



Application for Conditional Use Permit

Applicant Name: **Dominion 12, LLC**
Address: **2025 N Summit Ave #200** City: **Milwaukee**
State: **WI** Zip: **53202**
Telephone: **414.264.5901** Cell Phone: **414.788.9131**
Email: **cadams@dominionproperties.com**

Agent Name: **N/A**
Address: [Redacted] City: [Redacted]
State: [Redacted] Zip: [Redacted]
Telephone: [Redacted] Cell Phone: [Redacted]
Email: [Redacted]

Property Address (Es): **401 Wisconsin Avenue**
Current Zoning: **B4**
Current/Most Recent Property Use: **Commercial**
Proposed Use: **Parking Lot**



The application will be evaluated using the standards of Sec. 114-154 of the Municipal Code (below). Please use the space to justify and explain how your proposal addresses these conditions; use an additional sheet if necessary.

- (1) The establishment, maintenance, or operation of the conditional use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare;

Please see attached

- (2) The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

Please see attached

- (3) The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;

Please see attached

- (4) Adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided;

Please see attached

- (5) Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;

Please see attached

- (6) The proposed conditional use is not contrary to the objectives of the current land use plan for the city; and

Please see attached

- (7) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the plan commission.

Please see attached





If the required supplemental materials, which constitute a completed application, are not submitted, the application will not be processed.

Required Submittal Format

1. An electronic submission via email/USB drive/CD/Download link; and
2. One (1) paper copy, no larger than 11” x 17” size.

Required Submittal Item	Applicant Submitted	City Received
1. Conditional Use Review Application	<input type="checkbox"/>	
2. Written description of project, including: <ol style="list-style-type: none"> a. Hours of operation b. Anticipated delivery schedule c. Maintenance plan d. General use of the building and lot 	<input checked="" type="checkbox"/>	
3. Site Plan (drawn to scale), including: <ol style="list-style-type: none"> a. Fully dimensioned property boundary b. All buildings (existing and proposed) c. Setbacks from property lines d. Identification as to whether all elements are “Existing” or “Proposed” e. Dimensioned parking spaces and drive aisle layout f. Trash enclosure location and materials g. Loading spaces h. Fire hydrant locations i. Location of signage, with setbacks 	<input checked="" type="checkbox"/>	
4. Zoning Analysis Table <ol style="list-style-type: none"> a. Land area (in acres and square feet) b. Building area (in square feet) c. Setbacks (required yards in feet) d. Floor Area Ratio (building area divided by lot area) e. Lot Coverage (building footprint divided by lot area) f. Height of all buildings and structures g. Percentage of greenspace (landscaped areas divided by lot area) h. Parking spaces 	<input checked="" type="checkbox"/>	
5. Landscape Plan <ol style="list-style-type: none"> a. Bufferyards b. Parking Areas c. Screening and fencing locations d. Plant lists including the following: Latin and Common Names, Number of each planting material, and Size at planting. 	<input checked="" type="checkbox"/>	





Required Submittal Item	Applicant Submitted	City Received
6. Lighting Plan a. Location of light fixtures b. A cut sheet of light fixtures with indication of cut-offs or shielding c. Illumination diagram indicating intensity of lighting on the property.	<input checked="" type="checkbox"/>	
7. Floor Plan a. Preliminary floor plan layout of all buildings/structures b. Labels for the type of use of the area c. Labels for square footage of the area	<input checked="" type="checkbox"/>	
8. Engineering Plan a. Stormwater Plan (Drainage pattern, flow, detention) b. Existing and proposed roadway and access configurations c. Cross access	<input checked="" type="checkbox"/>	
9. Signage Plan a. dimensioned color elevations of signage b. A diagram showing the location of the proposed signage	<input checked="" type="checkbox"/>	
10. Building/site elevations (if new building or exterior changes planned) a. Building elevations showing all four sides of the buildings in color b. Elevation of trash enclosure area	<input checked="" type="checkbox"/>	
11. Building Material Samples (if making exterior changes)	<input checked="" type="checkbox"/>	
12. Review Fee	<input checked="" type="checkbox"/>	

Acknowledgement and authorization signatures

A conditional use is not like a building permit; applying does not mean it will be approved.

The approval may contain conditions related to the improvement of the site which must be met prior to the issuance of a building occupancy permit. Conditions related to the operational aspect(s) of the business must be complied with at all times. That, in the event site improvement work required by ordinance cannot be completed prior to desired occupancy, a financial assurance, at 100% of the improvement estimate, guaranteeing completion of the required improvements must be placed on file with the City of Racine. Estimates and Assurance documents are subject to the review and final approval by the City. Improvements may include but are not limited to landscaping, fencing, lighting, pavement surfacing and sealing, dumpster enclosures, and exterior building improvements;

The signature(s) hereby certify that the statements made by myself and constituting part of this application are true and correct. I am fully aware that any misrepresentation of any information on this application may be grounds for denial of this application.

Owner Signature (acknowledgement and authorization):

Date: 4/23/25

Applicant Signature (acknowledgement):

Date: 4/23/25



(1) The establishment, maintenance, or operation of the conditional use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare:

The establishment of the conditional use, a parking lot to serve Hotel Verdant and its affiliated outlets, will not be detrimental or endanger the public health, safety, morals, comfort, or general welfare. The proposed improvements including, but not limited to, upgraded site lighting, removal of a dilapidated building, and securing of the site, will increase the safety, comfort, and general welfare of those visiting the area.

(2) The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood:

The conditional use, a parking lot to serve Hotel Verdant and its affiliated outlets, will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purpose already permitted, nor substantially diminish and impair property values within the neighborhood. The proposed improvements including, but not limited to, upgraded site lighting, removal of a dilapidated building, and securing of the site, should increase the use and enjoyment of other property in the immediate vicinity.

(3) The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district:

The conditional use, a parking lot to serve Hotel Verdant and its affiliated outlets, will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. The

(4) Adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided:

As illustrated on the attached plans, adequate utilities, access roads, drainage, and necessary facilities will be provided for the proposed conditional use.

(5) Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets:

As illustrated on the attached plans, adequate ingress and egress points have been designed to minimize traffic congestion on the public streets.

(6) The proposed conditional use is not contrary to the objectives of the current land use plan for the city:

The proposed conditional use, a parking lot to serve Hotel Verdant and its affiliated outlets, is not contrary to the objectives of the current land use plan for the city and will assist in preserving on street parking in the area for retail and transient visitors.

(7) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the plan commission:

As illustrated on the attached plans, the proposed conditional use will conform to the applicable regulations of the B4 district.

2. Written description of project

The redevelopment of the 401 Wisconsin Avenue property will include the remediation, demolition, and backfill of the existing, vacant, and dilapidated YMCA building. Once the building has been removed and backfilled, the site will be regraded and paved to create a parking lot with 92 spaces to serve Hotel Verdant (including Marguerite and Eave) and the future Spa Verdant (to be located at 512 Main Street). The parking lot will operate 24 hours a day, 7 days a week but will be secured through site fencing and gated access points. The property's landscaping will also be upgraded with the planting of 32 trees, 152 shrubs, and numerous grasses and flowers. Finally, the site lighting will be increased and upgraded to create a well-lit, safe parking experience. Dominion anticipates starting redevelopment in the second quarter of 2025 and completing the late in the third quarter. Maintenance will be handled by the Hotel Verdant management team and Dominion's property management team.

3. Site Plan

Please see drawing C100 in attached 401 Wisconsin Ave Redevelopment Civil Engineering and Landscape Plans dated April 17, 2025.

4. Zoning Analysis Table (per lot)

	401 Wisconsin Avenue
Land Area (acres & square feet)	1.04129 acres; 45,359 sf
Building Area (square feet)	40,255 sf (to be demolished)
Setbacks	N/A
Floor Area Ratio (current/proposed)	0.88/0.00
Lot Coverage	0.33/0.00
Height of all buildings and structures	N/A
Percentage of Greenspace (existing/proposed)	1.3%/23.5%
Parking Spaces	92

5. Landscape Plan

Please see drawings L100 to L300 in attached 401 Wisconsin Ave Redevelopment Civil Engineering and Landscape Plans dated April 17, 2025.

6. Lighting Plan

Please see drawing LT100 in attached 401 Wisconsin Ave Redevelopment Civil Engineering and Landscape Plans dated April 17, 2025.

7. Floor Plan

Not applicable

8. Engineering Plan

Please see the attached Stormwater Management Report and 401 Wisconsin Ave Redevelopment Civil Engineering and Landscape Plans dated April 17, 2025.

9. Signage Plan

Please see the attached proposed signage plan dated February 10, 2025.

10. Building/site Elevations

Not applicable

12. Building Material Samples

Not applicable

401 WISCONSIN AVE REDEVELOPMENT

401 WISCONSIN AVE, RACINE, WI

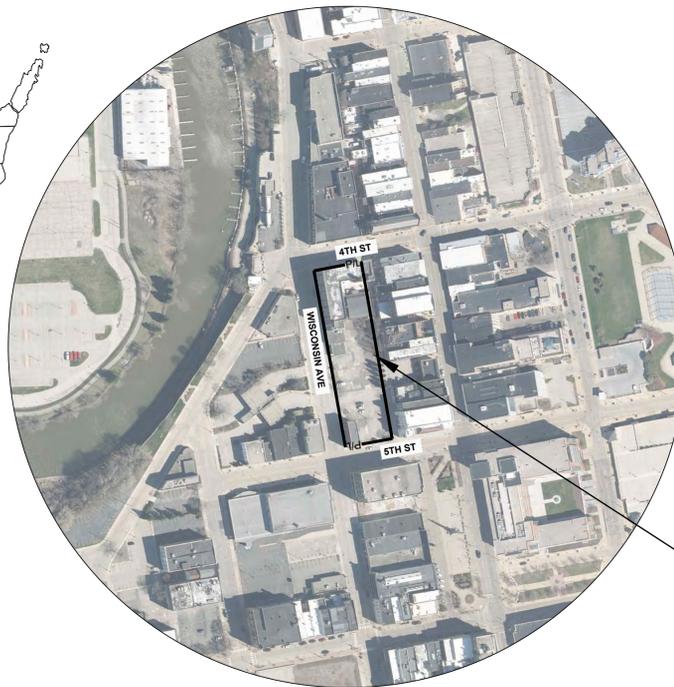
CIVIL ENGINEERING AND LANDSCAPE PLANS

PREPARED BY:

THE SIGMA GROUP
Single Source. Sound Solutions.
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

SITE LOCATION MAP:

NOT TO SCALE

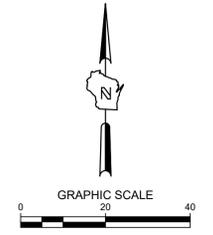
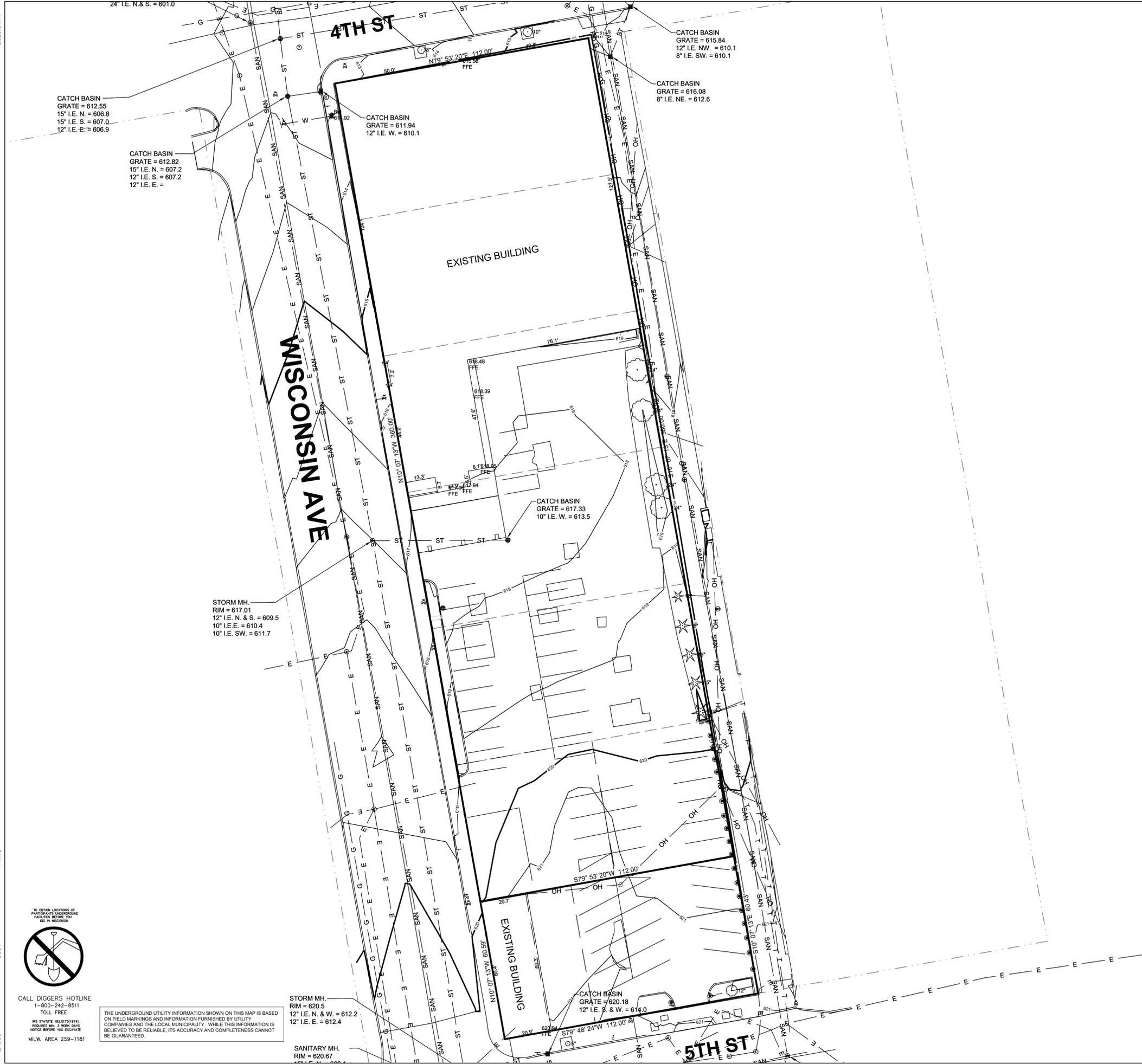


PROJECT SITE

SHEET INDEX

SHEET NO.	DESCRIPTION
C000	COVER
C001	SITE SURVEY
C002	SITE DEMOLITION & EROSION CONTROL PLAN
C100	SITE PLAN
C200	GRADING PLAN
C300	UTILITY PLAN
C400	EROSION CONTROL DETAILS
C401	DETAILS
C402	DETAILS
C500	SPECIFICATIONS
C501	SPECIFICATIONS
L100	OVERALL LANDSCAPE PLAN
L200	LANDSCAPE DETAILS
L201	LANDSCAPE DETAILS
L300	LANDSCAPE SPECIFICATIONS
LT100	LIGHTING PLAN
LT101	LIGHTING PLAN

DATE: APRIL 17, 2025



401 WISCONSIN AVE REDEVELOPMENT
401 WISCONSIN AVE
RACINE, WI
SITE SURVEY

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE
BID SET	2024-10-17
CITY SUBMITTAL	2025-04-17

