITH MEZZANINE
HEIGHT OF BUILDING	26 FT

SITE CALCULATIONS

	SQFT	AC	COVERAGE
PARCEL AREA	53,502	1.23	
EXISTING ROOF AREA	0	0	0
EXISTING PERVIOUS AREA	7,374	0.16	13.8%
EXISTING IMPERVIOUS AREA	46,128	1.07	86.2%
PROPOSED BUILDING AREA	8,192	0.19	15.3%
PROPOSED PERVIOUS	10,899	0.25	20.4%
PROPOSED IMPERVIOUS	34,411	0.79	64.3%

DIMENSIONED SITE PLAN NOTES

- EXISTING TOPOGRAPHY OBTAINED BY roSmith, AUGUST 20, 2019
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.

PERRY AVENUE

DATE	DESCRIPTION
09/25/2019	CITY COMMENTS

16745 W. Bluemound Road
 Brookfield, WI 53005-5938
 (262) 781-1000
 rasmith.com



Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
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DISCOUNT TIRE - WIM 11976
 CITY OF RACINE, WI

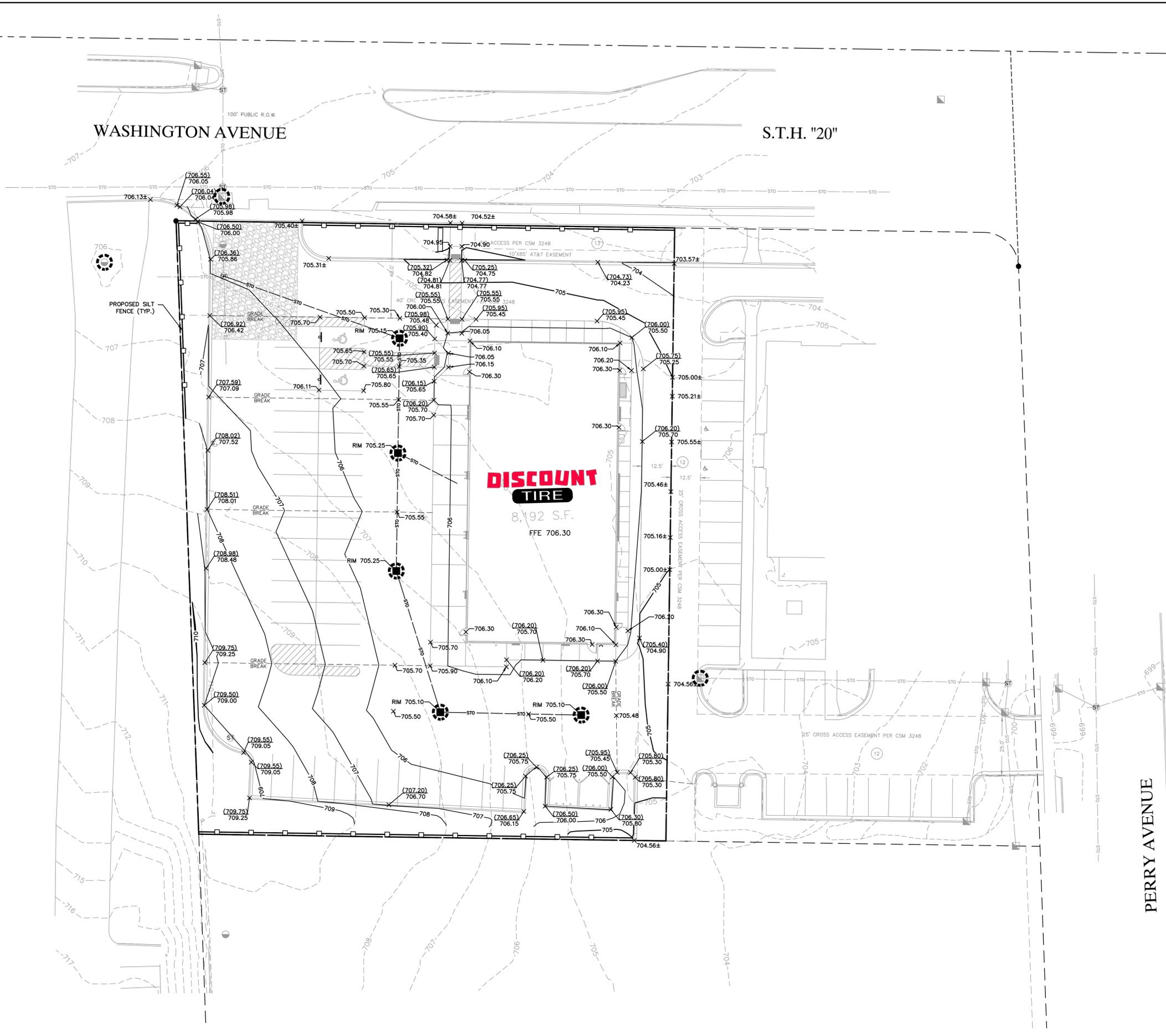
DIMENSIONED SITE PLAN



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DATE: 09/05/2019
SCALE: 1" = 20'
JOB NO. 3190244
PROJECT MANAGER: ROBERT J. YERSIN, P.E.
DESIGNED BY: RJY
CHECKED BY: TM
SHEET NUMBER
C200



LEGEND

- PROPERTY LINE
- - - - - 705 EXISTING 5-FT CONTOUR
- - - - - 704 EXISTING 1-FT CONTOUR
- 705 PROPOSED 5-FT CONTOUR
- 704 PROPOSED 1-FT CONTOUR
- EXISTING SPOT GRADE
- 706.50 PROPOSED SPOT GRADE AT GUTTER OR SPOT GRADE ON PAVEMENT
- (706.50) PROPOSED SPOT GRADE AT TOP OF CURB
- RIM 706.50 PROPOSED SPOT GRADE AT STORM RIM
- 1172.00± MATCHING GRADES INTO EXISTING
- 3.4% PROPOSED DIRECTIONAL SLOPE ARROW
- 18" REJECT/REVERSE PITCHED CURB AND GUTTER SEE DETAIL
- TEMPORARY PERIMETER AND SEDIMENT CONTROL (SEE DETAIL)
- TEMPORARY CONSTRUCTION ENTRANCE (SEE DETAIL)
- PROPOSED INLET PROTECTION DEVICE (SEE DETAIL)

GRADING AND EROSION CONTROL NOTES

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 CONTRACTOR TO VERIFY BUILDING FIRST FLOOR ELEVATION PRIOR TO POURING FOUNDATION.
 ALL SIDEWALKS SHALL HAVE A MAXIMUM 2.0% CROSS SLOPE.
 ALL EROSION CONTROL MEASURES MUST BE INSPECTED AND REPAIRED WEEKLY AND AFTER EACH RAIN TOTALING 1/2 INCH OR MORE.

APPROXIMATE CONSTRUCTION SEQUENCE

GENERAL NOTE THROUGHOUT ENTIRE CONSTRUCTION PERIOD: ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO FOURTEEN DAYS MUST BE IMMEDIATELY RESTORED WITH SEED AND MULCH. ALL SLOPES MUST BE TOPSOILED, SEEDED AND MATTED WITHIN 3 DAYS OF COMPLETED GRADING.

SEQUENCE AND TIMING FOR INSTALLATION OF EROSION CONTROL MEASURES & SITE IMPROVEMENTS SHALL BE:

1. INSTALL SILT FENCE AS SHOWN ON THIS PLAN. MAINTAIN AS NECESSARY DURING CONSTRUCTION.
2. INSTALL TRACKING PAD.
3. INSTALL TREE PROTECTION PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ACTIVITIES.
4. STRIP TOPSOIL (IF NECESSARY) AND REMOVE FROM SITE OR UTILIZE PROVIDED TEMPORARY TOPSOIL STOCKPILE.
5. PROCEED WITH DEMOLITION AS SPECIFIED ON THE DEMOLITION PLAN.
6. PROCEED WITH MASS SITE GRADING.
7. GRADE/CONSTRUCT BUILDING PAD AND BEGIN CONSTRUCTION OF FOOTINGS AND FOUNDATION.
8. VERIFY EXISTING UTILITY CONNECTION ELEVATIONS. PROCEED WITH CONSTRUCTION OF WATER MAIN, SANITARY AND STORM SEWER.
9. GRADE SITE AND PREPARE AGGREGATE BASE.
10. STABILIZE DISTURBED GROUND WITH TEMPORARY SEED AND MULCH.
11. INSTALL BASE COURSES, PROPOSED PAVEMENTS, SIDEWALKS AND CURB & GUTTER.
12. INSTALL LANDSCAPING PER THE CONSTRUCTION DOCUMENTS, IDNR AND LOCAL ORDINANCES.
13. CONTRACTOR MAY MODIFY SEQUENCING AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS SET FORTH IN FEDERAL, STATE & LOCAL PERMITS. ALL CHANGES MUST BE SUBMITTED IN WRITING TO DISCOUNT TIRE & R.A. SMITH, INC. 5 WORKING DAYS PRIOR TO CHANGE.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY TRAFFIC CONTROL FOR TRAFFIC ENTERING AND LEAVING THE SITE. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH STATE, COUNTY AND LOCAL REGULATIONS. ACCESS TO SOUTHERN PARCEL MUST REMAIN OPEN THROUGHOUT CONSTRUCTION.
15. AS SITE CONDITIONS WARRANT DURING CONSTRUCTION ADDITIONAL BMPs SHALL BE INSTALLED TO REDUCE THE MIGRATION OF SEDIMENT TO THE MOST EXTENT PRACTICABLE.
16. REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES AFTER DISTURBED AREA IS PERMANENTLY STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION.