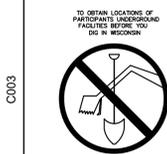
NO. REVISION	DATE

PROJECT NO:	21968
DESIGN DATE:	----
PLOT DATE:	2025.04.17
DRAWN BY:	----
CHECKED BY:	TPM
APPROVED BY:	PJI
SHEET NO:	C001

- LEGEND:**
- SECTION 1/4 SECTION LINE
 - PROPERTY LINE
 - EASEMENT
 - X-X- CHAIN LINK FENCE
 - O-O- GUARD RAIL
 - METAL FENCE
 - WOOD FENCE
 - ~~~~~ TREE LINE
 - OH --- OVERHEAD UTILITY LINE
 - E --- ELECTRIC
 - T --- TELEPHONE
 - FO --- FIBER OPTIC
 - CTV --- CABLE TV
 - SAN --- SANITARY SEWER
 - FS --- FORCE MAIN
 - ST --- STORM SEWER
 - W --- WATER MAIN
 - G --- GAS
 - 670 --- EXISTING CONTOUR
 - WET --- WETLAND
 - FP --- FLOODPLAIN
 - ⊕ UNKNOWN MANHOLE
 - ⊙ SANITARY MANHOLE
 - ⊙ STORM MANHOLE
 - ⊙ ELECTRIC MANHOLE
 - ⊙ MMSD MANHOLE
 - ⊙ TELEPHONE MANHOLE
 - ⊙ CLEANOUT
 - ⊙ CATCH BASIN
 - ⊙ CATCH BASIN (ROUND)
 - ROOF DRAIN
 - ⌒ CULVERT END
 - ⊕ HYDRANT
 - ⊕ WATER VALVE
 - ⊕ GAS VALVE
 - ⊕ GAS METER
 - ⊕ ELECTRIC METER
 - ⊕ UTILITY PEDESTAL
 - ⊕ HANDHOLE
 - ⊕ VENT
 - ⊕ MONITORING WELL
 - ⊙ IRON PIPE FOUND/SET
 - REBAR FOUND/SET
 - ⊗ CHISELED CROSS FOUND/SET
 - ⊙ PK NAIL FOUND/SET
 - SPIKE/NAIL
 - ⊕ MONUMENT
 - ⊕ BENCHMARK
 - ⊕ SIGN
 - ⊕ PARKING METER
 - ⊕ FLAG POLE
 - ⊕ DECIDUOUS TREE
 - ⊕ CONIFEROUS TREE
 - ⊕ BUSH
 - ⊕ POST
 - ⊕ SOIL BORING
 - ⊕ TRAFFIC SIGNAL
 - ⊕ LIGHT POLE
 - ⊕ UTILITY POLE
 - ⊕ GUY WIRE
 - ⊕ GUY POLE

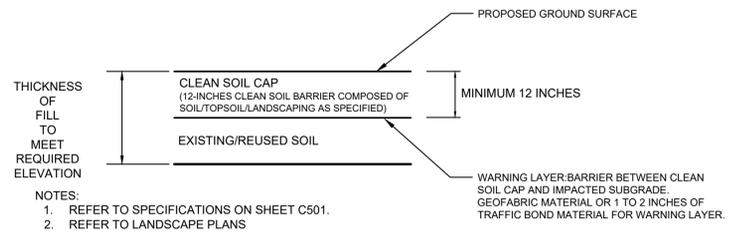
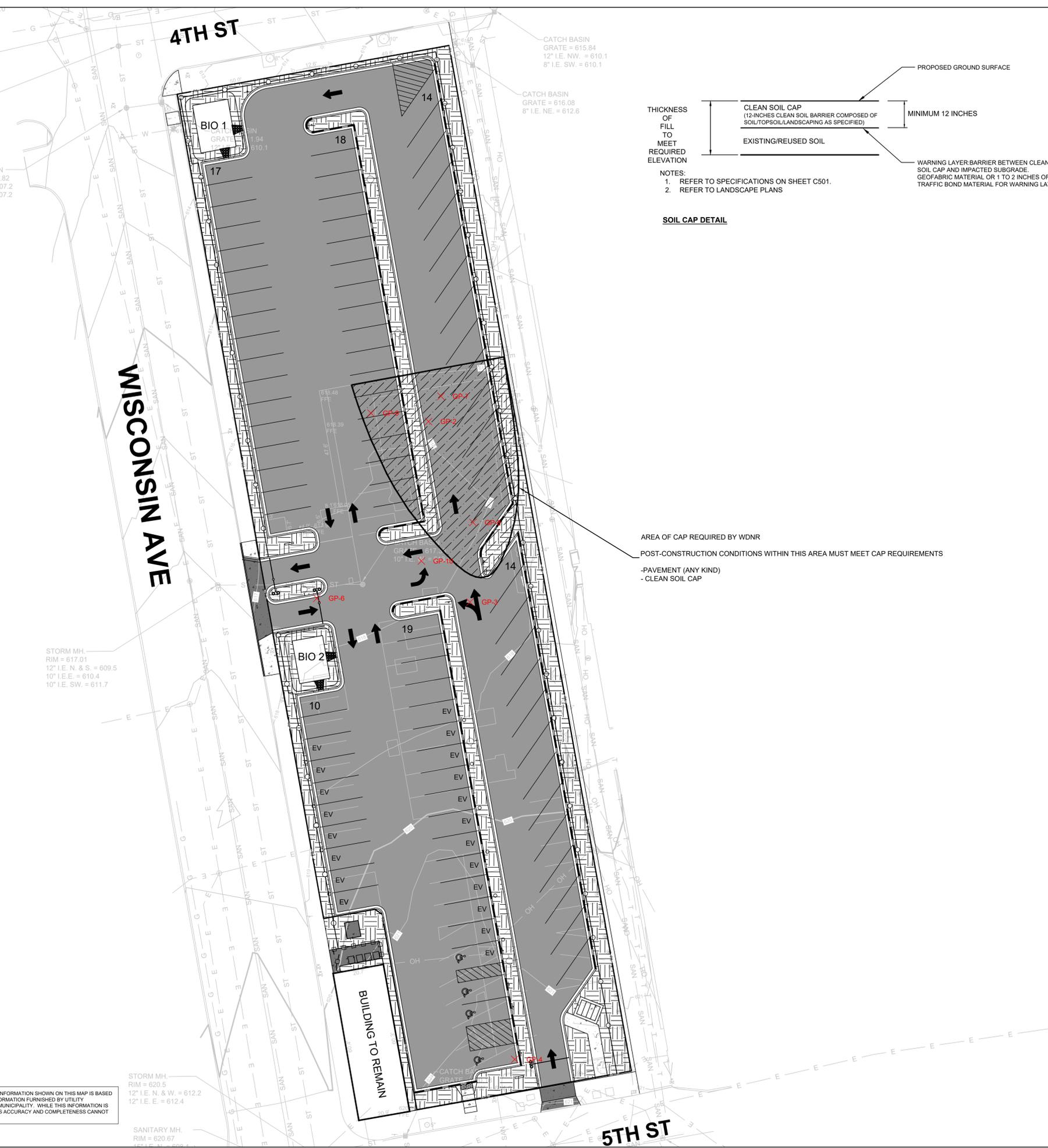
GENERAL NOTES:

1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY THE SIGMA GROUP, INC. ON 7/27/2023.
4. DATUM FOR THE PROJECT SURVEY IS NAVD83. BENCHMARK FOR THE PROJECT SURVEY IS THE NE BURY BOLT ON THE HYDRANT LOCATED ON THE WEST SIDE OF THE PROPERTY, ELEV 614.92'.
5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WS STATUTE 182.07(2)(b)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

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SOIL CAP DETAIL

SOIL MANAGEMENT NOTES:

SUBGRADE MATERIAL ACROSS THE SITE AND PROJECT AREA IS CONSIDERED TO BE ENVIRONMENTALLY IMPACTED.
SUBGRADE MATERIAL EXCAVATED OR GRADED OUTSIDE THE DESIGNATED CAP AREA MUST BE MANAGED WITHIN ITS IMMEDIATE AREA AND CAPPED, OR DISPOSED OF AT A LICENSED LANDFILL.
EXCESS SUBGRADE MATERIAL THAT CANNOT BE REUSED ON-SITE AS SPECIFIED ABOVE MUST BE TRANSPORTED OFF-SITE FOR DISPOSAL AT A LICENSED LANDFILL FACILITY IN ACCORDANCE WITH THE SOIL MANAGEMENT PLAN.
PROJECT LANDFILL:
WASTE MANAGEMENT PHEASANT RUN (PENDING APPROVAL)
• PROFILE #XXXXXXX - TBD
DIRECT QUESTIONS REGARDING IMPACTED SOIL MANAGEMENT TO ENVIRONMENTAL ENGINEER (SIGMA)

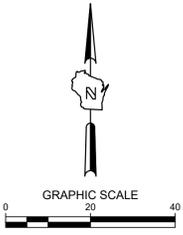
DETAILS ALSO PROVIDED IN SOIL MANAGEMENT PLAN (DATED - IN PROGRESS AS OF 3/20/2025)

- LEGEND:
[Hatched Box] AREA OF RESIDUALLY IMPACTED SOIL FOR LANDFILL DISPOSAL IF EXCAVATED
[Crossed Box] AREA OF CAP REQUIRED BY WDNR: REPLACEMENT CAP MUST MEET REQUIREMENTS
-PAVEMENT (ANY KIND)
-CLEAN SOIL CAP - SEE DETAIL
[X] SOIL BORING

GENERAL NOTES:

- SUBGRADE MATERIAL ACROSS THE SITE AND PROJECT AREA IS CONSIDERED TO BE ENVIRONMENTALLY IMPACTED. SUBGRADE MATERIAL EXCAVATED OR GRADED OUTSIDE THE DESIGNATED CAP AREA MUST BE MANAGED WITHIN ITS IMMEDIATE AREA AND CAPPED, OR DISPOSED OF AT A LICENSED LANDFILL. EXCESS SUBGRADE MATERIAL THAT CANNOT BE REUSED ON-SITE AS SPECIFIED ABOVE MUST BE TRANSPORTED OFF-SITE FOR DISPOSAL AT A LICENSED LANDFILL FACILITY IN ACCORDANCE WITH THE SOIL MANAGEMENT PLAN. DIRECT QUESTIONS REGARDING IMPACTED SOIL MANAGEMENT TO ENVIRONMENTAL ENGINEER (SIGMA)
- GROUNDWATER GENERATED DURING EXCAVATION DEWATERING MAY REQUIRE PERMITTING PRIOR TO DISCHARGE TO SANITARY SEWER SYSTEM. GENERAL CONTRACTOR IS RESPONSIBLE FOR DEWATERING PERMITS, AS REQUIRED. COORDINATE AND VERIFY CONTINGENCY MANAGEMENT PLAN WITH ENVIRONMENTAL CONSULTANT, THE SIGMA GROUP INC., AT 414-643-4200 IF POTENTIALLY IMPACTED GROUNDWATER IS ENCOUNTERED.
- TREES, BUSHES, OR PLANTS MAY NEED TO BE PLANTED WITHIN GREEN SPACE AREAS THAT WILL NECESSITATE ROOT BALLS PENETRATING THROUGH THE CLEAN SOIL CAP. THE ROOT STRUCTURES AND TREES, BUSHES, OR PLANTS WILL PREVENT DIRECT CONTACT WITH UNDERLYING IMPACTED SOILS. THE CLEAN SOIL CAP SYSTEM SHOULD BE PLACED OVER ROOT BALLS / AROUND TREES, BUSHES, OR PLANTS TO MAINTAIN AN EFFECTIVE CAP OVER THE SITE. LANDSCAPING CONTRACTOR MUST BE MADE AWARE OF IMPACTED SOIL MANAGEMENT REQUIREMENTS AND MANAGE EXCAVATED SOIL MATERIAL APPROPRIATELY.

THE SIGMA GROUP
Single Source. Sound Solutions.
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210



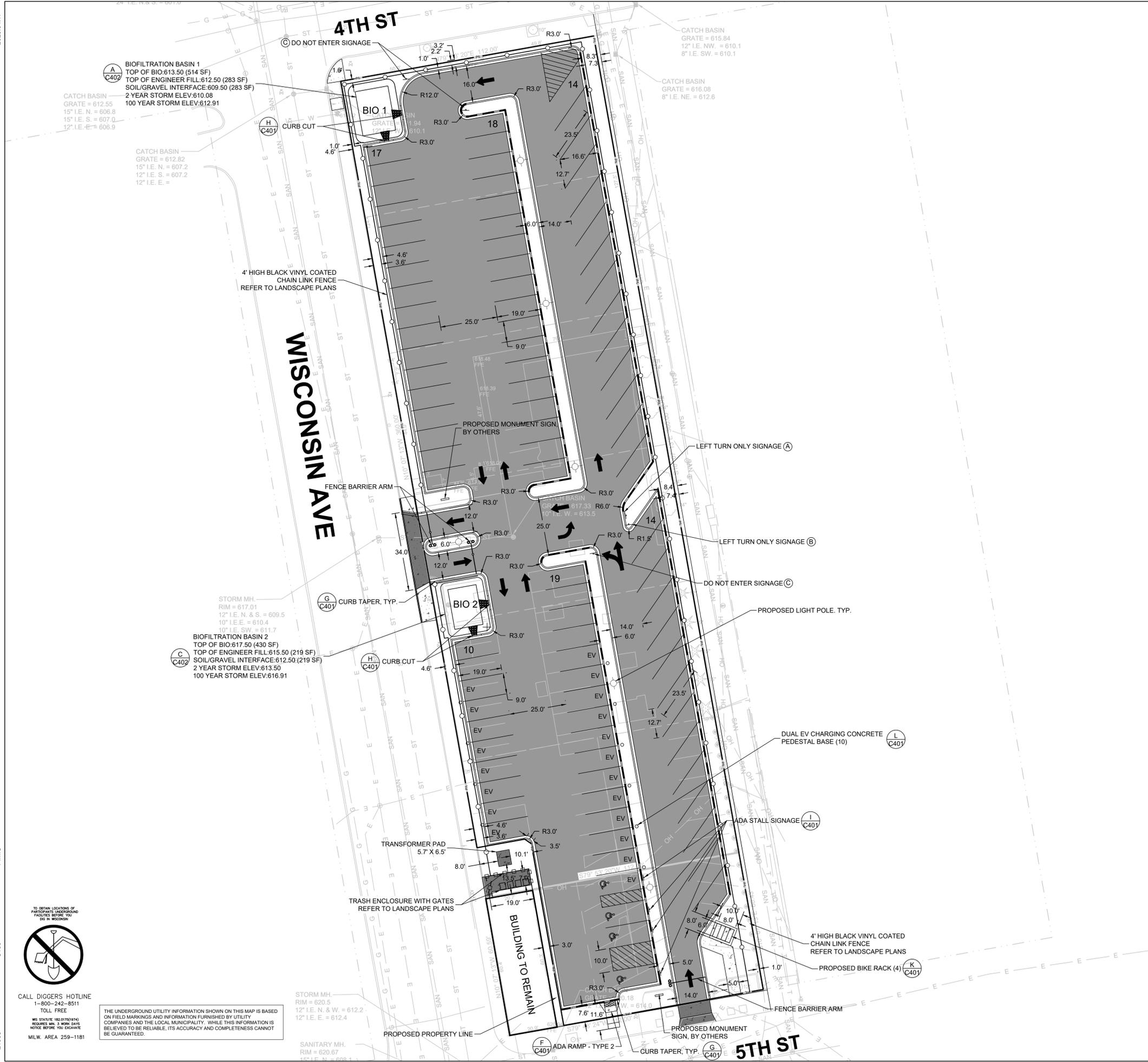
401 WISCONSIN AVE REDEVELOPMENT
401 WISCONSIN AVE
RACINE, WI
SOIL MANAGEMENT PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE
BID SET	2024-10-17
CITY SUBMITTAL	2025-04-17

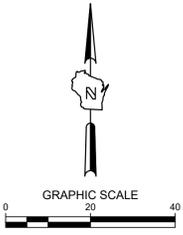
NO. REVISION	DATE
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PROJECT NO:	21968
DESIGN DATE:	---
PLOT DATE:	2025.04.17
DRAWN BY:	---
CHECKED BY:	TPM
APPROVED BY:	PJI
SHEET NO:	C003



SITE INFORMATION			
SITE AREA	47890	1.099 AC	
SITE DISTURBED AREA	46431	1.066 AC	
EXISTING IMPERVIOUS AREA	47277	1.085 AC	98.7 %
PROPOSED IMPERVIOUS AREA	36624	0.841 AC	76.5 %
TOTAL PARKING SPACES	92		
ADA PARKING SPACES	4		
EV PARKING SPACES	20		

THE SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210



- LEGEND:**
- (A C401) ASPHALT SURFACE
 - (B C401) 5" THICK CONCRETE WALK
 - (C C401) CONCRETE PAVEMENT
 - (D C401) CURB & GUTTER (ACCEPT)
 - (D C401) CURB & GUTTER (REJECT)
 - PROPOSED LIGHT POLE - REFER TO LIGHTING PLANS

- SIGNAGE:**
- (A) LEFT TURN ONLY SIGNAGE
 - (B) LEFT TURN AND STRAIGHT SIGNAGE
 - (C) DO NOT ENTER SIGNAGE

401 WISCONSIN AVE REDEVELOPMENT
 401 WISCONSIN AVE
 RACINE, WI
 SITE PLAN

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

ISSUANCE	DATE
BID SET	2024-10-17
CITY SUBMITTAL	2025-04-17

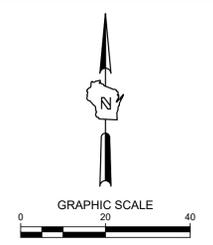
NO. REVISION	DATE

- GENERAL NOTES:**
- THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 - VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 - ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 - DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
 - WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMP, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
 - EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

PROJECT NO:	21968
DESIGN DATE:	----
PLOT DATE:	2025.04.17
DRAWN BY:	----
CHECKED BY:	TPM
APPROVED BY:	PJI
SHEET NO:	C100

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 MS STATUTE 182.07(2)(b)
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401 WISCONSIN AVE REDEVELOPMENT
401 WISCONSIN AVE
RACINE, WI
GRADING PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

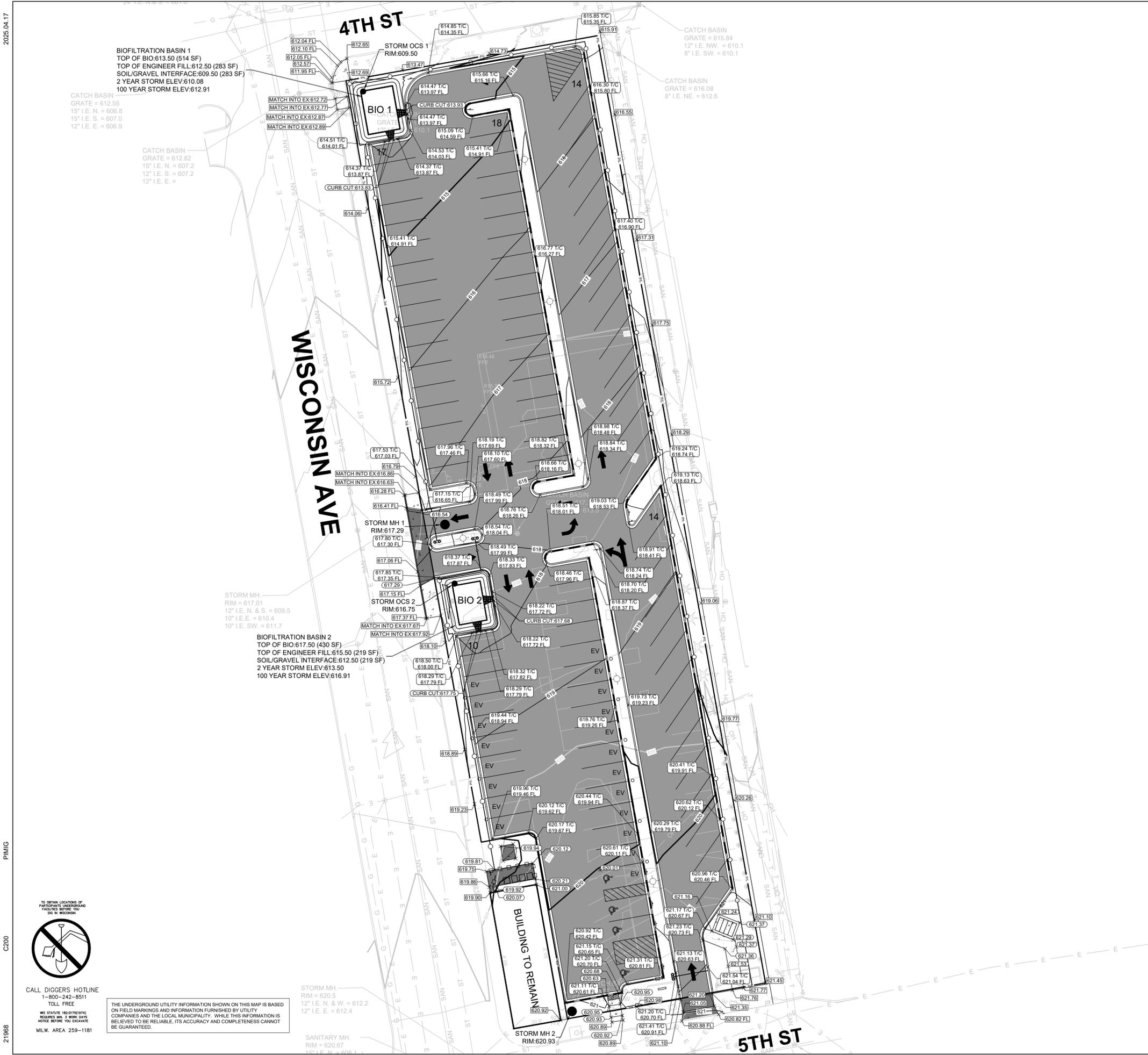
ISSUANCE	DATE
BID SET	2024-10-17
CITY SUBMITTAL	2025-04-17

NO. REVISION	DATE

PROJECT NO:	21968
DESIGN DATE:	---
PLOT DATE:	2025.04.17
DRAWN BY:	---
CHECKED BY:	TPM
APPROVED BY:	PJI
SHEET NO:	C200

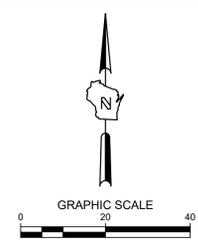
- LEGEND:**
- (A C401) ASPHALT SURFACE
 - (B C401) 5" THICK CONCRETE WALK
 - (C C401) CONCRETE PAVEMENT
 - (D C401) CURB & GUTTER (ACCEPT)
 - (D C401) CURB & GUTTER (REJECT)
 - PROPOSED LIGHT POLE - REFER TO LIGHTING PLANS