DATE	DESCRIPTION
09/25/2019	CITY COMMENTS

16745 W. Bluemound Road
 Brookfield, WI 53005-5938
 (262) 781-1000
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raSmith
 CREATIVITY BEYOND ENGINEERING

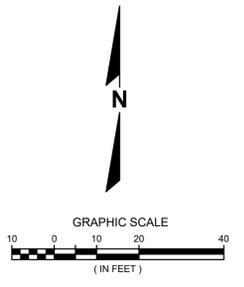
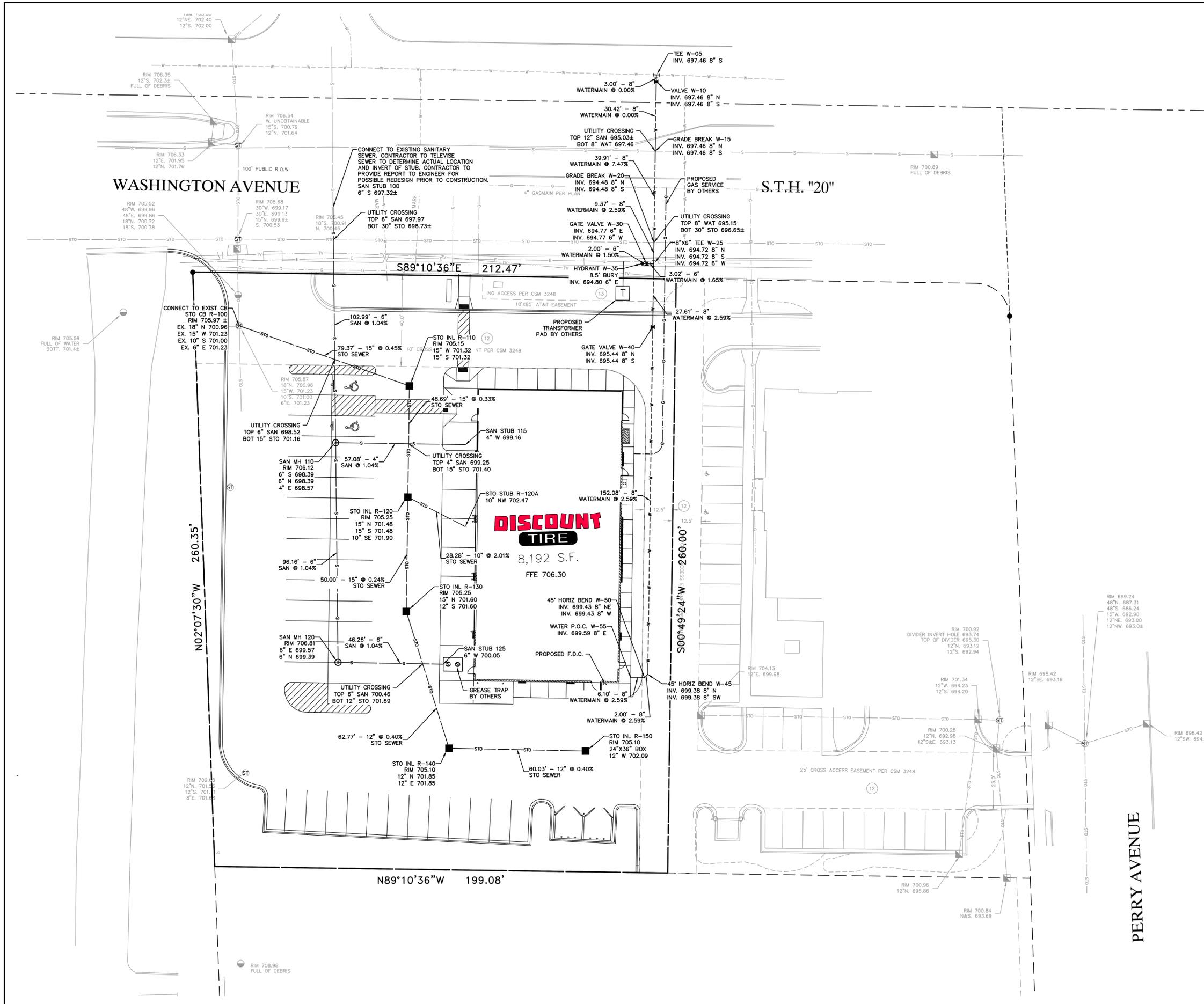
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 Mount Pleasant, WI | Naperville, IL | Irvine, CA

**DISCOUNT TIRE - WIM 11976
 CITY OF RACINE, WI
 GRADING AND EROSION
 CONTROL PLAN**

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 R.A. Smith, Inc.
 DATE: 09/05/2019
 SCALE: 1" = 20'
 JOB NO. 3190244
 PROJECT MANAGER:
 ROBERT J. YERSIN, P.E.
 DESIGNED BY: RJY
 CHECKED BY: TM

SHEET NUMBER
 C300





LEGEND

- STO— PROPOSED STORM SERVICE
- S— PROPOSED SANITARY SERVICE
- W— PROPOSED WATER SERVICE
- T— PROPOSED TELEPHONE SERVICE
- E— PROPOSED ELECTRIC SERVICE
- G— PROPOSED GAS SERVICE
- STO— EXISTING STORM SERVICE
- S— EXISTING SANITARY SERVICE
- W— EXISTING WATER SERVICE
- T— EXISTING TELEPHONE SERVICE
- E— EXISTING ELECTRIC SERVICE
- G— EXISTING GAS SERVICE
- PROPOSED STORM MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED SANITARY MANHOLE
- ⊕ PROPOSED FDC
- ⊕ PROPOSED VALVE
- ⊕ PROPOSED ELECTRICAL TRANSFORMER

UTILITY PLAN NOTES

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES. ANY DISCREPANCY SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR POSSIBLE REDESIGN.

ALL WORK SHALL CONFORM WITH WDOT AND CITY OF RACINE CITY STANDARDS AND SPECIFICATIONS.

SLURRY BACKFILL IS REQUIRED FOR ANY UTILITY TRENCH WITHIN THE PUBLIC R.O.W.

THE CIVIL PLANS COVER THE SITE UTILITIES UP TO WITHIN 5 FEET OF THE PROPOSED BUILDING.

THE MEP PLANS COVER THE UTILITIES WITHIN THE 5 FEET ENVELOPE AROUND THE BUILDING.

COMPACTED TRENCH BACKFILL IS REQUIRED FOR ANY UTILITY TRENCHES WITHIN 5 FEET OF ANY PAVEMENT AND SIDEWALK.

WATER SERVICES SMALLER THAN 4" SHALL BE COPPER OR CITY APPROVED EQUAL. WATER PIPE OR FITTING JOINTS SHALL NOT BE LOCATED UNDER BUILDING FOOTINGS.

PROVIDE A MINIMUM OF 6 FEET OF COVER OVER THE WATER SERVICE LINE.

ALL SANITARY SEWER AND STORM SEWER STRUCTURES ARE 48" DIAMETER UNLESS OTHERWISE NOTED.

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Brookfield, WI 53005-5938
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Menomonee Falls, WI | Wauwatosa, WI | Waukesha, WI | Racine, WI | Janesville, WI
Kenosha, WI | Elkhart, WI | Napperville, IL | Inverness, IL

DISCOUNT TIRE - WIM 11976
CITY OF RACINE, WI

SITE UTILITY PLAN

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DATE: 09/05/2019
SCALE: 1" = 20'
JOB NO. 3190244
PROJECT MANAGER: ROBERT J. YERSIN, P.E.
DESIGNED BY: RJY
CHECKED BY: TM
SHEET NUMBER C400

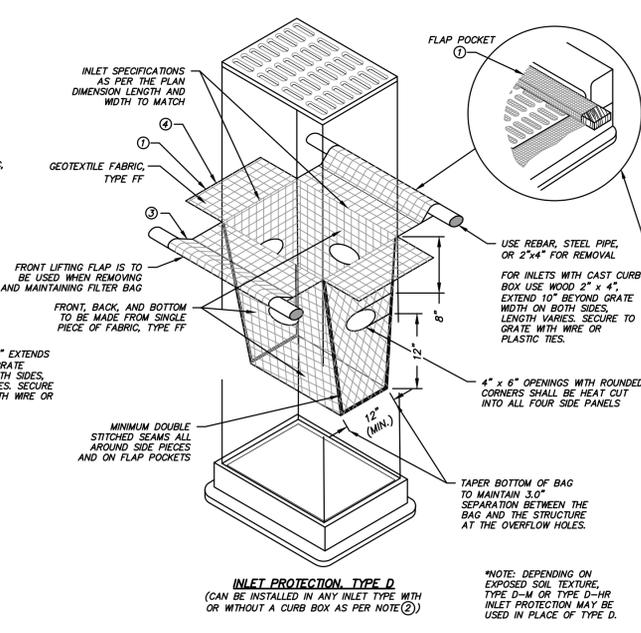
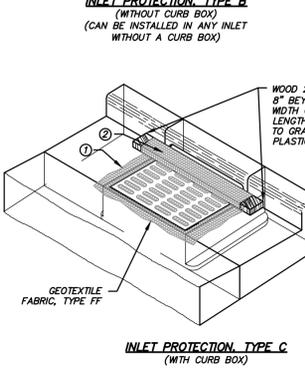
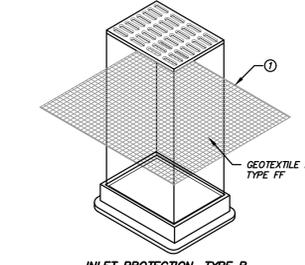
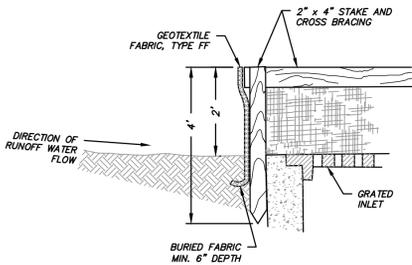
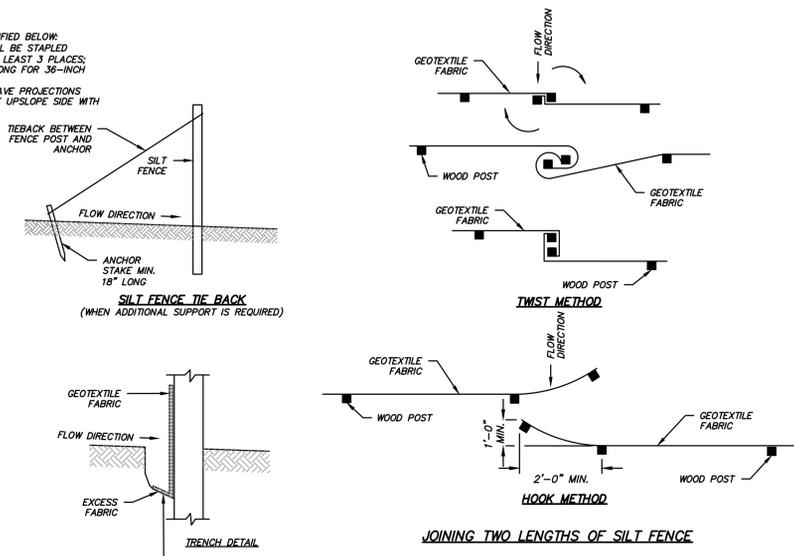
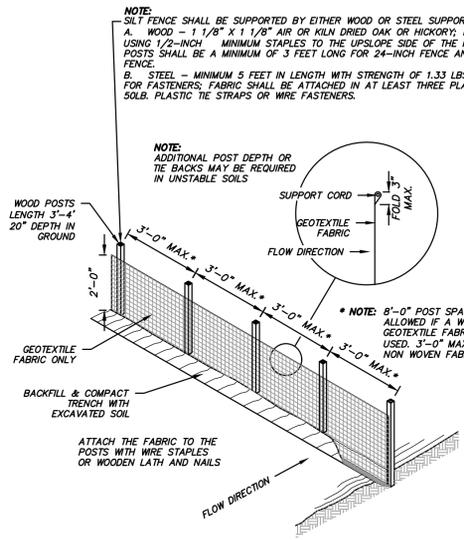


Know what's below.
Call before you dig.

- NOTES:**
- SILT FENCE INSTALLATION AND MATERIALS SHALL CONFORM TO WDNR CONSERVATION STANDARD 1056
 - SILT FENCE SHALL BE PLACED ON THE CONTOUR AND NOT PERPENDICULAR TO THE CONTOUR. THE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
 - WHEN SILT FENCE IS INSTALLED ON A SLOPE, THE PARALLEL SPACING SHALL NOT EXCEED THE REQUIREMENTS IN THE TABLE BELOW:

SLOPE	FENCE SPACING
< 2%	100 FEET
2 TO 5%	75 FEET
5 TO 10%	50 FEET
10 TO 33%	25 FEET
> 33%	20 FEET

- INSTALLED SILT FENCES SHALL BE MINIMUM 14 INCHES HIGH AND A MAXIMUM OF 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.
- A MINIMUM OF 20 INCHES OF THE POST SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.
- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4-INCH TRENCH WIDE BY 6-INCH DEEP TRENCH, OR 6-INCH V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED WIDER THAN NECESSARY FOR PROPER INSTALLATION.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
 - TWIST METHOD—OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES.
 - HOOK METHOD—HOOK THE END OF EACH SILT FENCE LENGTH.
- SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EACH PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
- DAMAGED OR DECOMPOSED FENCES, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR CORRECTED.
- SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE HALF THE HEIGHT OF THE FENCE.
- SILT FENCES SHALL BE REMOVED ONCE THE DISTURBED AREA IS PERMANENTLY STABILIZED AND IS NO LONGER SUSCEPTIBLE TO EROSION.



- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FOR INLET PROTECTION TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
- SIDE FLAPS SHALL BE A MAXIMUM OF 2' LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.

GENERAL NOTES:

INLET PROTECTION DEVICES SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1060 AND BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WISDOT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED IF ALLOWED BY ENGINEER.

TYPE A IS TO BE USED PRIOR TO PAVING AND INSTALLATION OF CURB AND GUTTER, AND TYPES B, C, AND D ARE TO BE USED AFTER PAVING IS PLACED.

TYPE A SHALL BE USED AROUND INLETS AND UNPAVED AREAS UNTIL PERMANENT STABILIZATION METHODS HAVE BEEN ESTABLISHED.

TYPE B SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON INLETS WITHOUT A CURB BOX WHEN TYPE D INLET DEVICES CANNOT BE USED.

TYPE C SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON STREET INLETS WITH CURB HEADS.

TYPE D SHALL BE USED IN AREAS WHERE OTHER TYPES OF INLET PROTECTION ARE INCOMPATIBLE WITH ROADWAY AND TRAFFIC CONDITIONS (I.E. POSSIBLE SAFETY HAZARD IF PONDING OCCURS), OR WHERE MORE EFFECTIVE INLET FILTERING IS NEEDED.

TAPER BOTTOM OF BAG TO MAINTAIN 3" OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.

GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG, FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.

INSTALLATION NOTES:

TYPE B & C:
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D:
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SMALLER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3", WHERE NECESSARY THE CONTRACTOR SHALL ONCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

MAINTENANCE:

REMOVE INLET PROTECTION DEVICES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED WITH APPROPRIATE VEGETATION OR IMPERVIOUS SURFACE.

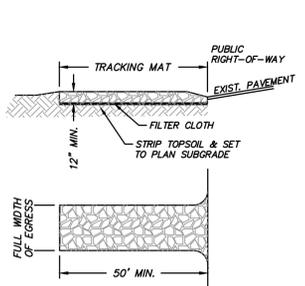
INLET PROTECTION SHALL BE, AT A MINIMUM, INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.

FOR TYPE A, B OR C INLET PROTECTION, SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO 1/2 THE DESIGN DEPTH OF THE DEVICE, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING AS DESIGNED.

FOR TYPE D INLET PROTECTION (INCLUDING D-M AND D-HR), REMOVE SEDIMENT WHEN SEDIMENT ACCUMULATES TO WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLES, OR WHEN STANDING WATER REMAINS WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLES 24 HOURS AFTER A RUNOFF EVENT. HOLES IN THE TYPE FF FABRIC MAY BE REPAIRED BY STITCHING IF LESS THAN 2" IN LENGTH, BUT THE FABRIC SHOULD BE REPLACED IF THE HOLES ARE GREATER THAN 2" IN LENGTH IN THE TYPE FF FABRIC OR IF THERE ARE ANY HOLES IN THE TYPE HR FABRIC. THE FILTER MUST ALSO BE REPLACED IF THE FLAP POCKETS SUSTAIN DAMAGE THAT COMPROMISES FILTER INTEGRITY OR THE ABILITY TO PERFORM MAINTENANCE.

REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLET AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.



- NOTES:**
- TRACKING PAD:**
 - THE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
 - THE AGGREGATE FOR THE TRACKING PAD SHALL BE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE MEETING THE GRADATION OF TABLE 1 OF THE WISCONSIN DNR TECHNICAL STANDARD 1057; WHERE THIS GRADATION IS NOT AVAILABLE, MEET THE GRADATION IN WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) 2018 STANDARD SPECIFICATION, SECTION 312, SELECT CRUSHED MATERIAL.
 - THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. ON SITES WITH A HIGH WATER TABLE, OR WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PRACTICE, STONE TRACKING PADS SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOIL INTO THE STONE.
 - THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. THE TRACKING PAD SHALL BE A MINIMUM OF 50 FEET LONG.
 - SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FLOWS SHALL BE DIVERTED AWAY FROM TRACKING PADS OR CONVEYED UNDER AND AROUND THEM BY USING A VARIETY OF PRACTICES, SUCH AS CULVERTS, WATER BARS, OR OTHER SIMILAR PRACTICES.
 - TIRE WASHING:**

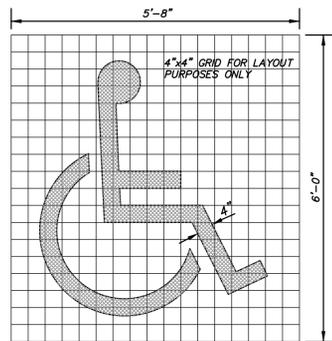
IF CONDITIONS ON THE SITE ARE SUCH THAT THE SEDIMENT IS NOT REMOVED FROM VEHICLE TIRES BY THE TRACKING PAD, THEN TIRES SHALL BE WASHED UTILIZING PRESSURIZED WATER BEFORE ENTERING A PUBLIC ROAD.

 - THE WASHING STATION SHALL BE LOCATED ON-SITE ON AN AREA THAT IS STABILIZED AND DRAINS INTO A SUITABLE SEDIMENT TRAPPING OR SETTLING DEVICE.
 - VEHICLES TRAVELING ACROSS THE TRACKING PAD SHOULD MAINTAIN A SLOW CONSTANT SPEED.
 - THE BEST APPROACH TO PREVENTING OFF-SITE TRACKING IS TO RESTRICT VEHICLES TO STABILIZED AREAS.
 - IT IS ALWAYS PREFERABLE TO PREVENT SEDIMENT FROM BEING DEPOSITED UPON THE ROAD THAN CLEANING THE ROAD LATER. SEDIMENT ON A ROAD CAN CREATE A SAFETY HAZARD AS WELL AS A POLLUTION PROBLEM.
 - ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.

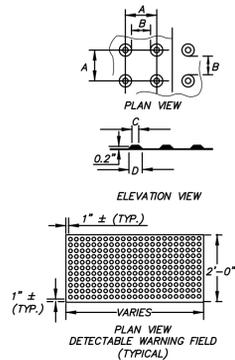
CONSIDERATIONS:

- TIRE WASHING AND TRACKING PAD TO CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1057.
- VEHICLES TRAVELING ACROSS THE TRACKING PAD SHOULD MAINTAIN A SLOW CONSTANT SPEED.
- THE BEST APPROACH TO PREVENTING OFF-SITE TRACKING IS TO RESTRICT VEHICLES TO STABILIZED AREAS.
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DESCRIPTION	16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com
DATE	09/25/2019
CITY COMMENTS	
 CREATIVITY BEYOND ENGINEERING	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Oconomowoc, WI Cedarburg, WI Mount Pleasant, WI Naperville, IL Inver, CA	
DISCOUNT TIRE - WIM 11976 CITY OF RACINE, WI EROSION CONTROL DETAILS	
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PAINTED SYMBOL
FOR ALL ACCESSIBLE AND
VAN ACCESSIBLE SPACES

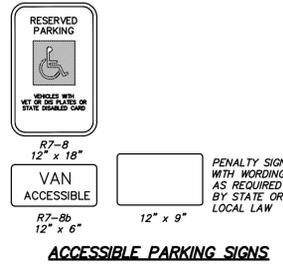


	MIN.	MAX.
A	1.6"	2.4"
B	0.65"	1.5"
C	*	*
D	0.9"	1.4"

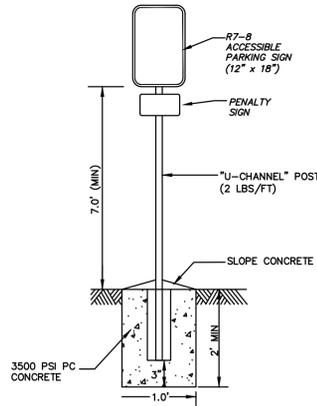
* THE C DIMENSION IS 50% TO 65% OF THE D DIMENSION.

- NOTES:**
1. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
 2. DETECTABLE WARNING FIELDS SHALL BE "NEENAH DETECTABLE WARNING PLATES" 4984-XXX OR EQUIV.
 3. CURB RAMP DETECTABLE WARNING FIELDS TO BE INSTALLED 6 TO 8 INCHES FROM THE FACE OF CURB.