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED CURB & GUTTER SPOT GRADE
T/C: TOP OF CURB GRADE
FL: FLOW LINE CURB GRADE
 - PROPOSED SURFACE SPOT GRADE
 - EXISTING SURFACE SPOT GRADE (MATCH)
 - EXISTING FLOW LINE SPOT GRADE (MATCH)

- GENERAL NOTES:**
- THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 - VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 - ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 - DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
 - WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
 - EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.



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THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



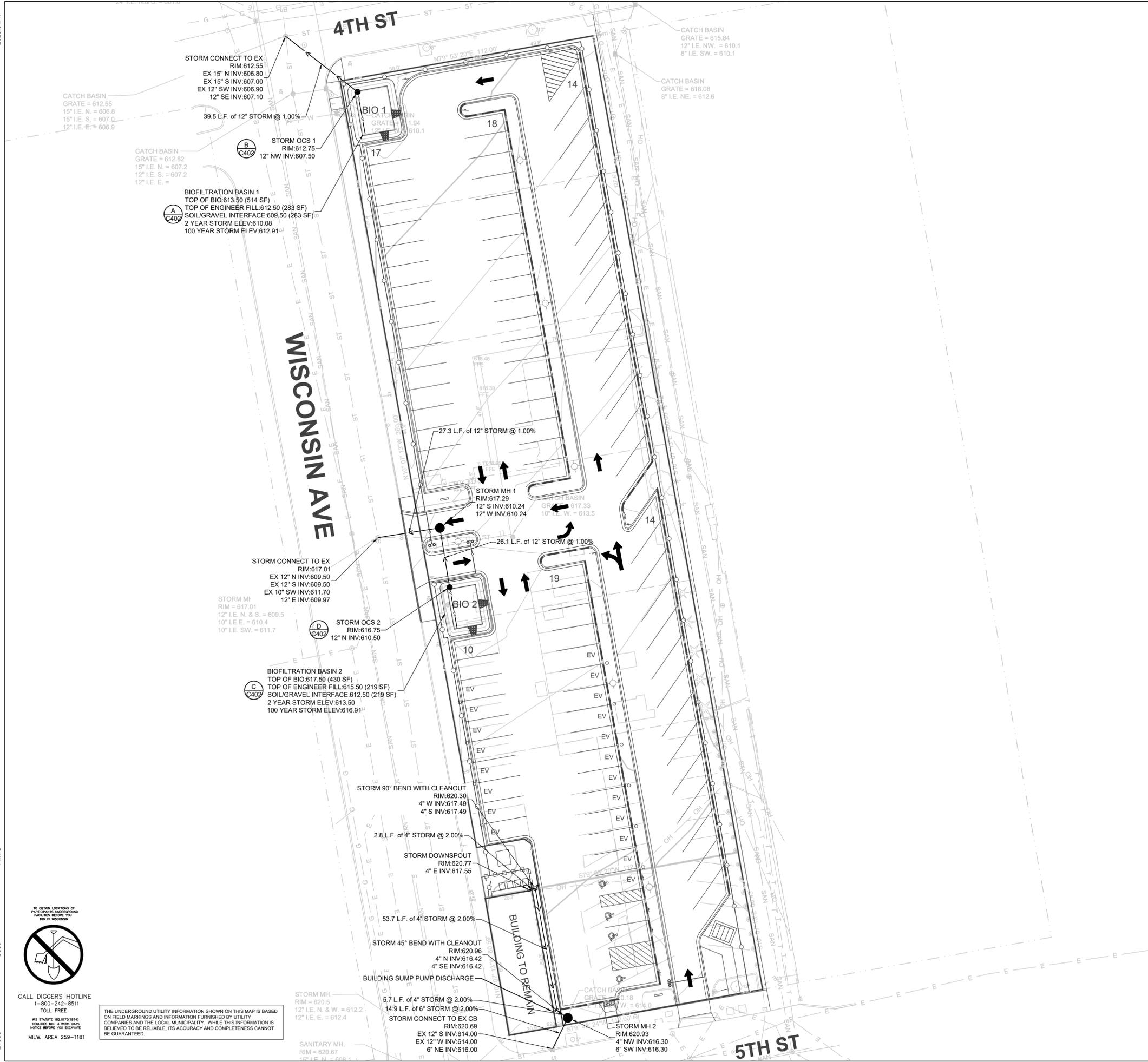
401 WISCONSIN AVE REDEVELOPMENT
401 WISCONSIN AVE
RACINE, WI
UTILITY PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE
BID SET	2024-10-17
CITY SUBMITTAL	2025-04-17

NO. REVISION	DATE

PROJECT NO:	21968
DESIGN DATE:	---
PLOT DATE:	2025.04.17
DRAWN BY:	---
CHECKED BY:	TPM
APPROVED BY:	PJI
SHEET NO:	C300



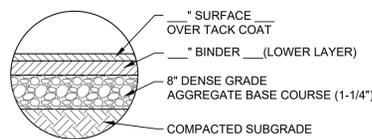
- LEGEND:**
- PROPOSED STORM SEWER
 - PROPOSED DRAIN TILE (UNDERDRAIN)
 - PROPOSED STORM MANHOLE
 - PROPOSED OUTLET CONTROL STRUCTURE

- GENERAL NOTES:**
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 - ALL UTILITIES WITHIN 5 FEET OF PAVED AREAS SHALL REQUIRE GRANULAR BACKFILL. SLURRY BACKFILL IS REQUIRED FOR ALL WORK IN PUBLIC RIGHT OF WAY.
 - PRIVATE STORM INLETS IN PAVEMENT SHALL REQUIRE DRAIN TILE STUBS OF 10 FEET IN TWO DIRECTIONS FOR SUBDRAINAGE. RIM GRADE FOR STORM INLETS IN CURB AND GUTTER ARE FLOW LINE GRADES.
 - WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW MATERIAL AND INSTALLATION REQUIREMENTS PER MUNICIPAL AND/OR COUNTY.
 - PRIVATE STORM SEWER 12-INCH DIAMETER OR LARGER SHALL BE HDPE. BELOW 12-INCH DIAMETER SHALL BE PVC SDR-35 ASTM D3034. PRIVATE WATER MAIN SHALL BE CLASS 235 DR 18 PVC CONFORMING TO AWWA C-900. PRIVATE SANITARY SEWER SHALL BE PVC SDR-35 ASTM D3034.
 - COORDINATE FINAL LOCATION AND DESIGN OF PRIVATE UTILITY SERVICES (ELECTRIC, GAS, PHONE, CABLE) WITH UTILITY COMPANIES.
 - IF PROJECT IS DESIGN BUILD MEP, THE GENERAL CONTRACTOR IS REQUIRED TO PROVIDE FINAL SEWER AND WATER DESIGN SHOWING LOCATION, INVERTS AND SIZES TO THE ENGINEER FOR FINAL REVIEW AND VERIFICATION PRIOR TO STARTING UNDERGROUND UTILITY CONSTRUCTION.
 - WATER MAIN CONNECTION: TAP WATER MAIN WITH SIZE AND LOCATION INDICATED ON PLAN IN ACCORDANCE WITH LOCAL WATER UTILITY REQUIREMENTS. COORDINATE CONNECTION WITH LOCAL WATER UTILITY. ALL JOINTS SHALL BE RESTRAINED FROM CONNECTION OF WATER MAIN TO BUILDING WALL. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS. INSTALL MEGA-LUG OR APPROVED EQUAL TIGHT TO WALL FOR RESTRAINT FOR ALL BUILDING WALL PENETRATIONS AS APPROVED BY LOCAL PLUMBING INSPECTOR AND WATER UTILITY. INSTALL THRUST BLOCKING AND MEGA-LUG AT BEND BELOW FLOOR FOR ALL FLOOR PENETRATIONS.
 - INSTALL JOINT RESTRAINT AND CONCRETE THRUST BLOCKS AT ALL OFFSET FITTINGS (TEES, BENDS, DEAD ENDS, VALVES, REDUCERS) USING MEGA-LUG OR APPROVED EQUAL. CONCRETE THRUST BLOCKS SHALL BE INSTALLED PER FILE NO'S: 44.45.46 FROM THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. SEE DETAIL FOR MINIMUM LENGTH OF RESTRAINED JOINT REQUIRED. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS.

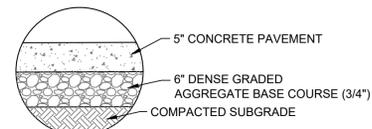


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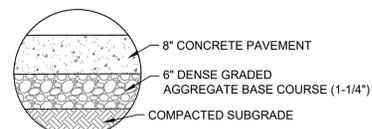
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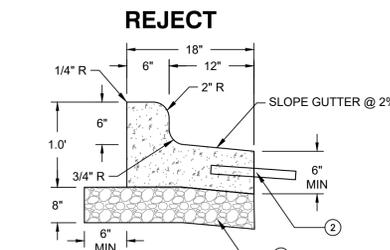
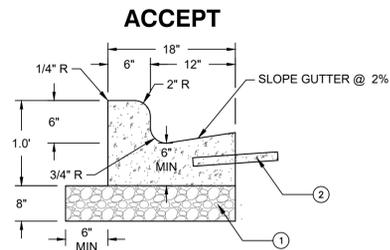
A ASPHALT PAVEMENT SECTION
SCALE: NTS



B CONCRETE SIDEWALK SECTION
SCALE: NTS

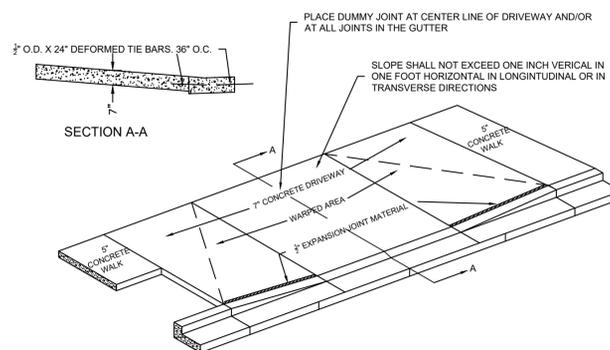


C CONCRETE PAVEMENT SECTION
SCALE: NTS

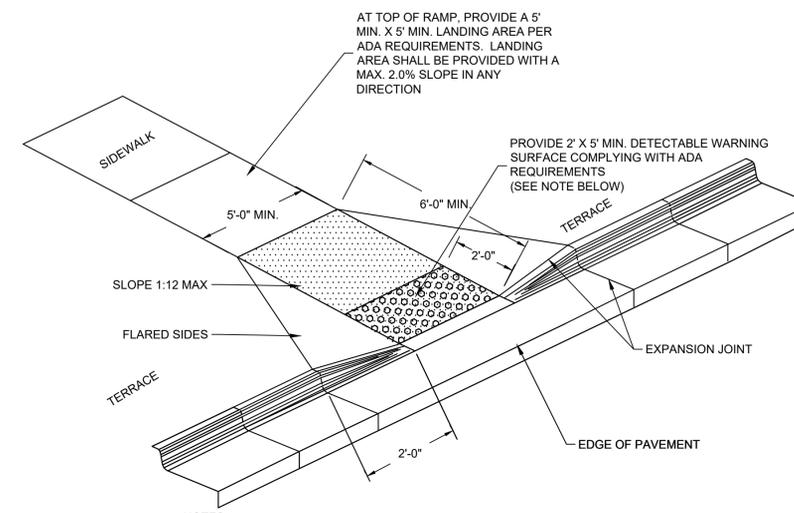


- NOTES:**
- 1-1/4" DENSE GRADED AGGREGATE BASE COURSE TIE-BAR IF ADJACENT TO CONCRETE (NO. 4 X 2'-0" DEFORMED TIE BARS SPACED AT 3'-0" C-C).
 - THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MINIMUM GUTTER THICKNESS IS MAINTAINED.

D 18 INCH CONCRETE CURB AND GUTTER
SCALE: NTS

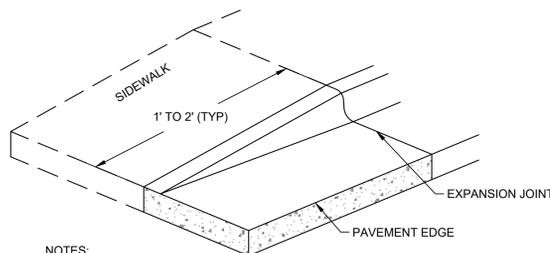


E CONCRETE DRIVEWAY TYPE 2 DEPRESSED
SCALE: NTS



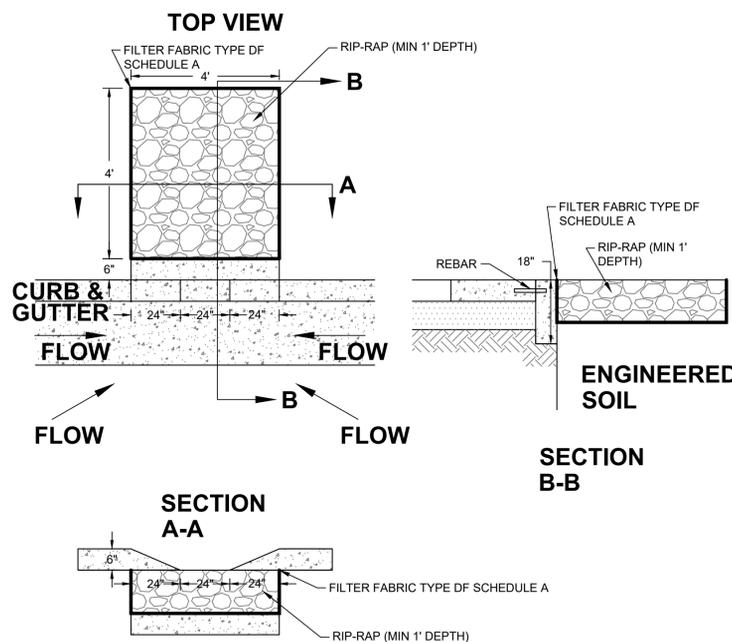
- NOTES:**
- CONTRACTOR TO VERIFY ADA RAMP DETAIL WITH CITY AND ADJUST AS NEEDED.
 - PROVIDE DETECTABLE WARNING CONSISTING OF RAISED TRUNCATED DOMES OF SIZE, SPACING AND CONTRAST REQUIRED BY ADA GUIDELINES.
 - DETECTABLE WARNINGS SHALL BE PER CITY STANDARDS.

F ADA RAMP - TYPE 2
SCALE: NTS

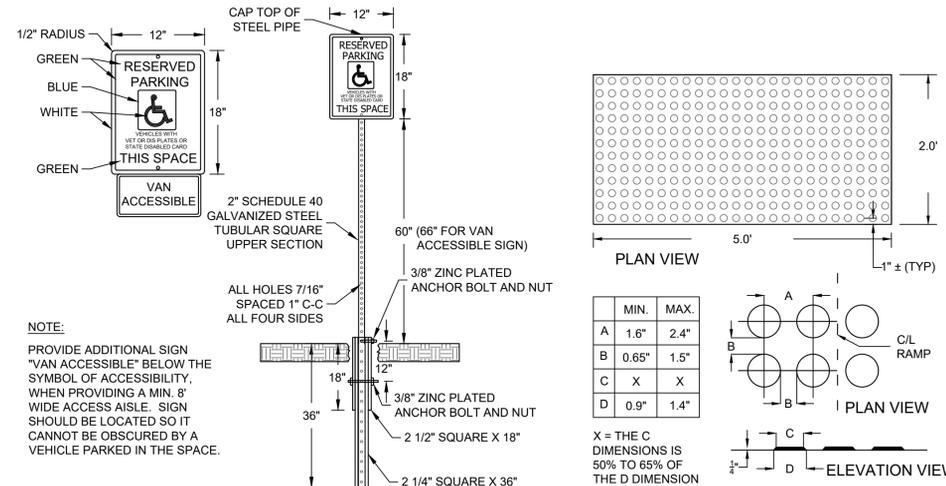


- NOTES:**
- IF SIDEWALK IS ADJACENT TO CURB TAPER, TAPER SHALL BE EXTENDED TO 10' TO MAINTAIN 5% MAX SLOPE ON WALK FOR ADA ACCESS

G CURB TAPER
SCALE: NTS

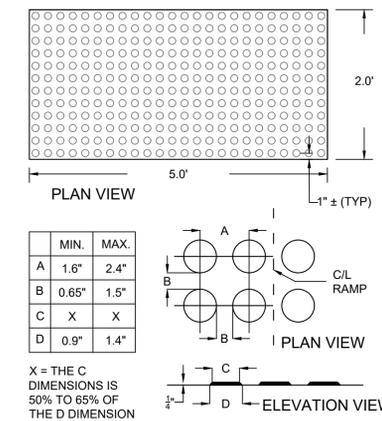


H CURB CUT OPENING
SCALE: NTS



I ADA SIGN AND POST
SCALE: NTS

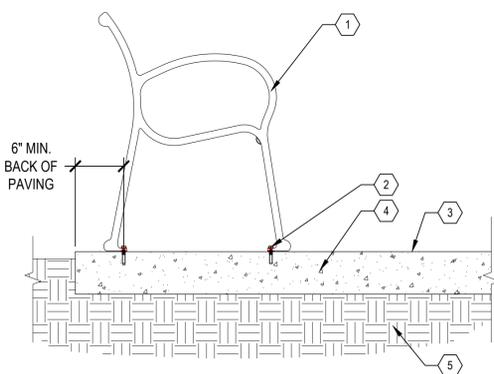
J TRUNCATED DOMES
SCALE: NTS



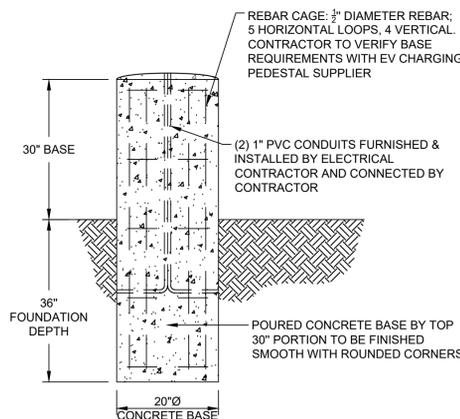
- NOTES:**
- CONTRACTOR TO VERIFY FINAL LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - PAINT ALL HARDWARE TO MATCH BENCH COLOR.
 - BENCH BASIS OF DESIGN:
 - 72" BACKED SCARBOROUGH BENCH WITH HORIZONTAL STRAP SEAT AND CENTER ARM BY LANDSCAPE FORMS

KEYED LEGEND

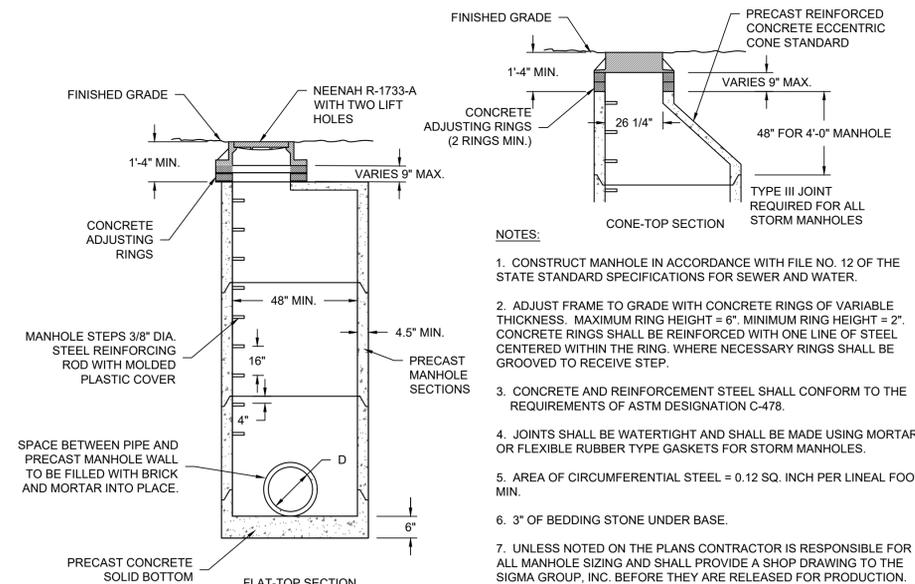
- 72" LANDSCAPE BENCH - BLACK POWDER COAT
- SURFACE MOUNT INSTALLATION, ANCHORED WITH ITT RAMSET/RED HEAD SRM 38 STAINLESS STEEL DROP-IN ANCHOR, 3/8" x 3" STAINLESS STEEL HEX BOLTS WITH 3/8" STAINLESS STEEL FLAT WASHER AND LOCK WASHER
- FINISH SURFACE
- CONCRETE PAVING
- COMPACTED SUBGRADE



K BIKE RACK
SCALE: NTS



L EV CHARGING PEDESTAL BASE
SCALE: NTS



M PRECAST STORM MANHOLE
SCALE: NTS

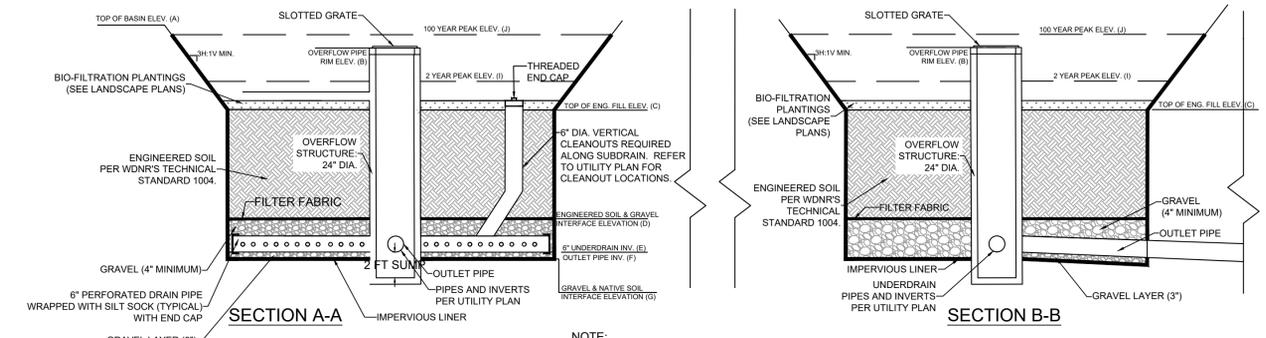
- NOTES:**
- CONSTRUCT MANHOLE IN ACCORDANCE WITH FILE NO. 12 OF THE STATE STANDARD SPECIFICATIONS FOR SEWER AND WATER.
 - ADJUST FRAME TO GRADE WITH CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT = 6". MINIMUM RING HEIGHT = 2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING. WHERE NECESSARY RINGS SHALL BE GROOVED TO RECEIVE STEP.
 - CONCRETE AND REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION C-478.
 - JOINTS SHALL BE WATERTIGHT AND SHALL BE MADE USING MORTAR, OR FLEXIBLE RUBBER TYPE GASKETS FOR STORM MANHOLES.
 - AREA OF CIRCUMFERENTIAL STEEL = 0.12 SQ. INCH PER LINEAL FOOT MIN.
 - 3" OF BEDDING STONE UNDER BASE.
 - UNLESS NOTED ON THE PLANS CONTRACTOR IS RESPONSIBLE FOR ALL MANHOLE SIZING AND SHALL PROVIDE A SHOP DRAWING TO THE SIGMA GROUP, INC. BEFORE THEY ARE RELEASED FOR PRODUCTION.

**PRELIMINARY
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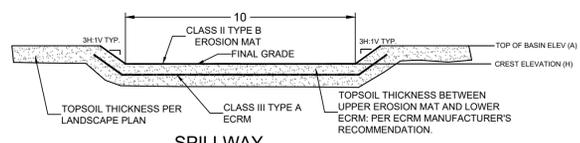
NO. REVISION	DATE

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DESIGN DATE:	----
PLOT DATE:	2025.04.17
DRAWN BY:	----
CHECKED BY:	TPM
APPROVED BY:	PJI
SHEET NO:	C401



TYPICAL BIO-FILTRATION DETAILS (BIO-FILTRATION BASIN 1)

NOTE: BIO-INFILTRATION BASIN SHALL NOT BE BROUGHT ONLINE UNTIL AREA DRAINING TO THE BASIN HAS ACHIEVED 90% STABILIZATION FROM EROSION (I.E. DO NOT PLACE ENGINEERED SOIL UNTIL SITE HAS BEEN STABILIZED).

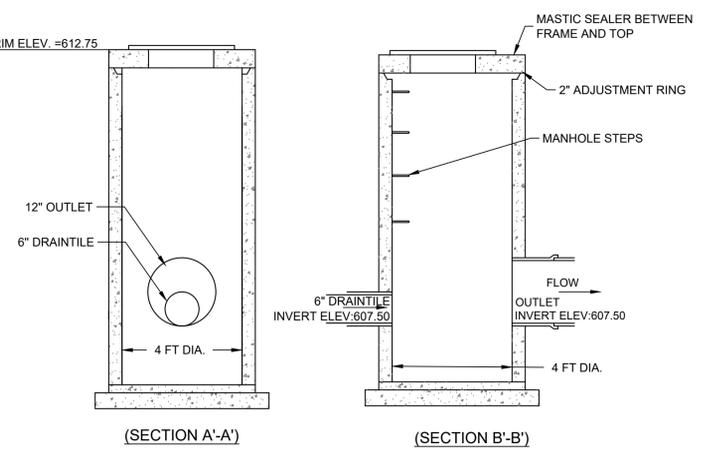