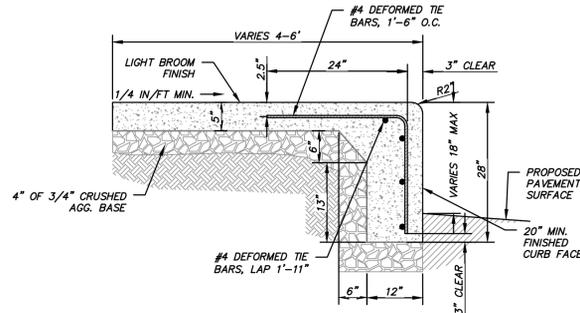
DETECTABLE WARNING FIELD
(TRUNCATED DOMES)



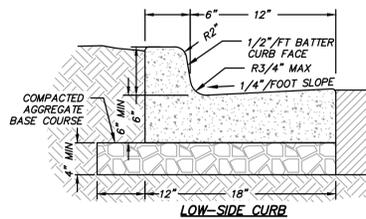
ACCESSIBLE PARKING SIGNS



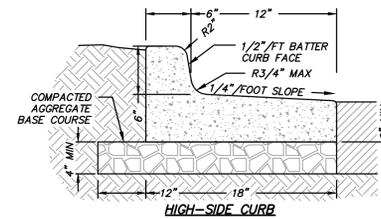
ACCESSIBLE PARKING SIGN AND POST INSTALLATION IN GRASS AREAS



CONCRETE WALK WITH INTEGRAL CURB



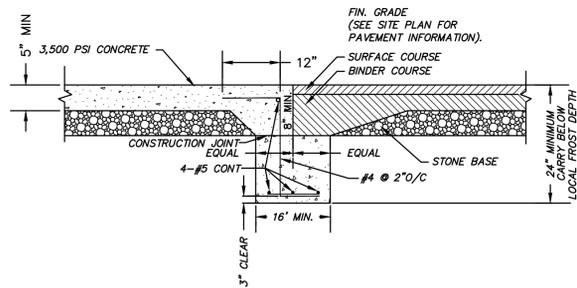
LOW-SIDE CURB



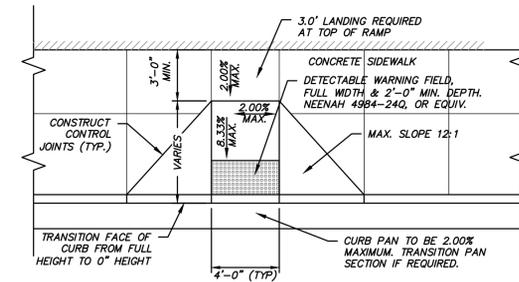
HIGH-SIDE CURB

- NOTES:**
- 3500 PSI CONCRETE SHALL BE USED IN CONSTRUCTION OF THE CURB & GUTTER.
 - THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE SLOPE OF THE GUTTER PAN.
 - FOR DEPRESSED CURB HEAD SLOPE, USE THE SAME SLOPE AS ADJACENT SIDEWALK.
 - THE BOTTOM OF THE CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDE MINIMUM 6" GUTTER THICKNESS MAINTAINED. TRANSVERSE CONTRACTION JOINTS SHALL BE CUT OR SAWED AT MAXIMUM 20 FOOT INTERVALS.
 - 1/2" PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED TRANSVERSELY IN THE CURB ABUTTING EXISTING CURB AND SIDEWALK, WALLS OR BUILDINGS, AND AT INTERVALS NOT TO EXCEED 300 FEET, WITH PREFERRED LOCATIONS BEING AT RADIUS POINTS OR ANGLE POINTS.

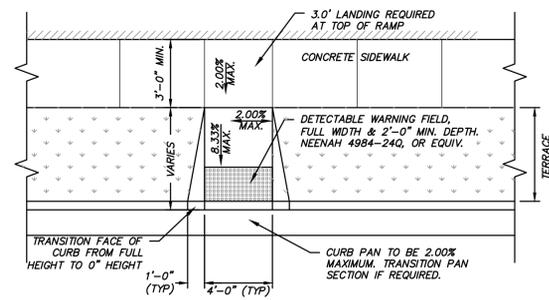
CONCRETE CURB & GUTTER DETAIL



CONCRETE/ASPHALT JOINT DETAIL

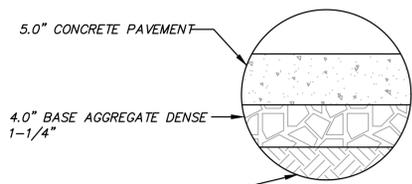


TYPE 3 CURB RAMP

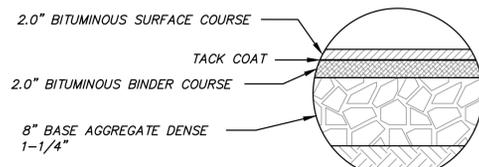


TYPE 2 CURB RAMP

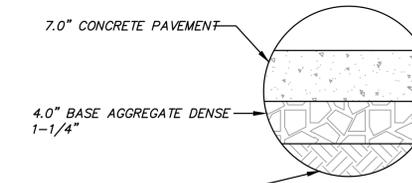
- NOTES:**
1. SURFACE OF CURB RAMP SHALL HAVE A BROOM FINISH OR SIMILAR SLIP RESISTANT SURFACE.



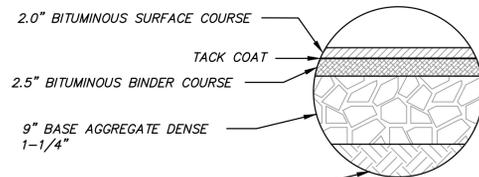
STANDARD CONCRETE SIDEWALK



STANDARD ASPHALT PAVEMENT SECTION



HEAVY DUTY CONCRETE SECTION



HEAVY DUTY ASPHALT PAVEMENT SECTION

- NOTES:**
- TYPICAL SECTIONS PER GEOTECHNICAL REPORT BY GILES ENGINEERING.
 - ASPHALT SECTIONS TO BE IN ACCORDANCE WITH SECTION 2210 AND 2303 OF IOWA DOT STANDARD SPECIFICATIONS.

DESCRIPTION
DATE

09/25/2019 CITY COMMENTS

raSmith
CREATIVITY BEYOND ENGINEERING

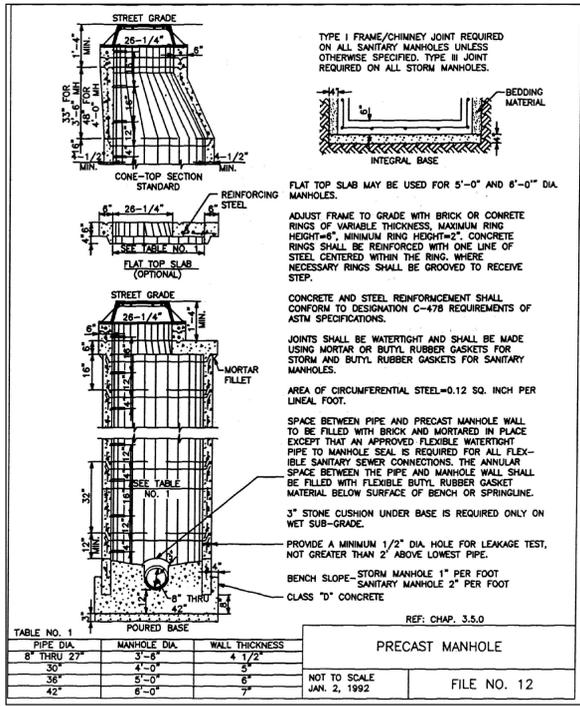
DISCOUNT TIRE - WIM 11976
CITY OF RACINE, WI

SITE DETAILS

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R.A. Smith, Inc.
DATE: 09/05/2019
SCALE: N.T.S.
JOB NO. 3190244
PROJECT MANAGER:
ROBERT J. YERSIN, P.E.
DESIGNED BY: RJY
CHECKED BY: TM

SHEET NUMBER
C501

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.



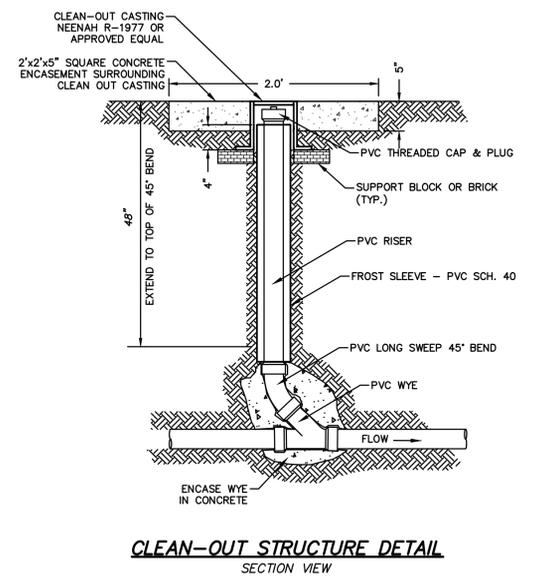
MANHOLE/INLET STRUCTURE DETAIL PER FILE NO. 12, STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN

PRIVATE STORM MANHOLE & CATCH BASIN NOTES:

NOTES:

INLETS (INL)
REFER TO FILE No. 12 (STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, DETAIL ON THIS SHEET), EXCEPT:
A. USE CASTING AS INDICATED BELOW:
1.) INLETS IN CURB - NEENAH R-3067 TYPE C
2.) INLETS IN PAVEMENT - NEENAH R-2556 TYPE A
3.) INLETS IN GRASS AREAS - NEENAH R-2556 TYPE A
B. USE 48" MINIMUM DIAMETER UNLESS INDICATED OTHERWISE ON PLAN
C. CONTRACTOR RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.

MANHOLE (MH)
REFER TO FILE No. 12 (STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN), EXCEPT:
A. USE CASTING AS INDICATED BELOW:
ALL MANHOLES - NEENAH R-1661
B. USE 48" MINIMUM DIAMETER UNLESS INDICATED OTHERWISE ON PLAN
C. CONTRACTOR RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.



DATE	DESCRIPTION
09/25/2019	CITY COMMENTS

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

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CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
Mount Pleasant, WI | Naperville, IL | Irvine, CA

DISCOUNT TIRE - WIM 11976
CITY OF RACINE, WI

UTILITY DETAILS

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SHEET NUMBER
C502

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SPECIFICATIONS

A. GENERAL

- THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY- EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN THEIR PROPOSAL. THE CONTRACTOR SHALL BASE THEIR BID ON THEIR OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT THEIR WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF THEIR INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
- CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
- ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.
- SUBMITTALS:
 - SHOP DRAWINGS AND/OR MANUFACTURER'S PRODUCT DATA SUBMITTALS ARE REQUIRED ONLY IF THE PRODUCT OR METHOD OF CONSTRUCTION
 - IS DIFFERENT FROM THAT SPECIFIED OR
 - IS PART OF THE WORK THAT WILL BE DEDICATED AS A PUBLIC UTILITY OR ROADWAY AT THE END OF THE PROJECT OR
 - IF REQUIRED BY THE MUNICIPAL ENGINEER.
 - FOR UTILITY OR ROAD WORK THAT WILL BE DEDICATED TO A MUNICIPALITY, CONTRACTOR MUST MAKE SUBMITTALS TO THE MUNICIPALITY AS WELL AS ENGINEER.
 - ALL DOCUMENTS SUBMITTED FOR REVIEW SHALL HAVE THE SPECIFIC MATERIAL, PART, SIZE, ETC. RELATED TO THE DESIGN HIGHLIGHTED IN SOME FASHION. EXAMPLE: A FITTING CUT SHEET HAS MULTIPLE PRESSURE RATING FOR DIFFERENT SIZE BENDS. HIGHLIGHT THE PRESSURE CLASS & SIZE TO BE USED ON THE PROJECT. ALL SUBMITTALS NOT PROPERLY IDENTIFYING THE SPECIFIC MATERIAL BEING USED WILL BE REJECTED.
 - ALL DOCUMENTS SUBMITTED FOR REVIEW MUST INDICATE WHAT PART OF THE DESIGN THEY RELATE TO.
 - CONTRACTOR SHALL ALLOW A MINIMUM OF 10 WORKING DAYS FOR SUBMITTAL REVIEW.
 - SUBSTITUTION REQUESTS
 - IF A SUBSTITUTION IS REQUESTED, CONTRACTOR SHALL SUBMIT A SHOP DRAWING AND/OR MANUFACTURER'S DATA AND AN EXPLANATION AS TO EXACTLY HOW THE PROPOSED SUBSTITUTION MEETS THE PROPOSED DESIGN TO THE OWNER'S REPRESENTATIVE OR ENGINEER FOR REVIEW AND APPROVAL. PRODUCT SPECIFICATION SHEETS WITHOUT EXPLANATION WILL NOT BE ACCEPTED.
 - THE CONTRACTOR SHALL ALSO INDICATE WITH THE SUBSTITUTION REQUEST THE AMOUNT THAT WILL BE CREDITED FROM THE CONTRACT AMOUNT TO THE OWNER IF THE SUBSTITUTION IS APPROVED.
 - THE CONTRACTOR SHALL NOT PROCEED UNTIL THE OWNER'S APPROVAL IS GIVEN.