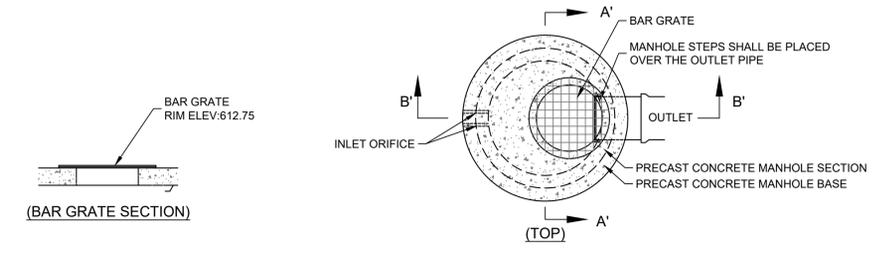


SPILLWAY

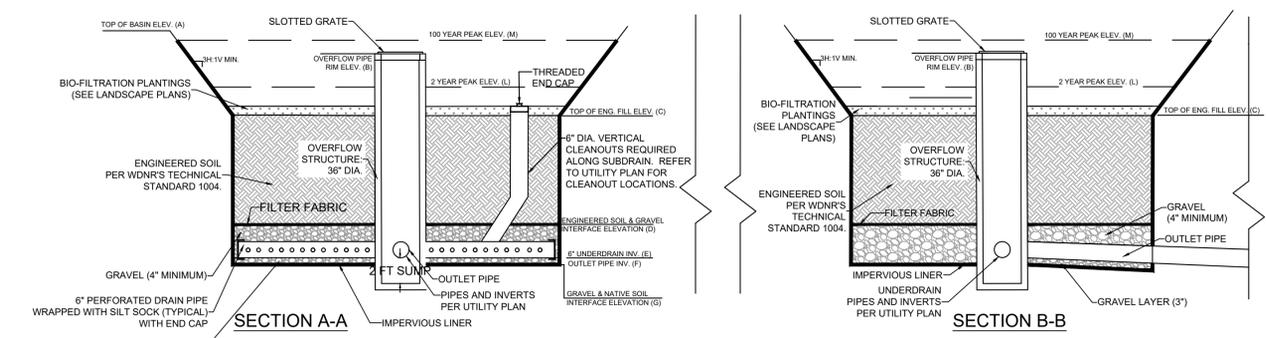
NOTE:
 1. BIO-FILTRATION BASINS THAT HAVE MULTIPLE VERTICAL ORIFICES SHALL BE INSTALLED AT THE SAME ELEVATION AS IDENTIFIED IN THE TABLE.
 2. MULTIPLE VERTICAL ORIFICES SHALL HAVE A MINIMUM OF 12 INCHES HORIZONTAL SEPARATION.

BIO-FILTRATION AREA	(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)	(I)	(J)	
BIO 1	613.50	612.75	612.50	609.50	607.50	12"	607.50	607.50	613.00	610.08	612.91

A BIOFILTRATION BASIN 1
SCALE: NTS

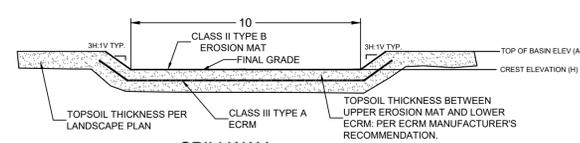


B OUTLET CONTROL STRUCTURE 1
SCALE: NTS



TYPICAL BIO-FILTRATION DETAILS (BIO-FILTRATION BASIN 2)

NOTE: BIO-INFILTRATION BASIN SHALL NOT BE BROUGHT ONLINE UNTIL AREA DRAINING TO THE BASIN HAS ACHIEVED 90% STABILIZATION FROM EROSION (I.E. DO NOT PLACE ENGINEERED SOIL UNTIL SITE HAS BEEN STABILIZED).

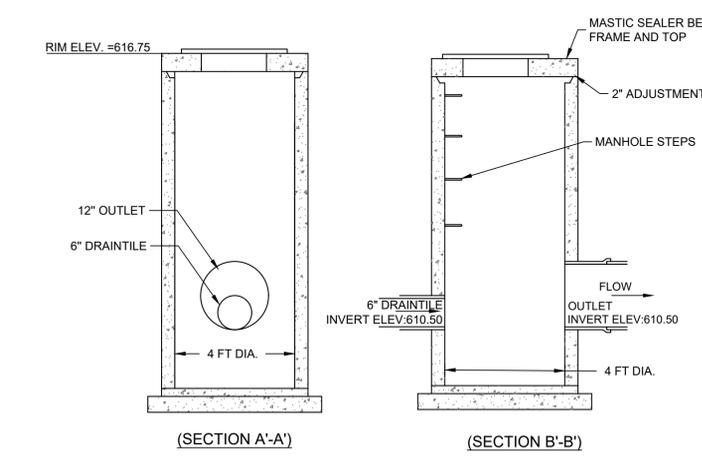
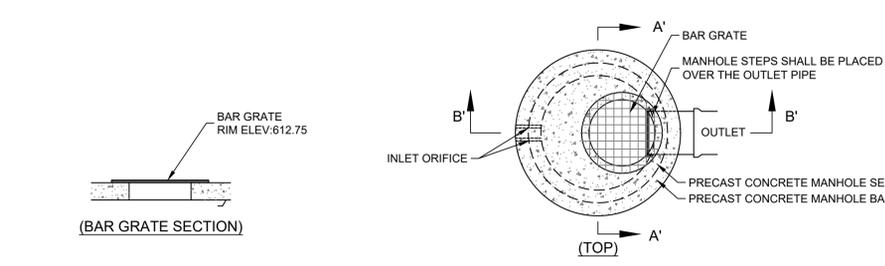


SPILLWAY

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BIO-FILTRATION AREA	(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)	(I)	(J)	
BIO 1	617.50	616.75	615.50	612.50	610.50	12"	610.50	610.5	617.00	613.50	616.91

C BIOFILTRATION BASIN 2
SCALE: NTS



D OUTLET CONTROL STRUCTURE 2
SCALE: NTS

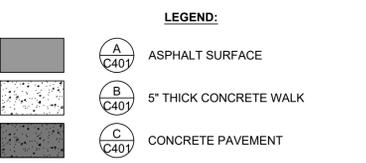
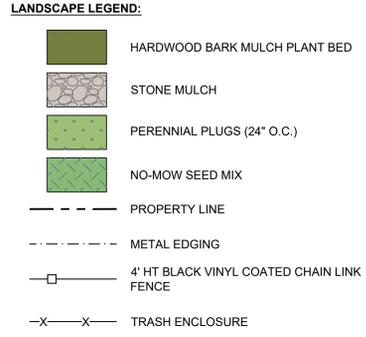
401 WISCONSIN AVE REDEVELOPMENT
401 WISCONSIN AVE
RACINE, WI
DETAILS

PRELIMINARY NOT FOR CONSTRUCTION

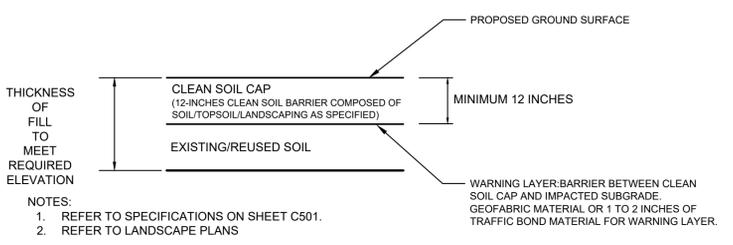
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DRAWN BY:	---
CHECKED BY:	TPM
APPROVED BY:	PJI
SHEET NO:	C402



AREA OF CAP REQUIRED BY WDNR
 POST-CONSTRUCTION CONDITIONS WITHIN THIS AREA MUST MEET CAP REQUIREMENTS
 - PAVEMENT (ANY KIND)
 - CLEAN SOIL CAP



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
DECIDUOUS TREES					
	GD	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	2.5" Cal.	B&B	3
EVERGREEN TREES					
	TS	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	5' Ht.	B&B	35
ORNAMENTAL TREES					
	MS	Malus x adstringens 'Jefgreen' / Emerald Spire® Flowering Crabapple	2" Cal.	B&B	1
DECIDUOUS SHRUBS					
	DL	Diervilla lonicera / Bush Honeysuckle	3 gal.	Cont.	61
	HB	Hydrangea paniculata 'LVOBO' / Bobo® Panicle Hydrangea	3 gal.	Cont.	12
	SM	Syringa x 'Minuet' / Minuet Lilac	3' Ht.	B&B	36
EVERGREEN SHRUBS					
	BG	Buxus x 'Glencoe' / Chicagoland Green® Boxwood	5 gal.	Cont.	15
	BM	Buxus x 'Green Mountain' / Green Mountain Boxwood	5 gal.	Cont.	1
ORNAMENTAL GRASSES					
	PN2	Panicum virgatum 'Northwind' / Northwind Switch Grass	3 gal.	Cont.	32
	SH	Sporobolus heterolepis 'Tara' / Tara Prairie Dropseed	1 gal.	Cont.	10
PERENNIALS					
	EW	Echinacea purpurea 'White Swan' / White Swan Coneflower	1 gal.	Cont.	38

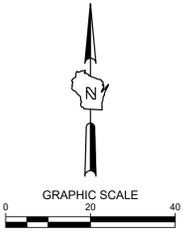
- LANDSCAPE GENERAL NOTES:**
- VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
 - INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
 - COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
 - RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF, GRASSES AND PLANTS. THESE SECTIONS PROVIDE ADDITIONAL INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
 - PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.
 - LANDSCAPE INSTALLER TO PROVIDE WATERING THROUGH FINAL ACCEPTANCE.

- SOIL MANAGEMENT NOTES:**
- SUBGRADE MATERIAL ACROSS THE SITE AND PROJECT AREA IS CONSIDERED TO BE ENVIRONMENTALLY IMPACTED.
 - SUBGRADE MATERIAL EXCAVATED OR GRADED OUTSIDE THE DESIGNATED CAP MAY BE REUSED ANYWHERE ON-SITE, PENDING GEOTECHNICAL APPROVAL.
 - SUBGRADE MATERIAL EXCAVATED OR GRADED INSIDE THE DESIGNATED CAP AREA MUST BE MANAGED WITHIN ITS IMMEDIATE AREA AND CAPPED, OR DISPOSED OF AT A LICENSED LANDFILL.
 - EXCESS SUBGRADE MATERIAL THAT CANNOT BE REUSED ON-SITE AS SPECIFIED ABOVE MUST BE TRANSPORTED OFF-SITE FOR DISPOSAL AT A LICENSED LANDFILL FACILITY IN ACCORDANCE WITH THE SOIL MANAGEMENT PLAN.

PROJECT LANDFILL:
 WASTE MANAGEMENT PHEASANT RUN (PENDING APPROVAL)
 • PROFILE #XXXXXXX - TBD

DIRECT QUESTIONS REGARDING IMPACTED SOIL MANAGEMENT TO ENVIRONMENTAL ENGINEER (SIGMA)

DETAILS ALSO PROVIDED IN SOIL MANAGEMENT PLAN (DATED - IN PROGRESS AS OF 3/20/2025)



401 WISCONSIN AVE REDEVELOPMENT
401 WISCONSIN AVE
RACINE, WI
OVERALL LANDSCAPE PLAN

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APPROVED BY:	PJI
SHEET NO:	L100

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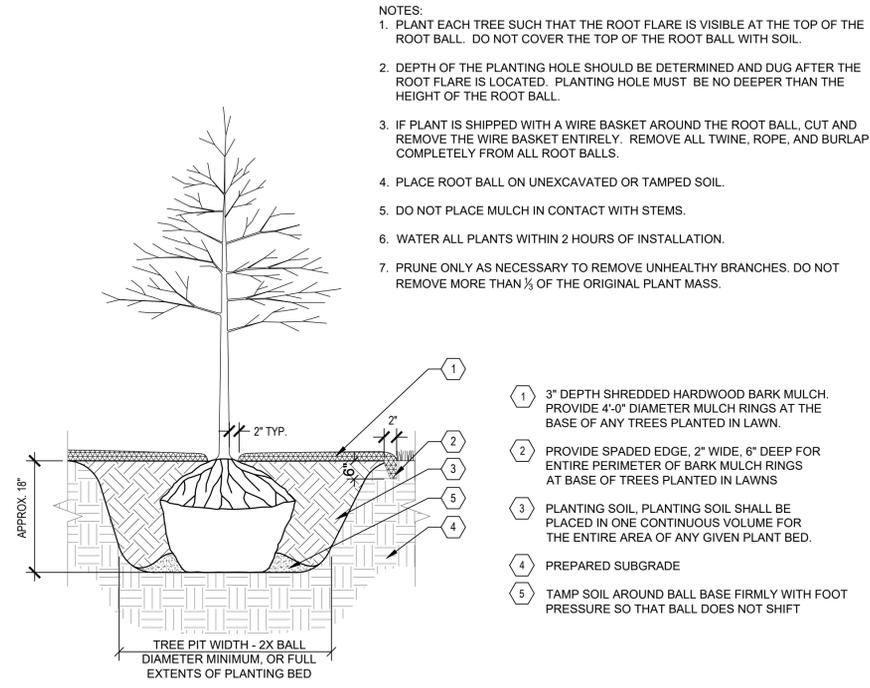
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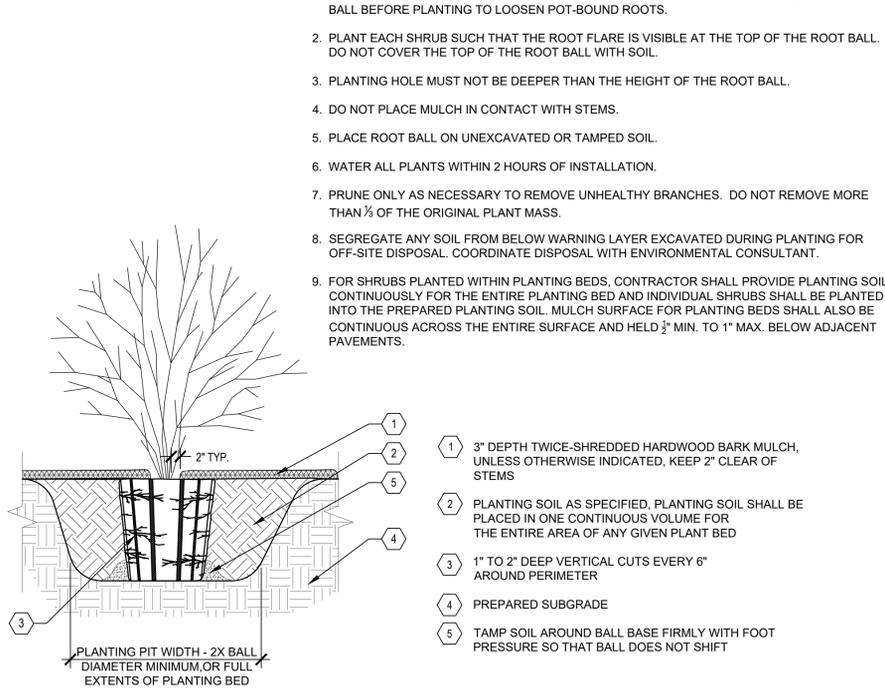
ISSUANCE	DATE
BID SET	2024-10-17
CITY SUBMITTAL	2025-04-17

NO. REVISION	DATE
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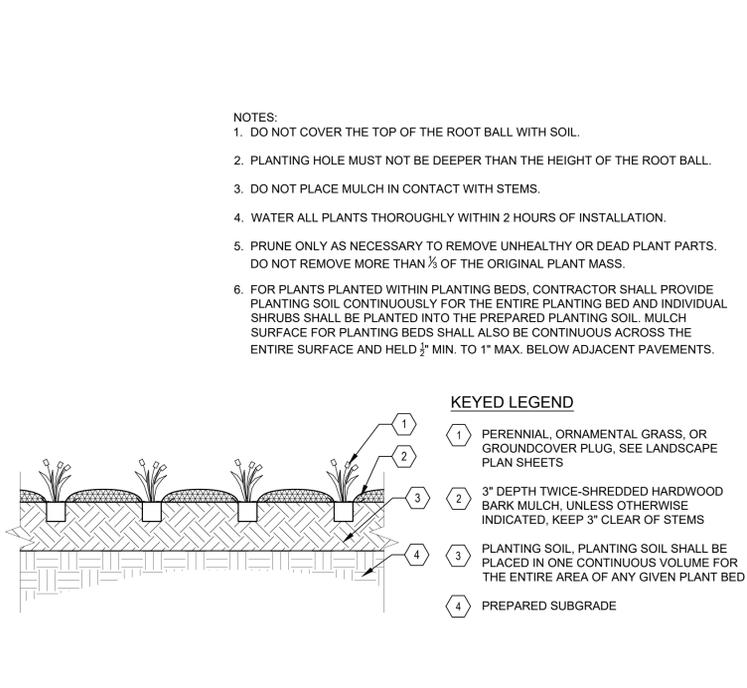
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DESIGN DATE:	---
PLOT DATE:	2025.04.17
DRAWN BY:	HLY
CHECKED BY:	TPM
APPROVED BY:	PJI
SHEET NO:	L200



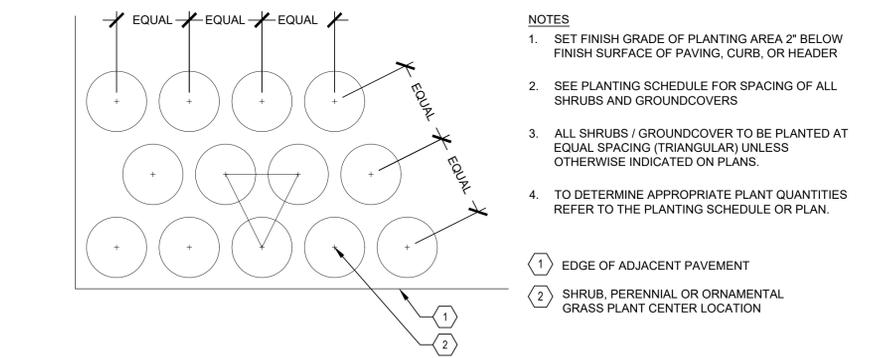
A TYPICAL TREE PLANTING
 SCALE: N.T.S.



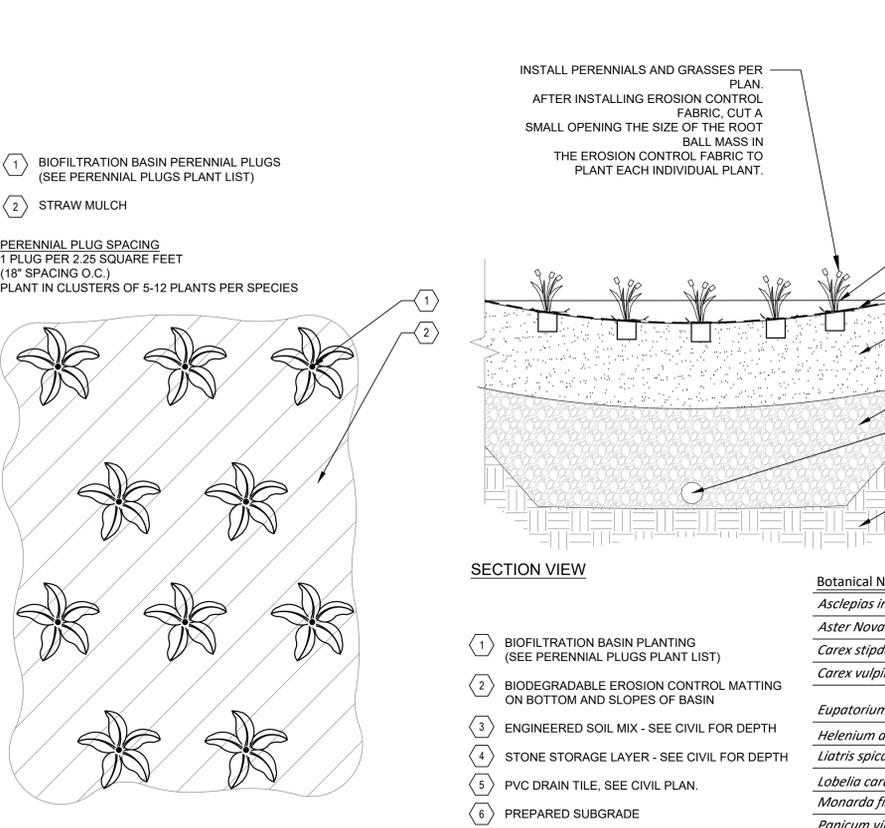
B TYPICAL SHRUB PLANTING
 SCALE: N.T.S.



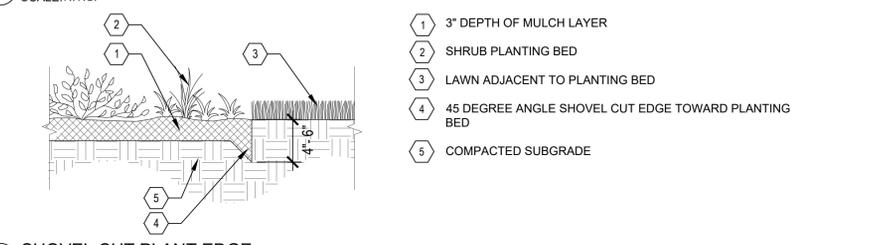
C TYPICAL PERENNIAL & ORNAMENTAL GRASS PLANTING
 SCALE: N.T.S.



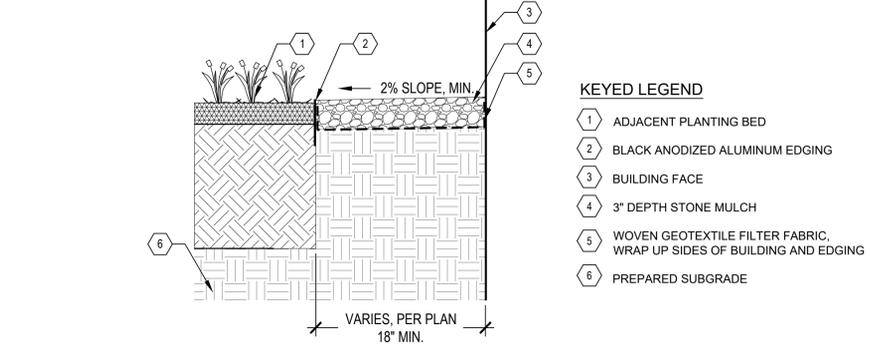
D TYPICAL PLANT SPACING
 SCALE: N.T.S.



E BIOFILTRATION PLUG PLANTING
 SCALE: N.T.S.



F SHOVEL CUT PLANT EDGE
 SCALE: N.T.S.

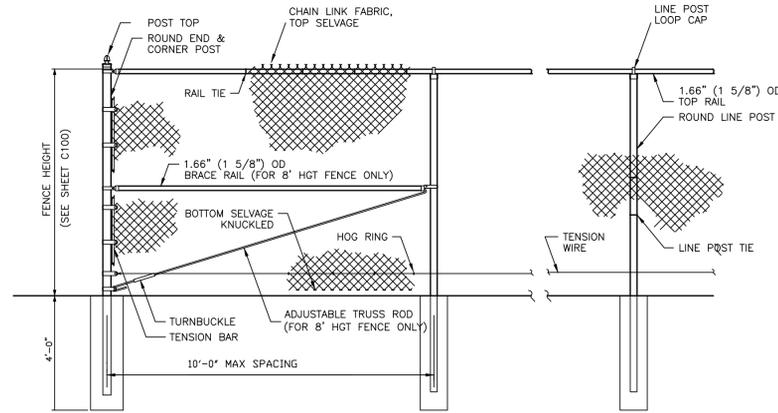


G STONE MAINTENANCE EDGE
 SCALE: N.T.S.

Botanical Name	Common Name	Quantity	Size	Comments
<i>Asclepias incarnata</i>	Marsh Milkweed	5	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Aster Nova-angliae</i>	New England Aster	8	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Carex stipitata</i>	Common Fox Sedge	5	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Carex vulpinoidea</i>	Brown Fox Sedge	8	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Eupatorium maculatum</i>	Spotted Joe Pye Weed	8	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Helenium autumnale</i>	Sneezeweed	8	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Liatris spicata</i>	Marsh Blazingstar	8	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Labelia cardinalis</i>	Cardinal Flower	8	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Manarda fistulosa</i>	Wild Bergamot	8	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Panicum virgatum</i>	Switchgrass	8	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Ratibida pinnata</i>	Yellow Coneflower	8	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Rudbeckia hirta</i>	Black-Eyed Susan	8	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Scirpus atrovirens</i>	Dark-Green Bulrush	8	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Scirpus cyperinus</i>	Wool Grass	8	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Spartina pectinata</i>	Prairie Cordgrass	8	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Tradescantia ohiensis</i>	Ohio Spiderwort	8	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Verbena hastata</i>	Blue Vervain	5	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species
<i>Vernonia fasciculata</i>	Ironweed	5	Round Tapered Plug	24" O.C. in clusters of 5-12 plants per species

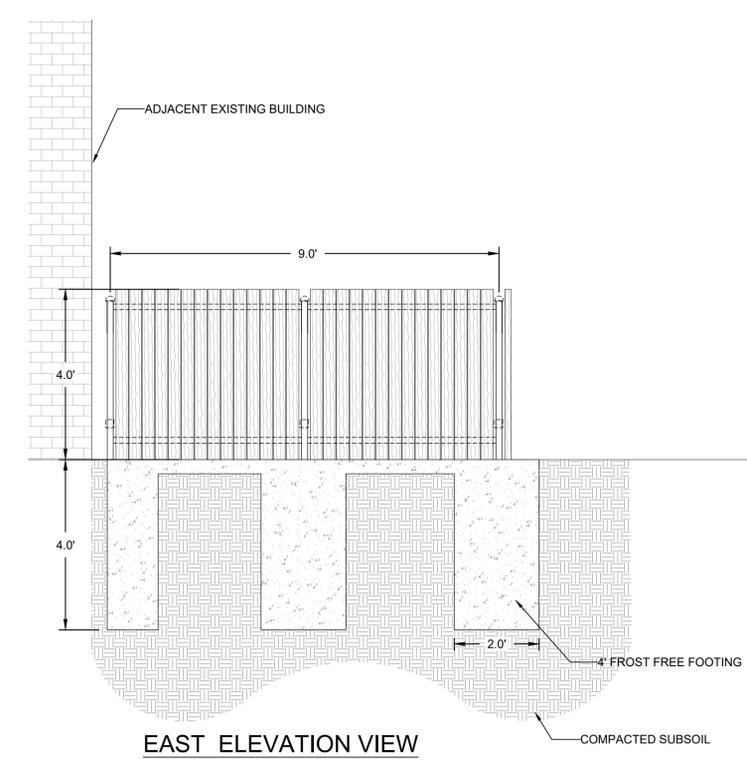
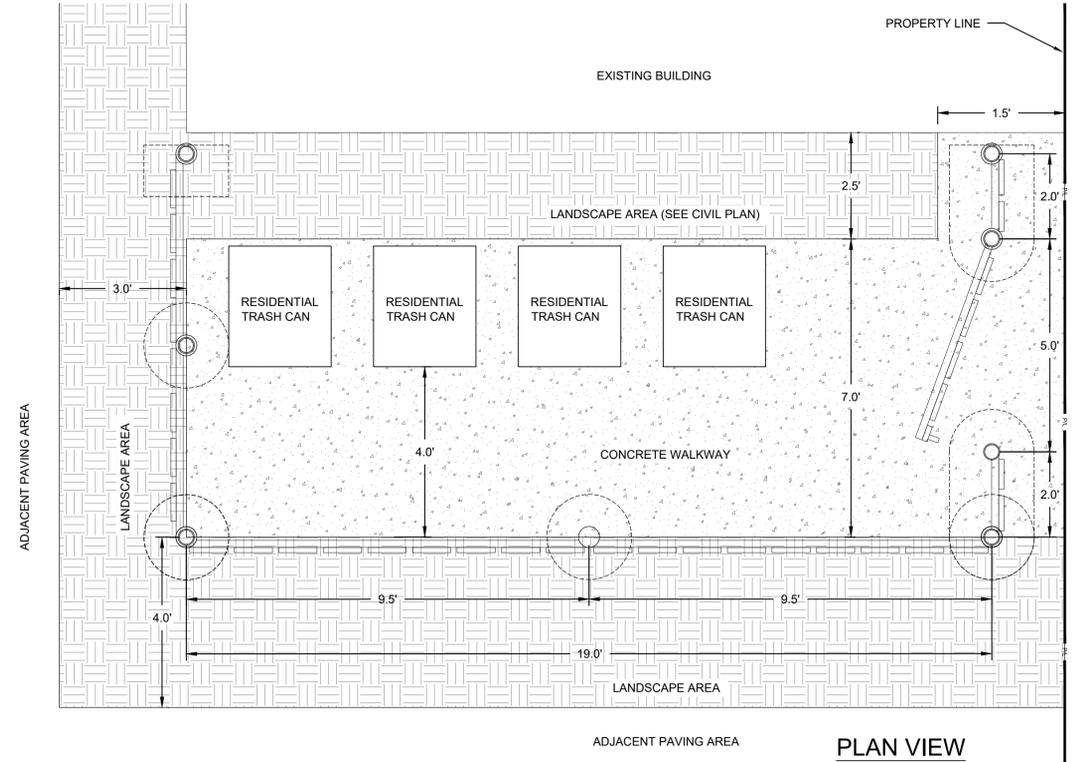
NOTES:

THE FENCING LAYOUT SHOWN IS SCHEMATIC AND THE FENCING CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL DESIGN AND LAYOUT. THE FENCING CONTRACTOR SHALL HYDRO-VAC THE PROPOSED FENCE POST LOCATIONS PRIOR TO COMMENCING INSTALLATION TO VERIFY THAT NO UNDERGROUND UTILITIES EXIST IN THAT AREA THAT WOULD INTERFERE WITH INSTALLATION. THE FENCING CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WORK. SHOP DRAWINGS SHALL INDICATE FENCE LAYOUT, SPACING OF COMPONENTS, POST FOUNDATION DIMENSIONS, HARDWARE ANCHORAGE, AND SCHEDULE OF COMPONENTS.



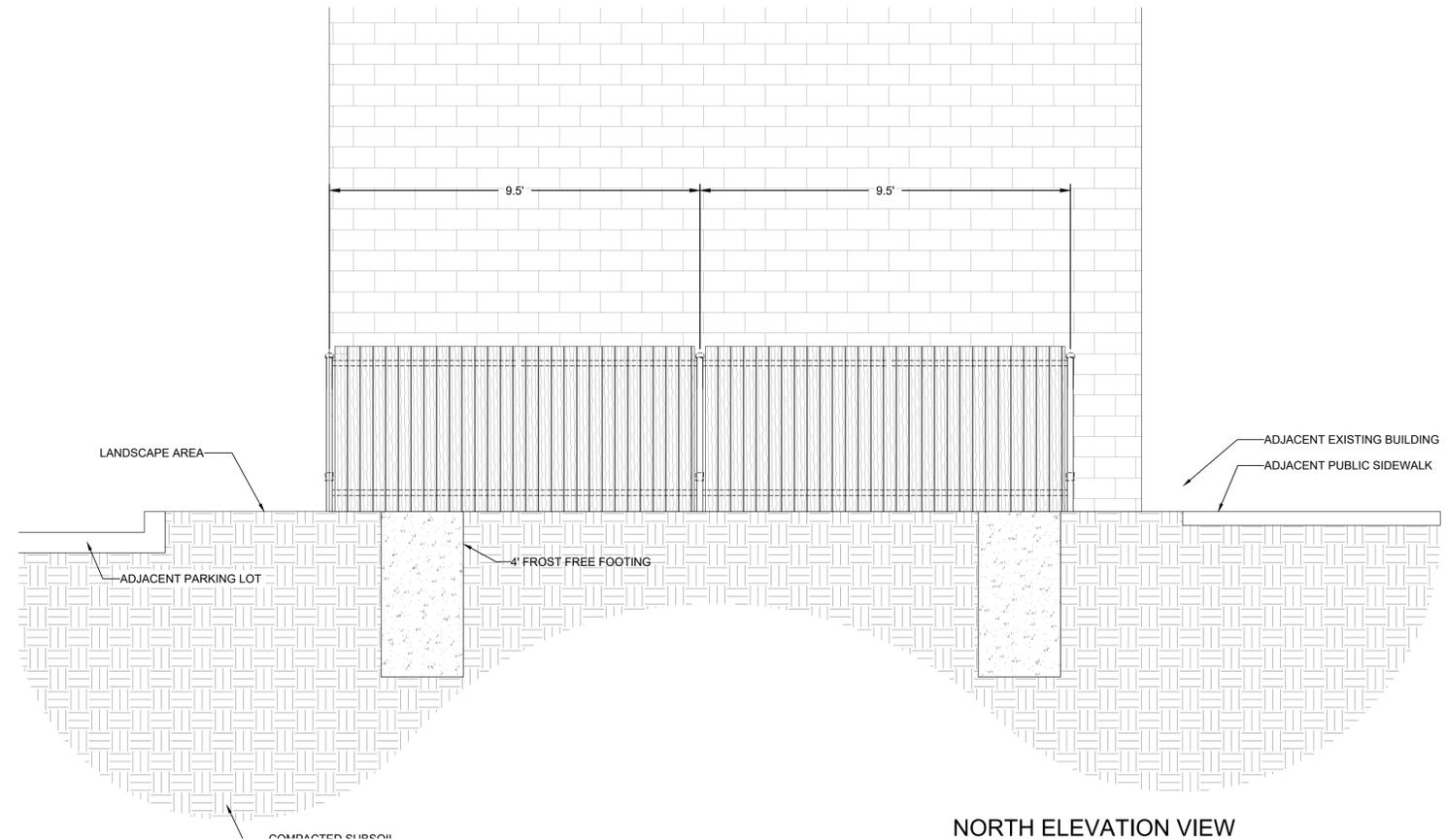
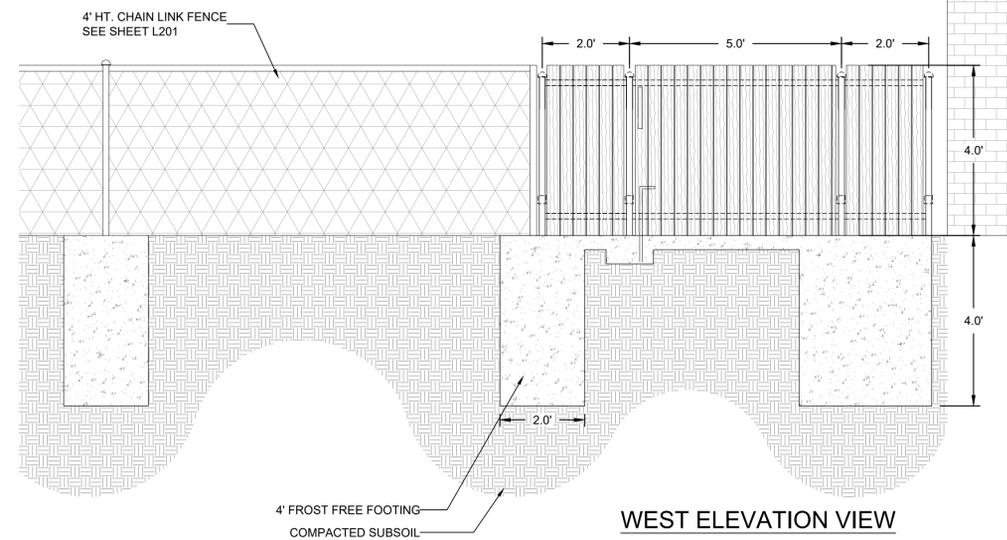
A 4' HT - BLACK VINYL COATED CHAIN LINK FENCE
 SCALE: NTS

DESIGN INTENT



DUMPSTER ENCLOSURE DETAIL

- 6' HIGH CEDAR DUMPSTER ENCLOSURE FENCE
- TWO 10'-0" WIDE DOUBLE DOOR SWING GATES
- GATES TO HAVE ROUND 2" O.D. GALVANIZED STEEL WELDED FRAME AND USE STANDARD FENCE INDUSTRY HINGES
- 1" X 6" X 8' CEDAR BOARDS WILL BE MOUNTED TO OUTSIDE OF GATE FRAMEWORK AND ENTIRE ENCLOSURE FRAME
- GATE POSTS 4" O.D., BALANCE OF POSTS 3" O.D. Sch-40 OR SS40 GRADE GALVANIZED STEEL SET IN 12"X48" CONCRETE FOOTINGS AT 8' ON CENTER MAX.
- GALVANIZED STEEL ADAPTER BRACKETS TO CONNECT 2 X 4 DIRECTLY TO STEEL POSTS
- GATE TO HAVE A HANDLES, CENTER LATCHING MECHANISM AND 2-CANE BOLT GROUND PINS
- CONTRACTOR TO SUBMIT SHOP DRAWING FOR APPROVAL.



B TRASH SCREENING ENCLOSURE - DESIGN INTENT
 SCALE: NTS

401 WISCONSIN AVE REDEVELOPMENT
 401 WISCONSIN AVE
 RACINE, WI
 LANDSCAPE DETAILS

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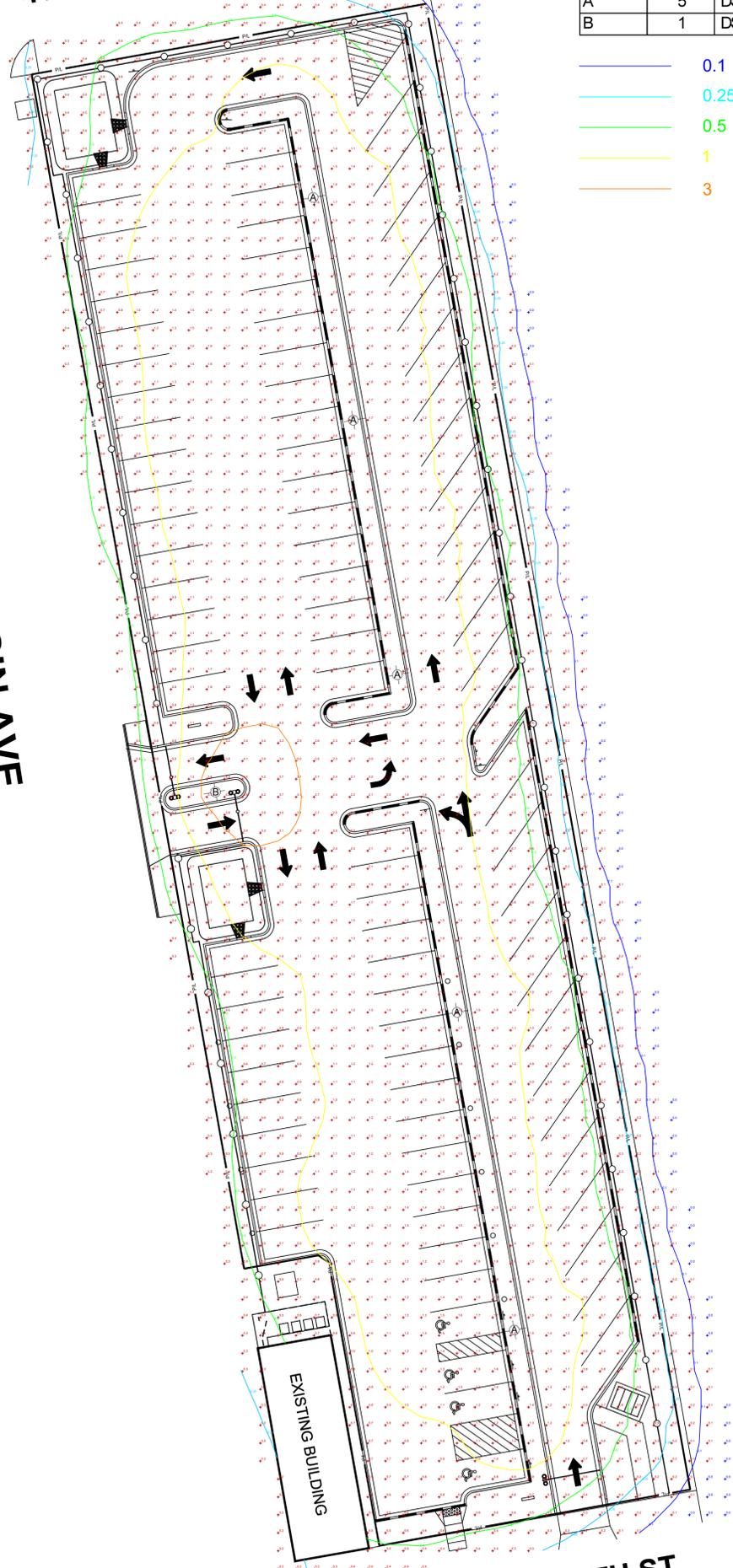
ISSUANCE	DATE
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CITY SUBMITTAL	2025-04-17

NO. REVISION	DATE

PROJECT NO:	21968
DESIGN DATE:	---
PLOT DATE:	2025.04.17
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CHECKED BY:	TPM
APPROVED BY:	PJI
SHEET NO:	L201

4TH ST

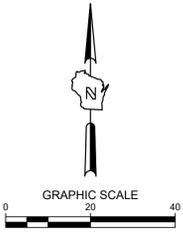
WISCONSIN AVE



Label	Quantity	Catalog Number	Description	Mount Height	Lamp	Lamp Lumens	Watts
A	5	DSX1 LED P4 30K 70CRI T5W EGS	D-Series Size 1 Area Luminaire P4 Performance Package Type 5 Wide External Glare Shield	20FT	3000K CCT 70 CRI	11282	124
B	1	DSX1 LED P1 30K 70CRI T5FM EGS	D-Series Size 1 Area Luminaire P1 Performance Package Forward Throw External Glare Shield	15FT	3000K CCT 70 CRI	6568	51

- 0.1
 - 0.25
 - 0.5
 - 1
 - 3
- Minimum: 0.3FC
Maximum: 4.6FC
Average: 1.5FC

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 Milwaukee, WI 53233
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 Fax: 414-643-4210



401 WISCONSIN AVE REDEVELOPMENT
 401 WISCONSIN AVE
 RACINE, WI
 LIGHTING PLAN

**PRELIMINARY
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 CONSTRUCTION**

ISSUANCE	DATE
BID SET	2024-10-17

NO. REVISION	DATE

PROJECT NO:	21968
DESIGN DATE:	---
PLOT DATE:	2025.04.18
DRAWN BY:	---
CHECKED BY:	TPM
APPROVED BY:	PJI

SHEET NO:
LT100

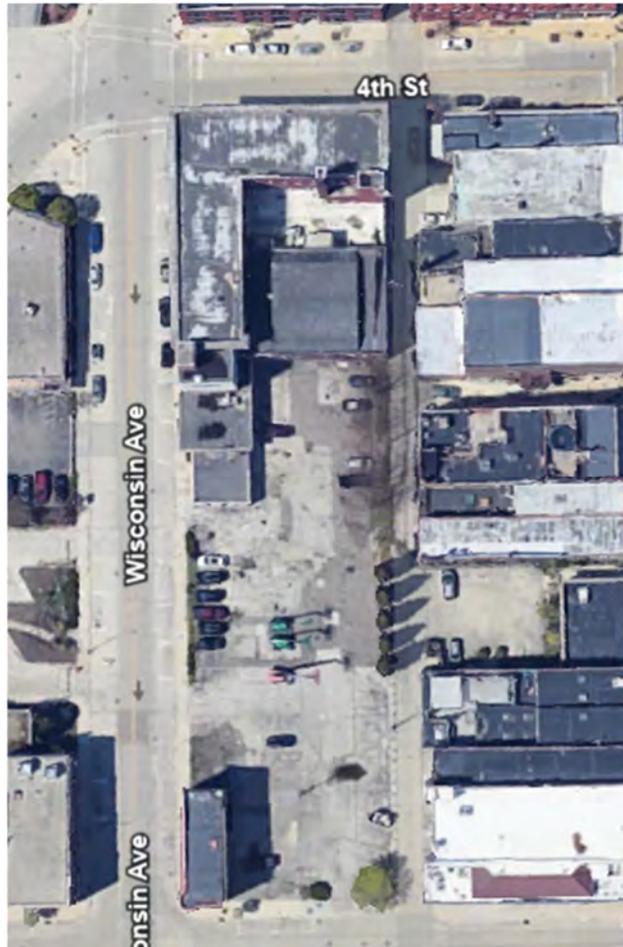


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STORMWATER MANAGEMENT REPORT

DOMINION PROPERTIES REDEVELOPMENT
401 W WISCONSIN AVE / 222 FIFTH STREET
RACINE, WISCONSIN



PREPARED FOR

Dominion 12, LLC
2025 N. Summit Avenue
Milwaukee, WI 563202

PREPARED BY



Project Number – 21968
04/17/2025

Allyson Kuske.
Project Engineer

Paul Imig P.E.
Civil Engineering Group Leader

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2. Existing Conditions Summary..... 3

3. Proposed Conditions Summary..... 3

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5. Description of Proposed Storm Water Management Facilities 4

6. Modeling and Calculations..... 4

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8. Maintenance Plan 5

9. Conclusion..... 5

Figures

SW 1.0 – Existing Stormwater Conditions

SW 2.0 – Proposed Stormwater Conditions

Appendices

- 1. Appendix A – Stormwater Figures
- 2. Appendix B – Stormwater Quality (WinSLAMM) Modeling
- 3. Appendix C – Stormwater Maintenance Agreement

1. Introduction

This report presents the proposed storm water management plan, including requirements and methods of analysis for the proposed Dominion Properties parking lot. The project site is located at 401 Wisconsin Avenue & 222 Fifth Street, Racine, WI.

This project involves the redevelopment of a former parking lot with two existing buildings. The historic building located at 436 Main Street (Hay market building) will be renovated for retail and residential use. The existing building on north side of parcel will be demolished. A new surface parking lot will be created on the approximate 0.93-acre parcel to service additional parking of the hotel development across the street.

Two biofiltration basins are proposed in order to provide storm water management to meet municipal and state requirements. The outlet control structures of the biofiltration basins will discharge to the existing public storm sewer in Wisconsin Avenue.

2. Existing Conditions Summary

The total project site is 1.095-acres in area and is comprised of two parcels: 401 W Wisconsin Avenue (1.057 acres) and 222 Fifth Street (.038 acres). The project site is bound by Fifth Street to the south, a public alley to the east, Wisconsin Avenue on the west, and 4th Street to the north. A public sidewalk directly surrounds the property on the south (5th Street), the west (Wisconsin Avenue), and the north (4th Street). The existing lot currently has a vacant building of approximately 16,161 SF on the north end that is to be demolished by others. The existing building on the 222 Fifth Street parcel will remain.

In general, the site slopes from the south to the north, with the existing (north) building FFE at approximately 618.50. The south has a drive opening roughly 3 feet higher than the FF. There are two existing catch basins at low points on the site which collect storm water runoff from the existing pavement on site. The private on-site storm network conveys stormwater from inlets and roof drains to the existing public storm sewer within Wisconsin Ave. The total disturbance area is approximately 1.066 acres (46431 SF). The disturbed area contains approximately 26,710 square feet of existing pavement, 17,620 square feet of existing building, and 2,101 square feet of landscape/green area. Approximately 95.5% of the disturbed area is considered impervious. An existing conditions survey is included in the preliminary civil plans attached to this report.

3. Proposed Conditions Summary

The redevelopment project consists of demolition of an existing building on the 401 Wisconsin Avenue parcel and parking lot to allow for the construction of a surface parking lot and site infrastructure including drives, utilities, and two biofiltration basins to meet the storm water requirements for the project.

The project will disturb approximately 1.066 acres (46,431 SF) of land. Under the redeveloped conditions, storm water from the redevelopment area will utilize two biofiltration basins to achieve the required Total Suspended Solids (TSS) removal prior to being discharged to existing