B. EROSION CONTROL

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WPDES DISCHARGE PERMITS (IF APPLICABLE), AND THE (LOCAL MUNICIPALITY) EROSION CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
- ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD.
- ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH THE DNR WPDES GENERAL PERMIT.
- ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
- ALL DISTURBED GROUND LEFT INACTIVE FOR FOURTEEN DAYS OR MORE SHALL BE STABILIZED WITH TOPSOIL, SEED, AND MULCH IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS 1059 AND 1058.
- TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.2.1.5.1.4 OF THE WSDOT STANDARD SPECIFICATIONS. USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
- DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
- SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS TO MAINTAIN A THREE FOOT DEPTH OF TREATMENT, MEASURED BELOW THE NORMAL WATER ELEVATION. SEDIMENT WILL BE REMOVED FROM THE DIVERSION DITCHES WHEN IT REACHES HALF THE HEIGHT OF THE DITCH. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BALE. THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE. CONTRACTOR RESPONSIBLE FOR REVISING THE PERMIT, IF NECESSARY.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
- ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.
- DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
- FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE APPROVED LANDSCAPE PLAN TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER.

C. GRADING

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE GEOTECHNICAL REPORT AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
- SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
- GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AN ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
- NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
- ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- TOPSOIL IN PARKING ISLANDS: ALL PARKING LOT ISLANDS TO BE BACKFILLED WITH TOPSOIL TO A MINIMUM DEPTH OF 18" BY GRADING CONTRACTOR TO INSURE LONG TERM PLANT HEALTH. CROWN ALL PLANTING ISLANDS A MINIMUM OF 6" TO PROVIDE PROPER DRAINAGE, UNLESS OTHERWISE SPECIFIED.

D. PAVING

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
- AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE (*-INCH) DENSE GRADED BASE IN ACCORDANCE WITH SUBSECTION 305.2.2 OF THE STANDARD SPECIFICATIONS.
- HOT MIX ASPHALT PAVEMENT (HMA) SHALL BE CLASSIFIED AS (**) IN ACCORDANCE WITH SECTION 460 AND TABLE 460-2 OF THE STANDARD SPECIFICATIONS.
- ASPHALTIC MATERIALS SHALL BE PERFORMANCE GRADED (PG) BINDERS IN ACCORDANCE WITH SECTION 455 OF THE STANDARD SPECIFICATIONS. UPPER LAYERS SHALL BE (***), AND LOWER LAYERS SHALL BE (****).
- AGGREGATES USED IN THE HMA SHALL BE IN ACCORDANCE WITH SUBSECTION 460.2.2.3 OF THE STANDARD SPECIFICATIONS. THE NOMINAL AGGREGATE SIZE FOR THE UPPER LAYER PAVEMENT SHALL BE (****), AND THE LOWER LAYER PAVEMENT SHALL BE (****).
- TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.050-0.070 GAL/SY.
- CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP-FORMED PROCESS) AIR ENTRAINED IN ACCORDANCE WITH SECTION 501 FOR THE STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS: SECTION 415 FOR CONCRETE PAVEMENT, SECTION 601 FOR CONCRETE CURB AND GUTTER, AND SECTION 602 FOR CONCRETE SIDEWALKS.
- ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
- PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS. (COLOR SHALL BE AS INDICATED ON THE PLANS.) THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:
 PARKING STALLS: WHITE
 PEDESTRIAN CROSSWALKS: WHITE
 LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS: YELLOW
 LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS: WHITE
 ADA SYMBOLS: BLUE OR PER LOCAL CODE
 FIRE LANES: PER LOCAL CODE
 EXTERIOR SIDEWALK CURBED, LIGHTPOLE BASES, AND GUARD POSTS: YELLOW

E. PRIVATE UTILITIES

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO WISCONSIN ADMINISTRATIVE CODE, SECTION SPS 382-384, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
- ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS.
- PROPOSED SANITARY SEWER, WATER MAIN, AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. STORM SEWER CONNECTING TO EXTERIOR DOWN SPOUTS SHALL BE PER DETAILS ON THE ARCHITECTURAL PLANS. THE EXACT LOCATION OF ALL DOWN SPOUTS SHALL BE PER THE ARCHITECTURAL PLANS.
- MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS:
 STORM SEWER PIPE 30" OR LARGER SHALL BE REINFORCED CONCRETE, ASTM C-76, CLASS III OR GREATER, WITH ELASTOMERIC SEALS CONFORMING TO ASTM C-443.
 STORM SEWER PIPE 24" OR LESS SHALL BE EITHER:
 A) HIGH DENSITY POLYETHYLENE (HDPE) WITH A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS, SUCH AS ADS N-12 WT. HDPE PIPE SHALL CONFORM TO ASTM F2648 AND F2306. JOINTS SHALL BE WATER TIGHT CONFORMING TO ASTM D3212 WITH ELASTOMERIC SEALS (GASKETS) CONFORMING TO ASTM F477.
 B) POLYVINYL CHLORIDE (PVC) PIPE, ASTM D-3034, SDR 35, WITH ELASTOMERIC PUSH-ON JOINTS CONFORMING TO ASTM D-3212.
 C) REINFORCED CONCRETE, ASTM C-76, CLASS III OR GREATER, WITH ELASTOMERIC SEALS CONFORMING TO ASTM C-443.
 TRENCH SECTION SHALL BE CLASS "C" FOR CONCRETE AND CLASS "B" FOR ALL OTHER MATERIALS.
 INLETS SHALL BE SOLID CONCRETE BLOCK OR PRE CAST REINFORCED CONCRETE, ASTM C-478.
- MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS:
 SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR-35 WITH RUBBER GASKETED JOINTS, CONFORMING TO ASTM D-3212.
 TRENCH SECTION SHALL BE CLASS "B" BEDDING. CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. PREFABRICATED WYE CONNECTIONS ARE REQUIRED FOR SANITARY LATERALS
- MATERIALS FOR WATER SERVICE SHALL BE AS FOLLOWS:
 WATER SERVICE SHALL BE PVC, SDR-18, CLASS 235, AWWA C-900, WITH ELASTOMERIC JOINTS (ASTM D-3139), WITH A VALVE AT THE SUPPLY MAIN.
 WATER SERVICE SHALL BE DUCTILE IRON (DI), ASTM A-377, WITH ELASTOMERIC JOINTS (AWWA C-111), WITH A VALVE AT THE SUPPLY MAIN.
 WATER SERVICE SHALL BE COPPER, TYPE "K", WITH A VALVE AT THE SUPPLY MAIN.
 ALL FITTINGS SHALL BE MECHANICAL JOINT, DUCTILE IRON CONFORMING TO AWWA C-111.
 HYDRANTS SHALL BE IN ACCORDANCE WITH THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
 GATE VALVES SHALL BE RESILIENT WEDGE TYPE, AWWA C-509, AND SHALL BE INSTALLED WITH AN ADJUSTABLE VALVE BOX AND COVER MARKED "WATER".
 TRENCH SECTION SHALL CONFORM TO SECTION 4.3.C, FILE NO. 38 OF THE STANDARD SPECIFICATIONS. SAND OR STONE CHIP BEDDING MATERIAL IS REQUIRED.
- EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
- UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.
- TRACER WIRE SHALL BE INSTALLED ON ALL BURIED NON-METALLIC SANITARY SEWERS, PRIVATE SANITARY INTERCEPTOR MAIN SEWERS, STORM BUILDING SEWERS, AND PRIVATE STORM INTERCEPTOR MAIN SEWERS THAT DISCHARGE TO MUNICIPAL MAINS. TRACER WIRE SHALL ALSO BE INSTALLED ON ALL BURIED NON-METALLIC WATER SERVICES AND PRIVATE WATER MAINS CONNECTED TO MUNICIPAL SUPPLY SYSTEMS. TRACER WIRE SHALL BE IN ACCORDANCE WITH COMM 82.30(1)(h)(1). TRACER WIRE SHALL BE A MINIMUM OF 18-GAUGE, INSULATED, SINGLE-CONDUCTOR COPPER WIRE OR EQUIVALENT. TRACER WIRE COLOR SHALL BE BLUE FOR POTABLE WATER, GREEN FOR SANITARY SEWER, AND BROWN FOR STORM SEWER.

DESCRIPTION					
DATE	09/25/2019				
CITY COMMENTS					

16745 W. Bluemound Road
 Brookfield, WI 53005-5938
 (262) 781-1000
 rasmith.com



Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
 Mount Pleasant, WI | Naperville, IL | Inver, CA

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 CITY OF RACINE, WI

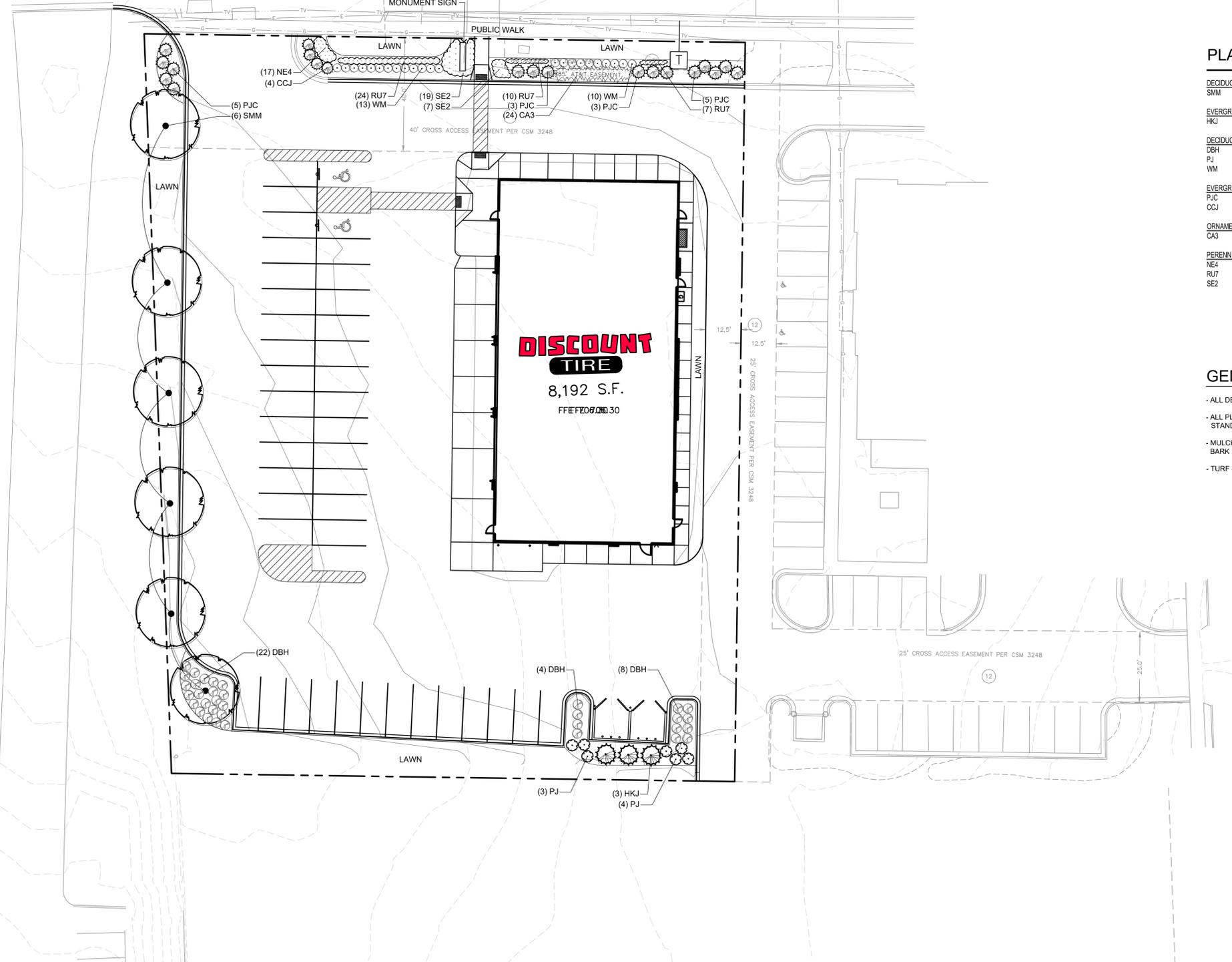
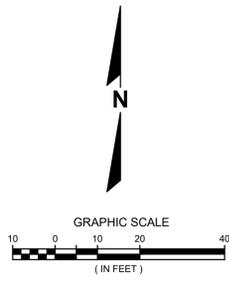
SPECIFICATIONS

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WASHINGTON AVENUE

S.T.H. "20"



PLANT SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SMM	6	State Street Miyabei Maple	Acer miyabei 'Morton' TM	3" CAL	B&B	Full, matching heads
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
HKJ	3	Hooks #6 Juniper	Juniperus chinensis 'Hooks #6'	6' HT	B&B	Semi-sheared, fully branched to ground
DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
DBH	34	Dwarf Bush Honeysuckle	Diervilla lonicera	15" HT	CONT.	
PJ	7	Amber Jubilee Ninebark	Physocarpus opulifolius 'Jefam'	12" HT	CONT.	
WM	23	Magical Robin Weigela	Weigela florida 'Bokrabob'	15" HT	CONT.	
EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PJC	16	Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	18"SPD	CONT.	
CCJ	4	Calgary Carpet Juniper	Juniperus sabina 'Calgary Carpet' TM	18"SPD	CONT.	
ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CA3	24	Overdam Feather Reed Grass	Calamagrostis x acutiflora 'Overdam'	1 GAL	POT	24" Spacing
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
NE4	17	Kit Kat Catmint	Nepeta x fassenii 'Kit Kat'	4 1/2"	POT	18" Spacing
RU7	41	Little Goldstar Black-eyed Susan	Rudbeckia fulgida var. sullivanti 'Little Goldstar'	4 1/2"	POT	18" Spacing
SE2	26	Autumn Fire Sedum	Sedum spectabile 'Autumn Fire'	4 1/2"	POT	24" Spacing

GENERAL LANDSCAPE NOTES

- ALL DETAILS AND SPECIFICATIONS TO BE DETERMINED ON FINAL LANDSCAPE PLANS.
- ALL PLANTINGS SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - ANSI Z60.1 (LATEST VERSION)
- MULCH: ALL PLANTING BEDS TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH.
- TURF SEED: DURABLE, PREMIUM COMMERCIAL BLEND.

DESCRIPTION
09/25/2019 CITY COMMENTS

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
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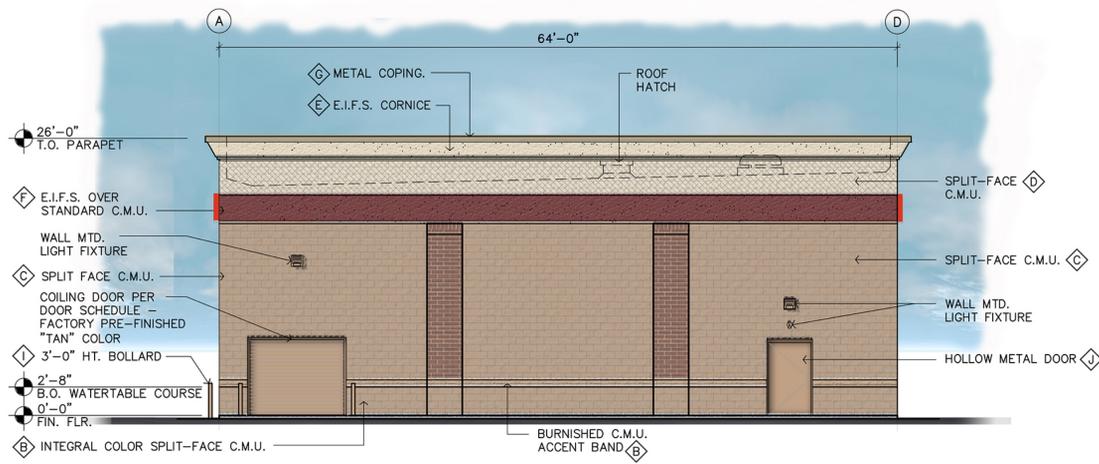
DISCOUNT TIRE - WIM 11976
CITY OF RACINE, WI
LANDSCAPE PLAN



Know what's below.
Call before you dig.

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DATE: 09/05/2019
SCALE: 1" = 20'
JOB NO. 3190244
PROJECT MANAGER: ROBERT J. YERSIN, P.E.
DESIGNED BY: ALS
CHECKED BY: LJH
SHEET NUMBER
L100



SOUTH ELEVATION

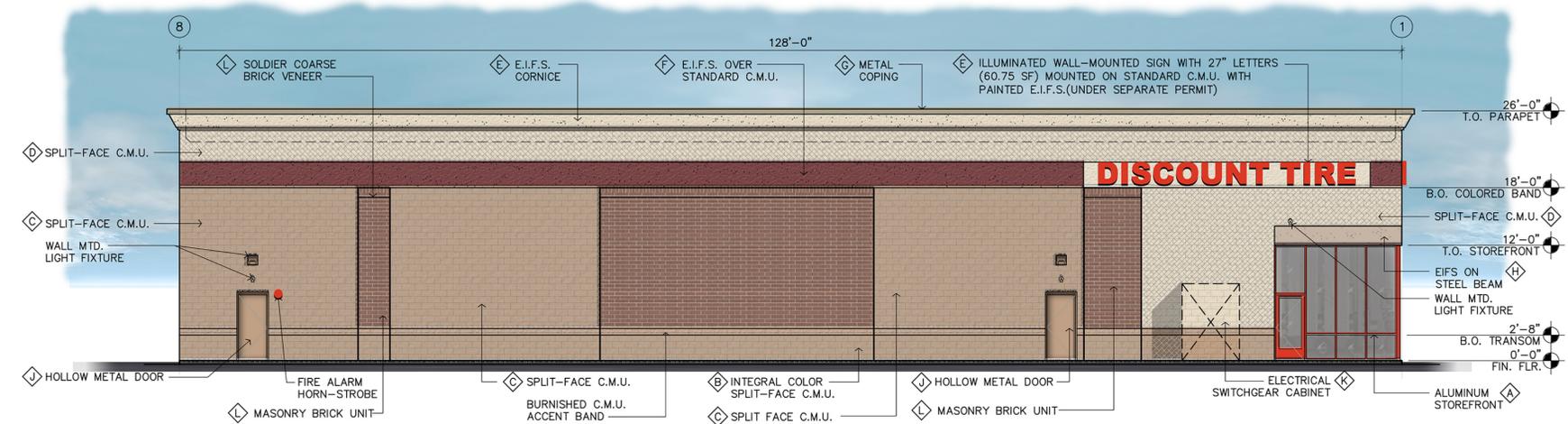
SCALE: 1/8" = 1'-0"



NORTH ELEVATION (WASHINGTON AVE)

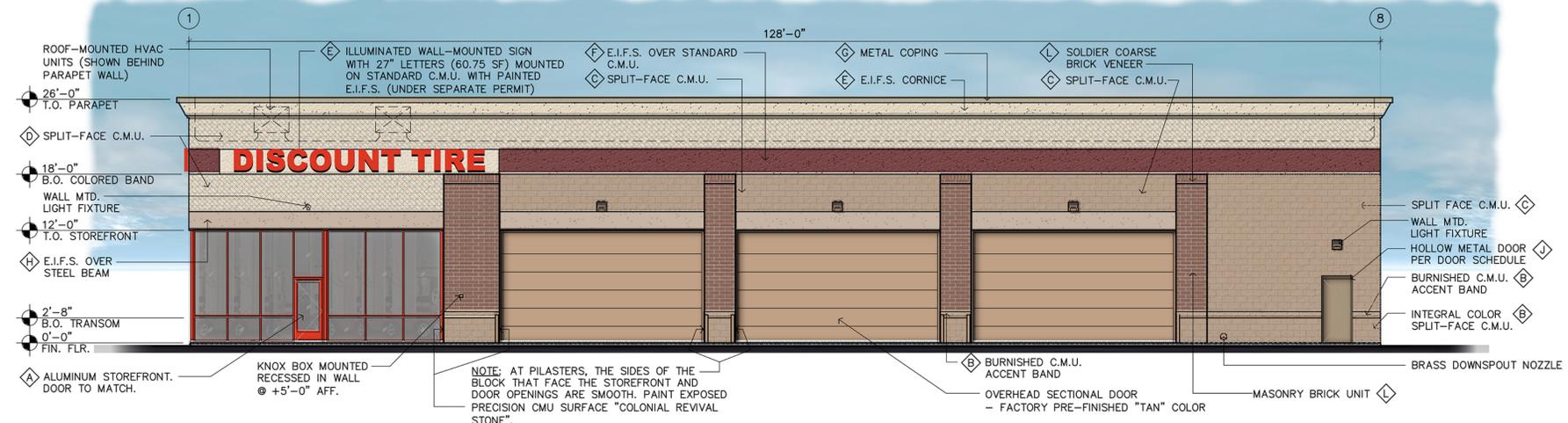
SCALE: 1/8" = 1'-0"