storm sewer which will ultimately connect into the existing public storm water system in Wisconsin Ave. Refer to the attached site civil plans.

4. Storm Water Management Requirements

The project is considered a redevelopment and will disturb more than one acre of land, as a result the project will be subject to the following storm water management requirements under WDNR NR 151 and City of Racine storm water management regulations.

WDNR NR 151

For redevelopment, by design, reduce to the maximum extent practicable, the total suspended solids load by 40 percent, based on the average annual rainfall, as compared to no runoff management controls. No person shall be required to exceed a 40 percent total suspended solids reduction to meet the requirements of this subdivision.

5. Description of Proposed Storm Water Management Facilities

Storm water treatment requirements for the redeveloped will be achieved using two separate biofiltration basins.

The first bio area is in the northwest corner of the site. This bio treats roughly the north half of the surface parking lot stormwater runoff of approximately 21,963 SF, beginning at the west entrance of the lot. Bio 1 has a surface area of 514 square feet and a bottom area of 283 square feet with a 2.5' gravel storage depth and a 2.5' depth of engineered soil per wdnr's technical standard.

The second bio is located at the west side of the site near the surface lot entrance on Wisconsin Ave and collects approximately 19,883 SF of stormwater runoff. A catch basin collecting stormwater on the east parking lot feeds into bio 2 which has a surface area of 430 square feet and a bottom area of 219 square feet with a 2.0' gravel storage depth and a 3.0' depth of engineered soil.

6. Modeling and Calculations

WinSLAMM v10.4 were used for quality control calculations, respectively.

Based on the NRCS soils data for the site, the native soils are type C soils (CN = 74), as used in the modeling. Refer to the NRCS soil Data in Appendix B.

7. Summary of Modeling/Calculations

A summary of results can be viewed in the tables below:

Water Quality (TSS Reduction) Summary Table:

Total Drainage Area (AC)	Pounds of TSS Loading Without Controls (lbs)	Pounds of TSS Remaining With Control Treatment (lbs)	Removal Rate
1.066	549.3	265.7	51.63%

The biofiltration basins will remove more than 40% TSS required by WDNR and City regulations.

8. Maintenance Plan

The Owner will be responsible for the regular inspection of the storm water management facilities to ensure that they are functioning properly, and the Owner will be required to enter into a storm water maintenance agreement with the City. A draft of the storm water maintenance agreement including a listing of inspection and maintenance activities with frequencies is included in Appendix D.

9. Conclusion

Based on Sigma's evaluation, the proposed storm water management approach as summarized in this report and presented on the attached plans and attachments, meets City, and WDNR storm water management requirements for both flow control and TSS removal

Appendix A

Stormwater Figures

24" I.E. N.& S. = 601.0

CATCH BASIN
GRATE = 612.55
15" I.E. N. = 606.8
15" I.E. S. = 607.0
12" I.E. E. = 606.9

CATCH BASIN
GRATE = 612.82
15" I.E. N. = 607.2
12" I.E. S. = 607.2
12" I.E. E. =

STORM MH.
RIM = 617.01
12" I.E. N. & S. = 609.5
10" I.E.E. = 610.4
10" I.E. SW. = 611.7

STORM MH.
RIM = 620.5
12" I.E. N. & W. = 612.2
12" I.E. E. = 612.4

SANITARY MH.
RIM = 620.67

4TH ST

WISCONSIN AVE

CATCH BASIN
GRATE = 615.84
12" I.E. NW. = 610.1
8" I.E. SW. = 610.1

CATCH BASIN
GRATE = 616.08
8" I.E. NE. = 612.6

CATCH BASIN
GRATE = 617.94
12" I.E. W. = 610.1

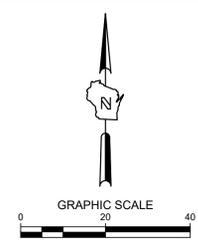
CATCH BASIN
GRATE = 617.33
10" I.E. W. = 613.5

CATCH BASIN
GRATE = 620.18
12" I.E. S. & W. = 614.0

5TH ST

SUBCATCHMENT AREA 1			
Tc = 6.0 min.	SF	ACRE	CN
EXISTING			
GREENSPACE	2101	0.05	74
PAVEMENT	26711	0.61	98
ROOF	17620	0.40	98
TOTAL	46432	1.07	97

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LEGEND:

- PL — PROPERTY LINE
- SUBCATCHMENT AREAS
- EXISTING BUILDING
- EXISTING GREENSPACE

401 WISCONSIN AVE REDEVELOPMENT
 401 WISCONSIN AVE
 RACINE, WI
 STORMWATER MANAGEMENT - EXISTING CONDITIONS

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ISSUANCE	DATE
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PROJECT NO:	21968
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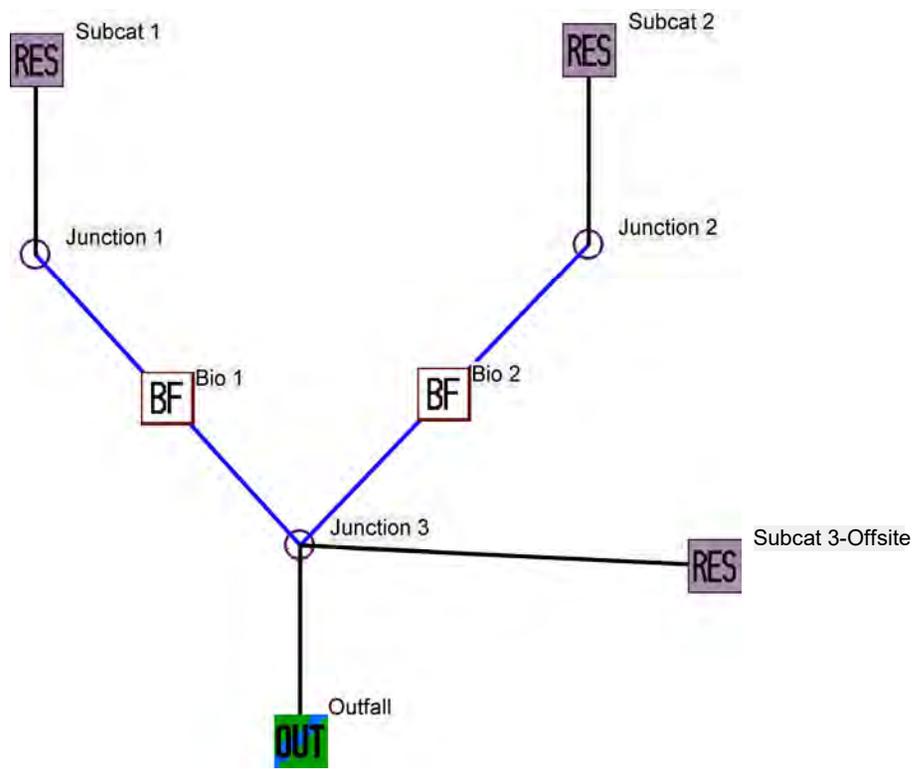
Tc CALCULATION RESULTED IN A Tc OF 2.2 MIN. THEREFORE THE MINIMUM OF 6 MINUTES WAS USED IN THE CALCULATIONS.

SHALLOW CONC. FLOW
 179.81 LF @ 1.56%

SHEET FLOW
 67.89 LF @ 1.87%

Appendix C

Stormwater Quality (WinSLAMM) Modeling



Data file name: I:\Dominion Properties\21968 436 Main Street 401 Wisconsin Racine\060 CAD\800_SWMP\040_WinSLAMM\21968 - Dominion Properties Racine.mdb

WinSLAMM Version 10.5.0

Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Milwaukee WI 1969.RAN

Particulate Solids Concentration file name: C:\WinSLAMM Files\v10.1 WI_AVG01.pscx

Runoff Coefficient file name: C:\WinSLAMM Files\WI_SL06 Dec06.rsvx

Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std

Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance: False

Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GEO03.ppdx

Source Area PSD and Peak to Average Flow Ratio File: C:\WinSLAMM Files\NURP Source Area PSD Files.csv

Cost Data file name:

Seed for random number generator: -42

Study period starting date: 01/05/69 Study period ending date: 12/31/69

Start of Winter Season: 12/06 End of Winter Season: 03/28

Date: 10-14-2024 Time: 10:40:59

Site information:

LU# 1 - Residential: Subcat 1 Total area (ac): 0.472

13 - Paved Parking 1: 0.407 ac. Connected PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 0.065 ac. Normal Silty PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 2 - Residential: Subcat 2 Total area (ac): 0.489

13 - Paved Parking 1: 0.426 ac. Connected PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 0.063 ac. Normal Silty PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 3 - Residential: Subcat 3-Offsite Total area (ac): 0.105

25 - Driveways 1: 0.019 ac. Connected PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 0.086 ac. Normal Silty PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

Control Practice 1: Biofilter CP# 1 (DS) - Bio 1

1. Top area (square feet) = 514

2. Bottom area (square feet) = 283

3. Depth (ft): 6

4. Biofilter width (ft) - for Cost Purposes Only: 10

5. Infiltration rate (in/hr) = 0.04

6. Random infiltration rate generation? No

7. Infiltration rate fraction (side): 0.001

8. Infiltration rate fraction (bottom): 0.001

9. Depth of biofilter that is rock filled (ft) 2.5

10. Porosity of rock filled volume = 0.4

11. Engineered soil infiltration rate: 3.6

12. Engineered soil depth (ft) = 2.5

13. Engineered soil porosity = 0.25

14. Percent solids reduction due to flow through engineered soil = 80

15. Biofilter peak to average flow ratio = 3.8

16. Number of biofiltration control devices = 1

17. Particle size distribution file: Not needed - calculated by program

18. Initial water surface elevation (ft): 0

Soil Data Soil Type Fraction in Eng. Soil

User-Defined Media Type 1.000

Biofilter Outlet/Discharge Characteristics:

Outlet type: Broad Crested Weir

1. Weir crest length (ft): 10

2. Weir crest width (ft): 10

3. Height of datum to bottom of weir opening: 5.5

Outlet type: Vertical Stand Pipe

1. Stand pipe diameter (ft): 2

2. Stand pipe height above datum (ft): 5.25

Outlet type: Drain Tile/Underdrain

1. Underdrain outlet diameter (ft): 0.5

2. Invert elevation above datum (ft): 0

3. Number of underdrain outlets: 1

Control Practice 2: Biofilter CP# 2 (DS) - Bio 2

1. Top area (square feet) = 430
2. Bottom area (square feet) = 219
3. Depth (ft): 7
4. Biofilter width (ft) - for Cost Purposes Only: 10
5. Infiltration rate (in/hr) = 0.04
6. Random infiltration rate generation? No
7. Infiltration rate fraction (side): 0.001
8. Infiltration rate fraction (bottom): 0.001
9. Depth of biofilter that is rock filled (ft) 2
10. Porosity of rock filled volume = 0.4
11. Engineered soil infiltration rate: 3.6
12. Engineered soil depth (ft) = 3
13. Engineered soil porosity = 0.25
14. Percent solids reduction due to flow through engineered soil = 80
15. Biofilter peak to average flow ratio = 3.8
16. Number of biofiltration control devices = 1
17. Particle size distribution file: Not needed - calculated by program
18. Initial water surface elevation (ft): 0

Soil Data Soil Type Fraction in Eng. Soil

User-Defined Media Type 1.000

Biofilter Outlet/Discharge Characteristics:

Outlet type: Broad Crested Weir

1. Weir crest length (ft): 10
2. Weir crest width (ft): 10
3. Height of datum to bottom of weir opening: 6.5

Outlet type: Vertical Stand Pipe

1. Stand pipe diameter (ft): 2
2. Stand pipe height above datum (ft): 6.25

Outlet type: Drain Tile/Underdrain

1. Underdrain outlet diameter (ft): 0.5
2. Invert elevation above datum (ft): 0
3. Number of underdrain outlets: 1

Data file name: I:\Dominion Properties\21968 436 Main Street 401 Wisconsin Racine\060 CAD\800_SWMP\040_WinSLAMM\21968 - Dominion Properties Racine.mdb
WinSLAMM Version 10.5.0
Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Milwaukee WI 1969.RAN
Particulate Solids Concentration file name: C:\WinSLAMM Files\v10.1 WI_AVG01.pscx
Runoff Coefficient file name: C:\WinSLAMM Files\WI_SL06 Dec06.rsvx
Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GEO03.ppd
Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std
Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance: False
Source Area PSD and Peak to Average Flow Ratio File: C:\WinSLAMM Files\NURP Source Area PSD Files.csv
Cost Data file name:
Seed for random number generator: -42
Study period starting date: 01/05/69 Study period ending date: 12/31/69
Start of Winter Season: 12/06 End of Winter Season: 03/28
Model Run Start Date: 01/05/69 Model Run End Date: 12/31/69
Date of run: 10-14-2024 Time of run: 10:42:06
Total Area Modeled (acres): 1.066
Years in Model Run: 0.99

	Runoff Volume (cu ft)	Percent Runoff Volume Reduction	Particulate Solids Conc. (mg/L)	Particulate Solids Yield (lbs)	Percent Particulate Solids Reduction
Total of all Land Uses without Controls:	66578	-	132.2	549.3	-
Outfall Total with Controls:	66638	-0.09%	63.86	265.7	51.63%
Annualized Total After Outfall Controls:	67564			269.4	

Biofilter # 1 is expected to clog in 3.54 years.. Percent Solids Reduction due to Engineered Media = 80
Biofilter # 2 is expected to clog in 2.36 years.. Percent Solids Reduction due to Engineered Media = 80

Appendix D

Stormwater Maintenance Agreement

AGREEMENT FOR THE INSPECTION AND MAINTENANCE OF STORMWATER MANAGEMENT PRACTICES

This Agreement is made this _____ day of _____, 2024, by and between Dominion 12, LLC, and City of Racine, a municipal corporation.

RECITALS:

A. Dominion 12, LLC (“Owner”) is the owner of the property located at 401 W Wisconsin Ave. and 222 5th St, Racine, Wisconsin (the “Property”), more particularly described on Exhibit A attached hereto.

B. The Owner desires to construct stormwater management practices on the Property in accordance with certain plans and specifications approved by the City of Racine (the “City”). Exhibit B.

C. The Code of Ordinances of the City of Racine section 98-410 requires the Owner agrees to maintain the Stormwater Management Practices and to grant to the City the rights set forth below.

NOW, THEREFORE, in consideration of the covenants herein and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Owner agrees as follows:

- Maintenance. Owner and their successors and assigns shall be responsible to inspect, repair and maintain the Stormwater Management Practices located on the 401 Wisconsin Ave surface parking lot Property in good condition and in working order such that the specific inspection and maintenance tasks comply with the approved schedule as shown on Exhibit B. Said maintenance shall be solely at the Owner’s cost and expense. Owner will conduct such maintenance or repair work in accordance with all applicable laws, codes, regulations, and similar requirements. Any specific maintenance tasks and their schedules shall be conducted in accordance with Exhibit B, and Owner shall maintain all inspection and maintenance records for a minimum of seven full-calendar years. Owner shall provide these inspection and maintenance records to City for inspection and/or copying, or shall provide copies of the records, within 14 days of the issuance of a written request.
- Easement to City. If Owner fails to maintain the Stormwater Management Practices as required in Section 1, then the City shall have the right, after providing Owner with written notice of the maintenance issue (each, a “Maintenance Notice”) and thirty (30) days to comply with the City’s Maintenance Notice, to enter that portion of Property, in

This space reserved for recording data

Return to:
City of Racine
730 Washington Av Room 304
Racine, WI 53403

PIN#:

order to conduct the maintenance specified in the Maintenance Notice. The City will conduct such maintenance work in accordance with all applicable laws, codes, regulations, and similar requirements and will not unreasonably interfere with Owner's use of the Property. All costs and expenses incurred by the City in conducting such maintenance may be charged to Owner by placing the amount on the tax roll for the Property as a special assessment in accordance with Section 66.0703, Wis. Stats.

3. Term/Termination. The term of this Agreement shall commence on the date that this Agreement is filed of record with the Register of Deeds Office for Racine County, Wisconsin, and except as otherwise herein specifically provided, shall continue in perpetuity. Notwithstanding the foregoing, this Agreement may be terminated by recording with the Register of Deeds Office for Racine County, Wisconsin, a written instrument of termination signed by the City and all of the then-owners of the Property.

4. Miscellaneous.