FINISH LEGEND	
Ⓐ	MANUFACTURER'S STANDARD COLOR TO MATCH "BANNER RED"
Ⓑ	INTEGRAL COLOR C.M.U. (SPLIT-FACE OR BURNISHED AS NOTED) COLOR TO MATCH "COLONIAL REVIVAL STONE"
Ⓒ	GRAY SPLIT-FACE CMU - PAINTED SHERWIN WILLIAMS SW#2827 "COLONIAL REVIVAL STONE"
Ⓓ	GRAY SPLIT-FACE CMU - PAINT SHERWIN WILLIAMS SW#6119 "ANTIQUE WHITE"
Ⓔ	E.I.F.S. - PAINTED TO MATCH SHERWIN WILLIAMS SW#6119 "ANTIQUE WHITE"
Ⓕ	E.I.F.S. BAND PAINT SHERWIN WILLIAMS SW#7585 "SUNDRIED TOMATO"
Ⓖ	METAL COPING - FACTORY PAINTED / INTEGRAL COLOR TO MATCH BERRIDGE "SIERRA TAN" COLOR
Ⓗ	STEEL/ E.I.F.S. - PAINTED TO MATCH SHERWIN WILLIAMS SW#7714 "COLONIAL REVIVAL STONE"
Ⓙ	STEEL BOLLARDS - PAINTED TO MATCH "COLONIAL REVIVAL STONE"
Ⓚ	HOLLOW METAL DOORS - PAINTED TO MATCH "COLONIAL REVIVAL STONE"
Ⓛ	ELECTRICAL SWITCHGEAR CABINET - PAINTED TO MATCH "COLONIAL REVIVAL STONE"
Ⓜ	MASONRY BRICK UNIT (STRUCTURAL/FACE BRICK) -BY QUIKBRICK 4"HIGH UNITS "RICHFIELD" WITH STD GRAY GROUT COLOR



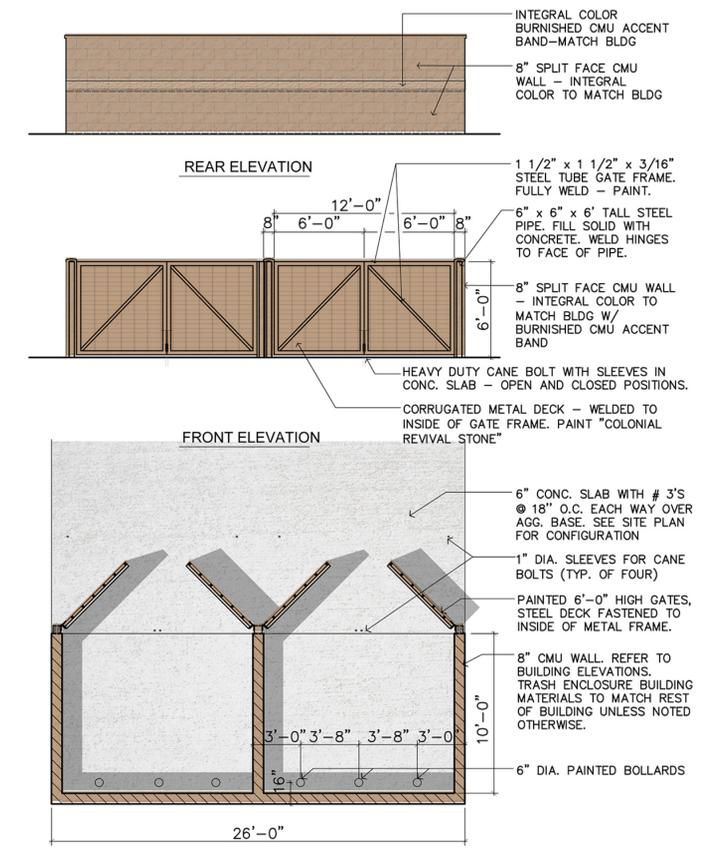
EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



TRASH ENCLOSURE PLAN / ELEVATIONS

3/16" = 1'-0"

REV:
DATE: 08.27.19
JOB # A.1907046

ALT - 1L



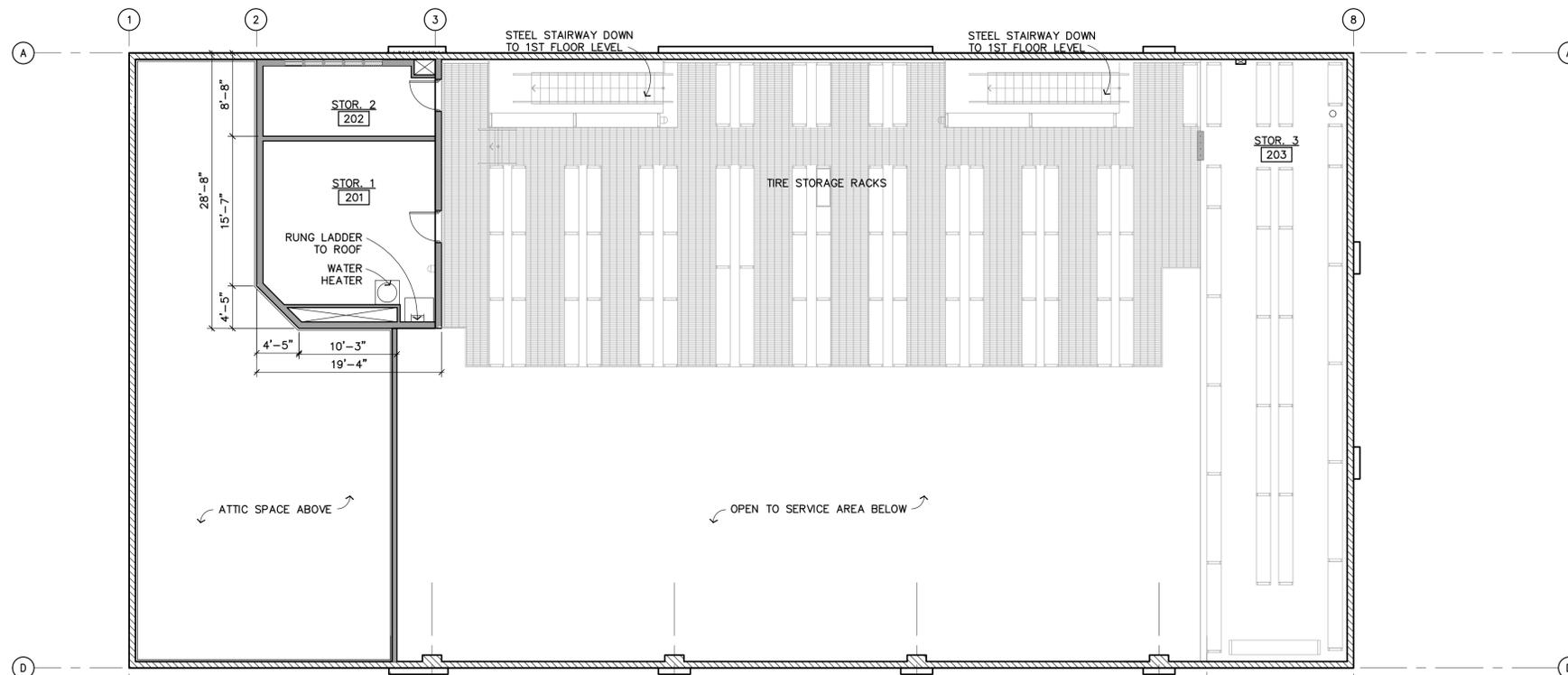
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CONCEPTUAL ELEVATIONS
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RACINE, WI. 53406