(a) Notices. Any notice, request or demand required or permitted under this Agreement shall be in writing and shall be deemed given when personally served or three (3) days after the same has been deposited with the United States Post Office, registered or certified mail, return receipt requested, postage prepaid and addressed as follows:

If to Owner: Dominion 12, LLC
 2025 N Summit Ave.
 Milwaukee, WI 53202

If to the City: City of Racine – City Engineer
 730 Washington Avenue, Room 304
 Racine, WI 53403

Any party may change its address for the receipt of notice by written notice to the other.

(b) Governing Law. This Agreement shall be governed and construed in accordance with the laws of the State of Wisconsin.

(c) Amendments or Further Agreements to be in Writing. This Agreement may not be modified in whole or in part unless such agreement is in writing and signed by all parties bound hereby.

(d) Covenants Running with the Land. All of the easements, restrictions, covenants, and agreements set forth in this Agreement are intended to be and shall be construed as covenants running with the land, binding upon, inuring to the benefit of, and enforceable by the parties hereto and their respective successors and assigns.

- (e) Partial Invalidity. If any provisions, or portions thereof, of this Agreement or the application thereof to any person or circumstance shall, to any extent, be invalid or unenforceable, the remainder of this Agreement, or the application of such provision, or portion thereof, to any other persons or circumstances shall be affected thereby and each provision of this Agreement shall be valid and enforceable to the fullest extent permitted by law.

(SIGNATURE PAGES FOLLOW)

IN WITNESS WHEREOF, the undersigned has caused this Agreement to be duly executed and delivered on the date first set forth above.

CITY OF RACINE

Attest:

Cory Mason, Mayor

Tara Coolidge, City Clerk

ACKNOWLEDGMENT

STATE OF WISCONSIN) SS.
COUNTY OF RACINE)

Personally, came before me this _____ day of _____, 2022, Cory Mason as Mayor, and Tara Coolidge as City Clerk of the City of Racine, to me known to be the person(s) who executed the above instrument for the purposes therein contained and acknowledged the same.

Notary Public, Racine County, State of WI
My commission: _____

Approved as to form:

Scott R. Letteney, City Attorney

ATTENTION OWNER(S): THE CITY OF RACINE REPRESENTATIVES MUST REVIEW THIS DOCUMENT IN ITS ENTIRETY, AND THEN SIGN IT BEFORE A NOTARY. DO NOT RECORD THIS DOCUMENT UNTIL IT HAS BEEN APPROVED BY CITY OF RACINE REPRESENTATIVES.

USE BLACK INK ONLY.

(Owner)

Attest:

ACKNOWLEDGMENT

STATE OF WISCONSIN) SS.
COUNTY OF RACINE)

Personally, came before me this _____ day of _____, 2024, _____, to me known to be the person(s) who executed the above instrument for the purposes therein contained and acknowledged the same.

Notary Public, Racine County, State of WI
My commission: _____

Drafted by:
Racine City Attorney
730 Washington Av
Racine, WI 53403
Ph: 262-636-911

EXHIBIT B

Long-term Stormwater Management Maintenance Provisions

STORMWATER MANAGEMENT PRACTICES

The stormwater management facilities for the site will consist of porous pavement with associated stone storage layer and sumped catch basins along with the storm sewer piping connecting the systems together. These stormwater management facilities are shown on the Location Map and Civil Plans Sheets C100, C300, C401, C402 and C501 attached hereto as part of Exhibit B. The storm water management system is designed to remove a minimum of 40% of sediment runoff and maintain pre-development peak flows. The porous pavement was designed in accordance with Wisconsin Department of Natural Resources Conservation Practice Technical Standard (WDNR TS) 1008.

SPECIFIC INSPECTION AND MAINTENANCE TASKS

Biofiltration Basin

Inspection:

To ensure the proper function of the biofiltration basin, the following activities must be completed on a monthly during the growing season (March – November):

1. Inspect basin for erosion damage.
2. Inspect for litter
3. Inspect the basin inlets and outlet riser for blockage and structural integrity on an annual basis.
4. Inspect the basin for the presence of weeds.
5. Inspect condition of plants in basin for plants that appear to be dead or dying
6. Inspect basin for visible indication of engineered soil clogging or overtopping of the basin.

Maintenance:

1. Remove litter on a regular basis
2. Repair any noted erosion damage. Apply topsoil/seed/mulch/geotextile as necessary to stabilize repaired areas.
3. Water plants as regularly during first growing season; plants should only need watering during periods of drought after establishment.
4. Water plants as needed during drought periods.
5. Remove weeds regularly during the establishment period (first two years) and as needed thereafter; hand weed to prevent compaction of and minimize disturbance of plants; weed after watering or after rain event to minimize disturbance and aid in removal.
6. Remove invasive weeds (Canada thistle, garlic mustard, tree seedlings) immediately; hand weed to prevent compaction of and minimize disturbance of plants; weed after watering or after rain event to minimize disturbance and aid in removal.
7. Remove/replace diseased, dying, or dead plantings as needed

8. When standing water is observed in 50% of the basin floor 3 days after rainfall event it is an indication that the engineered soils have clogged and lost their infiltration capacity and soil maintenance is required; soil maintenance shall consist of remove sediment and replacement top 2 to 3 inches of engineered soil and deep tilling and replacement/re-establishment of plants damaged during soil maintenance activities.
9. Remove any blockage from outlet structure/overflow riser
10. Repair any structural damage to outlet structure/overflow riser

General Site

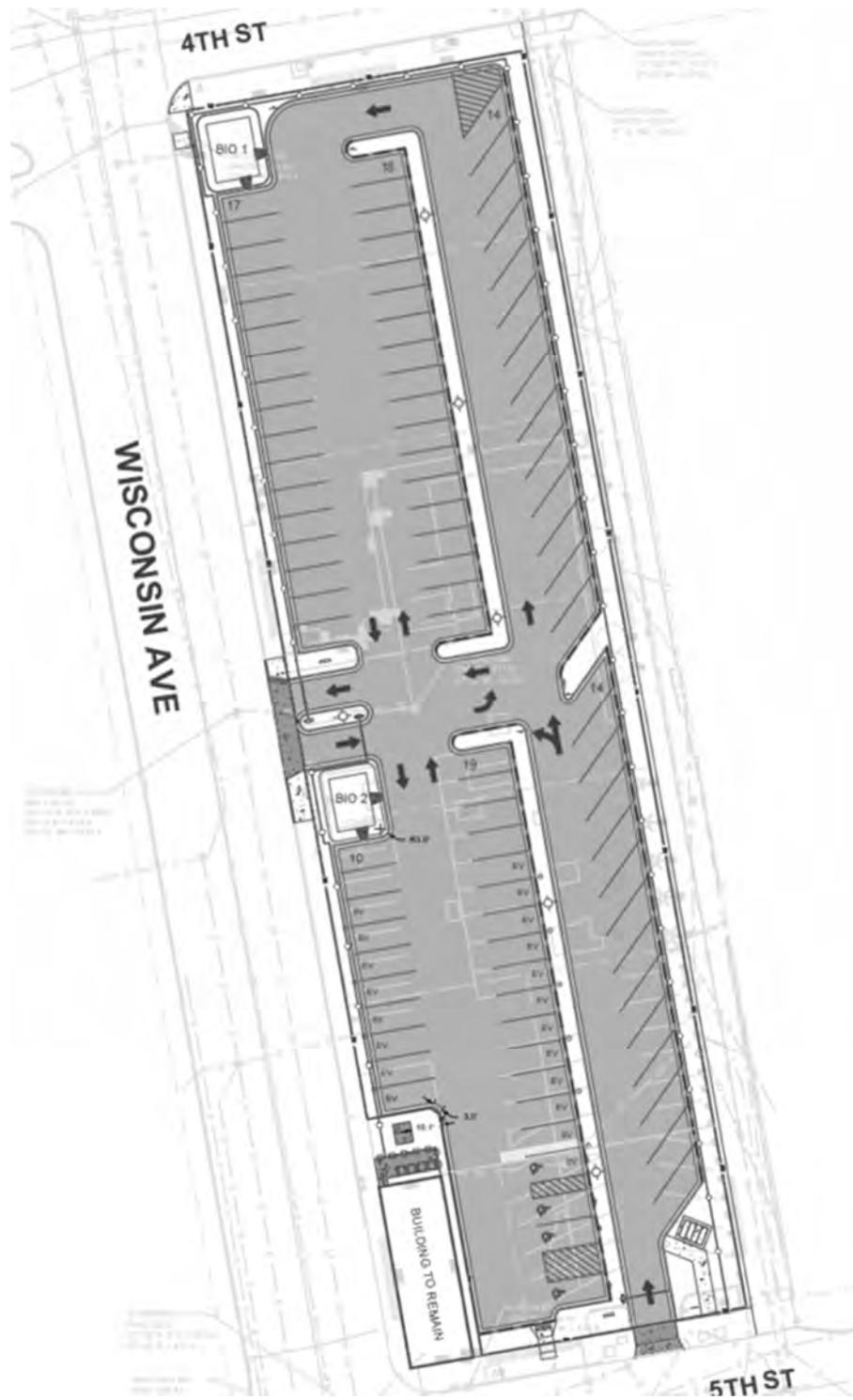
Inspection:

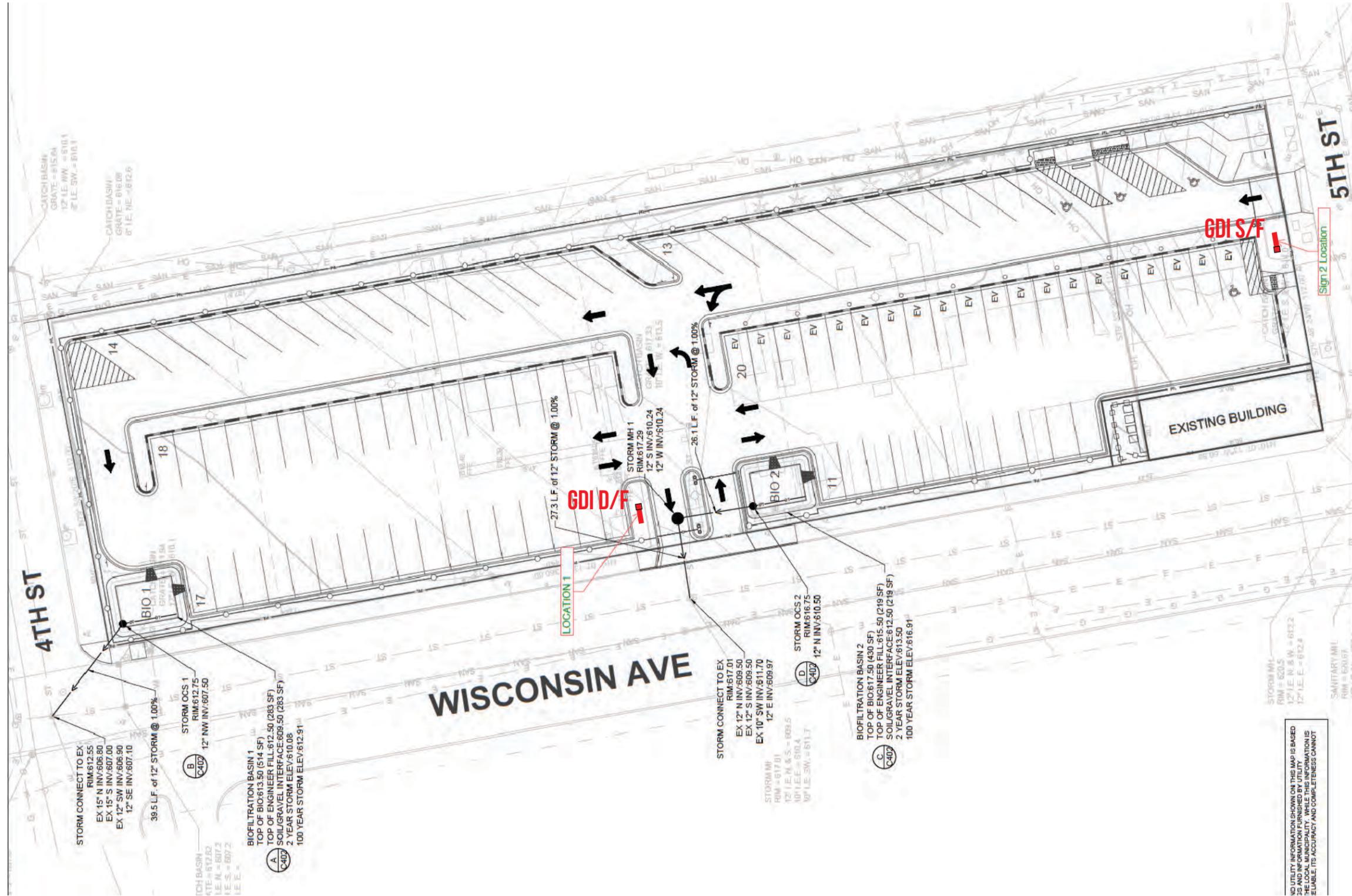
1. Inspect site weekly for litter/debris

Maintenance:

1. Pick up litter debris as needed
2. Power sweep/vacuum parking lot on a semi-annual basis

Location Map

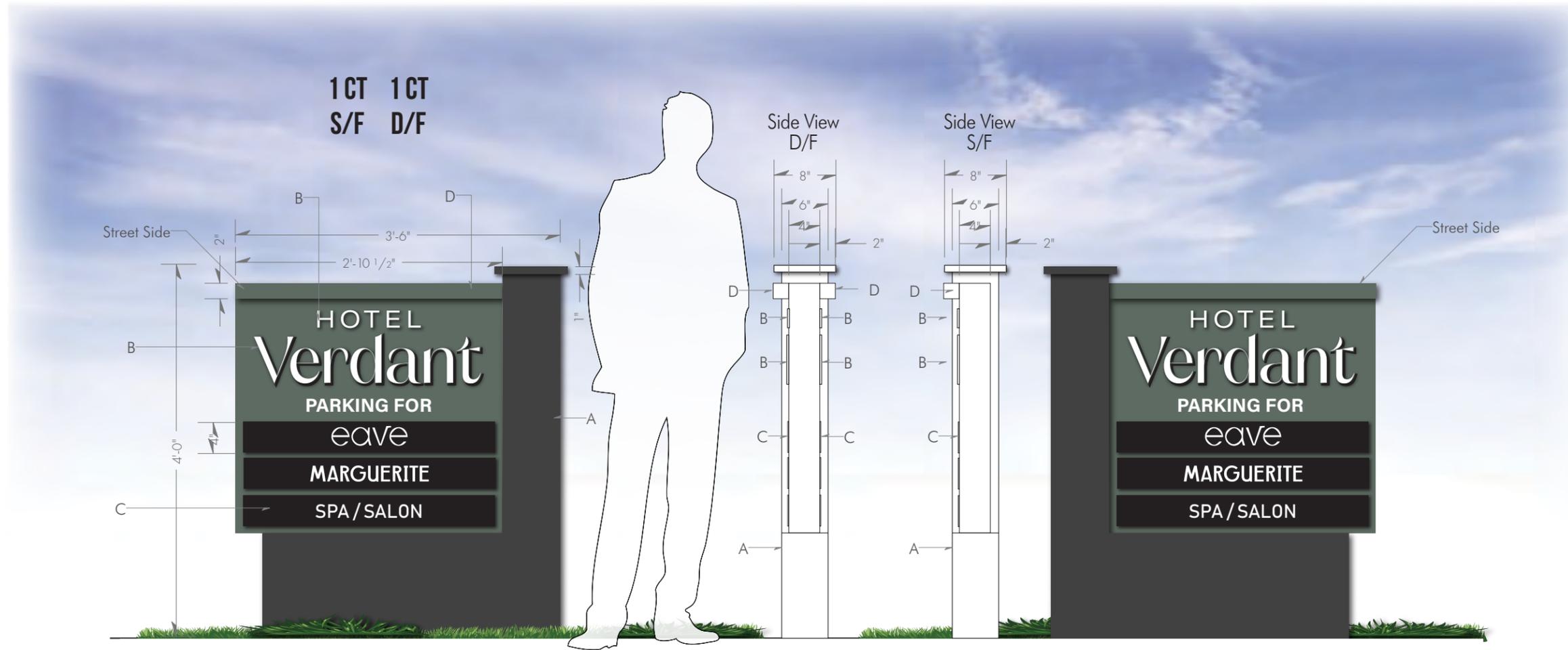




makesignsnotwar.com

325 W Front St, Mount Horeb, WI 53572

500 MAIN STREET, RACINE, WI 53403 -SITE MAP



KEY NOTES:

- A - Sign to be aluminum tube frame construction skinned with -090 aluminum
- B - Hotel Verdant to be 1/4" thick PVC with vinyl graphics applied first surface. Parking for to be 3M white vinyl.
- C - Tenant panels to be 1/8" thick stock Black ACM with exposed fasteners. tenants to be applied vinyl graphics
- D - 2" U channel led light bar.

FINISHES:

- 3M White 7725-010 (B,C)
- 3M Black 7725-012 (B)
- Satin Palmer house Green MP15582 (A,D)
- Satin Mudstone MPO0547 (A)

CALCULATIONS:

Scale 3/4"=1'

Night View



makesignsnotwar.com
325 W Front St, Mount Horeb, WI 53572

CUSTOMER APPROVAL: _____	DATE: _____	LANDLORD APPROVAL: _____	DATE: _____	S H E E T
By signing this approval you are hereby authorizing Sign Art Studio LLC to proceed with the work as described. Any deviation from these specifications will become the customer's financial responsibility.				GDI
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