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Sheet No.
A.2

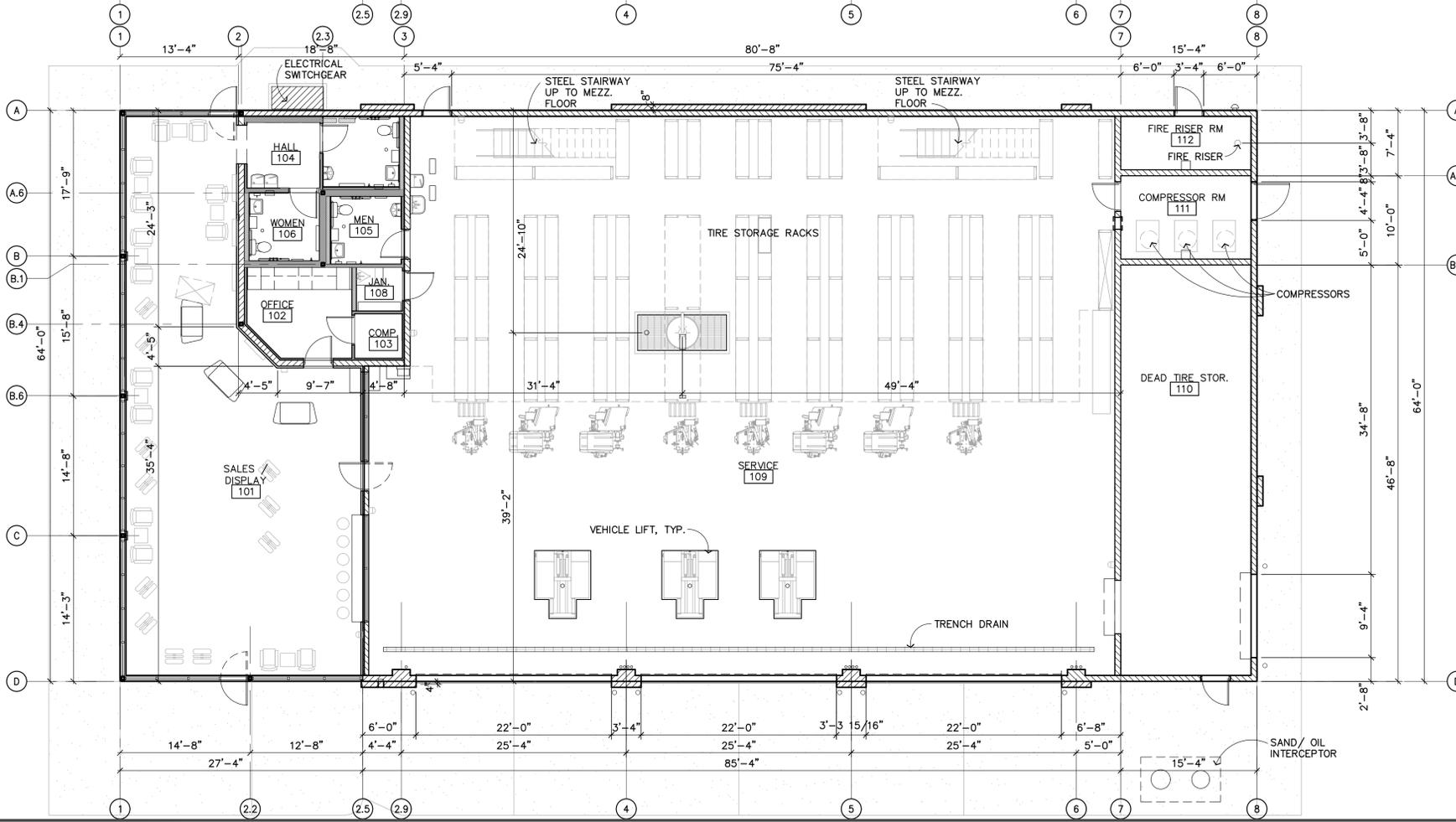


Building Area Breakdown	
GROUND FLOOR AREA	
'M' OCCUPANCY:	
SALES / DISPLAY	1,295.46 S.F.
OFFICE	113.33 S.F.
COMPUTER	26.88 S.F.
HALL	62.68 S.F.
MEN	65.86 S.F.
WOMEN	59.12 S.F.
EMPLOYEE	59.12 S.F.
JANITOR ROOM:	25.40 S.F.
'S-1' OCCUPANCY:	
SERVICE	5128.06 S.F.
RECYCLE TIRE	674.72 S.F.
COMPRESSOR ROOM	136.89 S.F.
FIRE RISER ROOM	88.00 S.F.
(NET AREA/USABLE) 7,735.54 S.F.	
TOTAL GROUND FLOOR AREA: 8,192 S.F.(BLDG. FOOTPRINT)	
MEZZANINE LEVEL AREA:	
'S-1' OCCUPANCY:	
STORAGE # 1:	320.14 S.F.
STORAGE # 2:	131.32 S.F.
STORAGE # 3:	908.86 S.F.
WALKING GRATE:	1372.83 S.F.
(NET AREA/USABLE) 2,733.17 S.F.	



CONCEPTUAL MEZZ. FLOOR PLAN

SCALE: 1/8" = 1'-0"



CONCEPTUAL 1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"

ALT - 1L

REV:
DATE: 08.27.19
JOB # A.1907046



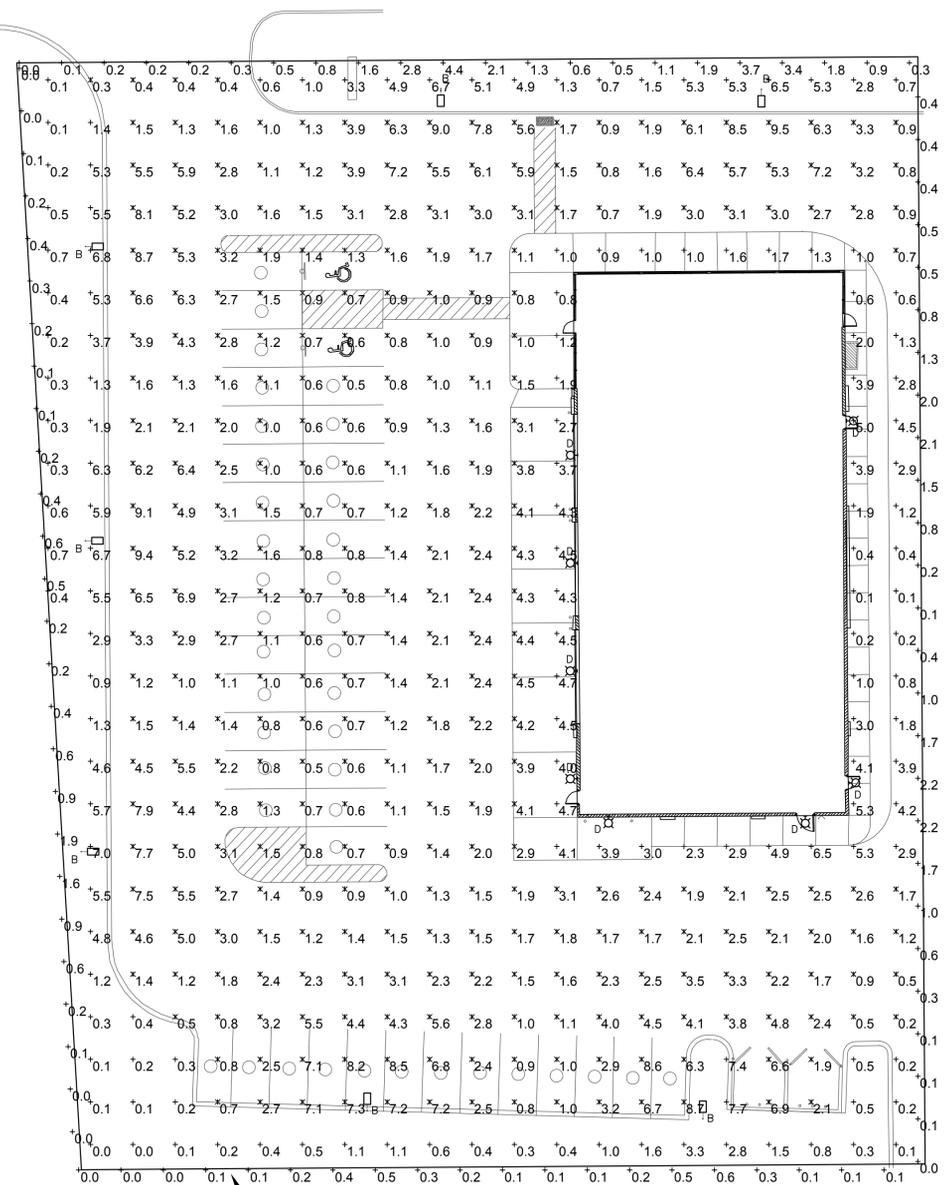
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 P (714) 385-1835 F(714) 385-1834
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Sheet No.
A.1



01 SITE PHOTOMETRIC PLAN
SCALE: 1:20

Submitted by Enterprise Lighting, LTD. Job Name: OSQ Series OSQ™ LED Area Flood Luminaire - Medium. Catalog Number: OSQ-A-NM-4ME-K-57K-UL-SV-OSQ-BLSMF-PS4S12C1-SV. Type: B.

Product Description: The OSQ™ Area Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rigid and constructed with an integral, weatherlight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. The 'B' fixed power design is a suitable upgrade for HID applications up to 200 Watt, and the 'F' fixed power design is a suitable upgrade for HID applications up to 400 Watt.

Performance Summary: Max Output: 57,000 lumens (5000K CCT, 150° beam). Initial Delivered Lumens: Up to 17,231. Efficacy: Up to 130 lm/W. CRI: Minimum 90 (CRI 90/90), 95 (CRI 95/95), 98 (CRI 98/98) (optional). CCT: 3000K (L-3000K), 4000K (L-4000K), 5000K (L-5000K). Limited Warranty: 5 years on luminaire/10 years on Colorfast DataGuard™ finish.

Accessories: Pole Mount, Wall Mount, Flood Mount, Flood Mount with Flood Mount Adapter, Flood Mount with Flood Mount Adapter and Flood Mount Adapter.

Ordering Information: Example: OSQ-A-NM-4ME-K-57K-UL-SV-OSQ-BLSMF-PS4S12C1-SV. Mount Summary must be entered separately.

Product	Version	Mounting	Beam	Color	Power	Options
OSQ-A	1	AF	150°	5000K	57W	PS4S12C1-SV

Submitted On: Oct 11, 2017

McGraw-Edison

DESCRIPTION: The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightSquare technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal fixture and security luminaire for zones surrounding schools, office complexes, apartments and recreational facilities. UL/ULC listed for use locations.

CONSTRUCTION: Heavy-duty, die-cast aluminum housing and removable, hinged door frame for precise tolerance control and repairability. Hinged door inset for clean mating with housing surface and secured via two captive fasteners. Optional tamper-resistant Top™. Fixed customers offer vandal resistant access to the electrical chamber.

ELECTRICAL: LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficiency, and protection. Standard drivers feature electronic universal voltage 120V/277V/50/60Hz, 347V/60Hz or 480V/60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and are suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 100V/10A common and differential mode surge protection. LightSquare™ fixtures on IP66 enclosure rating and maintain greater than 90% lumen maintenance in 60,000 hours per IESNA TM-21. Emergency approval requirements with the ability to meet customized application requirements. Offered Standard in 4000K (L- 275K) CCT and minimums 10 CRI, Colorcast 3000K, 5000K and 5700K CCT.

FINISH: Cast components finished in a five-stage super TPO polyester powder coat paint. 25 mil nominal thickness for superior protection against salt and water. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Color brochure for the complete selection.

WARRANTY: Five-year warranty.

1 LightSquare Solid State LED WALL MOUNT LUMINAIRE

CERTIFICATION DATA: IESNA Listed, ENEC Listed, PFM/UL-Recognized, Energy Star Qualified, Qualifier® (E03001)

ENERGY DATA: Energy Star Qualified, 120V/10A Distribution, 120V/10A/10A, 3000K, 5000K/5000K, 50°C Ambient Temperature Rating, 50°C Ambient Temperature Rating.

SHIPPING DATA: Approximate Net Weight: 11 lbs. Ship Weight: 11 lbs. Ship Weight: 11 lbs.

EXTERIOR LIGHT FIXTURE SCHEDULE

FIXT. TAG	DESCRIPTION	MANUFACT.	CATALOG NUMBER	LAMP	BALLAST	VOLTAGE	WATTS	MOUNTING	LUMEN OUTPUT
D	LED WALL PACK	LUMARK	IST AF 1000 LED E1 T4FT BZ 7030	55.1W LED	INCLUDED	120	55.1	SURFACE MOUNTED ON WALL	5,720
B	LED POLE LIGHT	ENTERPRISE	OSQ A NM 4ME A 75K-UL-CS w/OSQ-BLSMF CL-SSP-4011-25-D6-PD-ABL	130 W LED	INCLUDED	208	282	POLE MOUNTED @15'-0"	57,000

CALCULATION SUMMARY

CALCULATION ZONE	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN
PARKING LOT	2.3	10	0.5	20:0.1
PROPERTY LINE	0.4	2.2	0	N/A

ALL LEVELS ARE IN FOOTCANDLES

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Dialectic

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Dialectic Inc.
310 W 20th Street, Suite 200
Kansas City, MO 64108
Wisconsin Certificate of Authorization Number 2443-011

T 816-997-9601
F 816-997-9602
DialecticEng.com
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NO.	REVISION	DATE	CONSULTANT

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RACINE, WI 53406

STORE NUMBER: WIM 11976
PROJECT MANAGER: CONNER DOUGLASS
PREPARED BY: DIALECTIC, INC. PH: (816) 997-9601 FAX: (816) 997-9602
DRAWN BY: AAI

SHEET TITLE: SITE PHOTOMETRIC PLAN

DATE:

SHEET NUMBER: ES1.0