



DEPARTMENT OF CITY DEVELOPMENT



Application for Access Corridor or Administrative Review

Applicant Name: First Evangelical Lutheran Church, Racine, WI

Address: 728 Villa St City: Racine

State: WI Zip: 53403

Telephone: 262-633-8267 Cell Phone: _____

Email: churchoffice@firstracine.org

Agent Name: Excel Engineering, Inc.- Reid Jahns

Address: 100 Camelot Drive City: Fond du Lac

State: WI Zip: 54935

Telephone: 920-926-9800 Cell Phone: _____

Email: reid.j@excelengineer.com

Property Address (Es): 728 Villa Street

Current Zoning: Split Zoned: R-3 Limited General Residence & B-4 Central Business

Current/Most Recent Property Use: Church and School

Proposed Use: Church and School and Parish Hall Addition





DEPARTMENT OF CITY DEVELOPMENT



If the required supplemental materials, which constitute a completed application, are not submitted, the application will not be processed.

Required Submittal Format

1. An electronic submission via email/USB drive/CD/Download link; and
2. One (1) paper copy, no larger than 11" x 17" size.

Required Submittal Item	Applicant Submitted	City Received
1. Access Corridor Review Application	<input checked="" type="checkbox"/>	
2. Written description of project, including: <ol style="list-style-type: none"> a. Hours of operation b. Anticipated delivery schedule c. Maintenance plan d. General use of the building and lot 	<input checked="" type="checkbox"/>	
3. Site Plan (drawn to scale), including: <ol style="list-style-type: none"> a. Fully dimensioned property boundary b. All buildings (existing and proposed) c. Setbacks from property lines d. Identification as to whether all elements are "Existing" or "Proposed" e. Dimensioned parking spaces and drive aisle layout f. Trash enclosure location and materials g. Loading spaces h. Location of signage, with setbacks 	<input checked="" type="checkbox"/>	
4. Landscape Plan <ol style="list-style-type: none"> a. Bufferyards b. Parking Areas c. Screening and fencing locations d. Plant lists including the following: Latin and Common Names, Number of each planting material, and Size at planting. 	<input checked="" type="checkbox"/>	
5. Lighting Plan <ol style="list-style-type: none"> a. Location of light fixtures b. A cut sheet of light fixtures with indication of cut-offs or shielding c. Illumination diagram indicating intensity of lighting on the property. 	<input checked="" type="checkbox"/>	
6. Floor Plan <ol style="list-style-type: none"> a. Preliminary floor plan layout of all buildings/structures b. Labels for the type of use of the area c. Labels for square footage of the area 	<input checked="" type="checkbox"/>	
7. Signage Plan <div>No new signage proposed</div> <ol style="list-style-type: none"> a. dimensioned color elevations of signage b. A diagram showing the location of the proposed signage 	<input type="checkbox"/>	





DEPARTMENT OF CITY DEVELOPMENT



Required Submittal Item	Applicant Submitted	City Received
8. Building/site elevations (if new building or exterior changes planned) a. Building elevations showing all four sides of the buildings in color b. Elevation of trash enclosure area	<input checked="" type="checkbox"/>	
9. Building Material Samples (if making exterior changes) Cream city brick to match existing	<input type="checkbox"/>	

Acknowledgement and authorization signatures

The approval may contain conditions related to the improvement of the site which must be met prior to the issuance of a building occupancy permit. Conditions related to the operational aspect(s) of the business must be complied with at all times. That, in the event site improvement work required by ordinance cannot be completed prior to desired occupancy, a financial assurance, at 100% of the improvement estimate, guaranteeing completion of the required improvements must be placed on file with the City of Racine. Estimates and Assurance documents are subject to the review and final approval by the City. Improvements may include but are not limited to landscaping, fencing, lighting, pavement surfacing and sealing, dumpster enclosures, and exterior building improvements.

The signature(s) hereby certify that the statements made by myself and constituting part of this application are true and correct. I am fully aware that any misrepresentation of any information on this application may be grounds for denial of this application.

Owner Signature (acknowledgement and authorization): *[Signature]* Date: 12/30/2024

Applicant Signature (acknowledgement): *[Signature]* Date: 12/30/2024

Brian Lash - Congregation President





March 5, 2025

Project Narrative

Project: First Lutheran Parish Hall Addition
734 Villa Street
Racine, WI 53403

The First Evangelical Lutheran Church is requesting site plan review and design review for building and parking lot additions to their existing church located at 734 Villa Street in the City of Racine. The property is zoned R-3 Limited General Residence & B-4 Central Business and the proposed project is a permitted use in both districts.

The proposed plan is for a new gathering space building addition with lower-level ancillary use spaces, parking lot reconstruction/resurfacing, and a porte-cochère entrance. The Parish Hall will provide gathering space, restrooms and a mechanical room on the main level with meeting space, office space, restroom, storage, and mechanical room spaces in the lower level; an elevator will provide full access to both levels in compliance with applicable accessibility codes. The proposed building addition is approximately 2,639 square feet and the total area of disturbance is 24,000 square feet. The reconfigured parking lot will provide 36 parking spaces with 1 garage space for a total of 37 site parking spaces.

Hours of Operation:

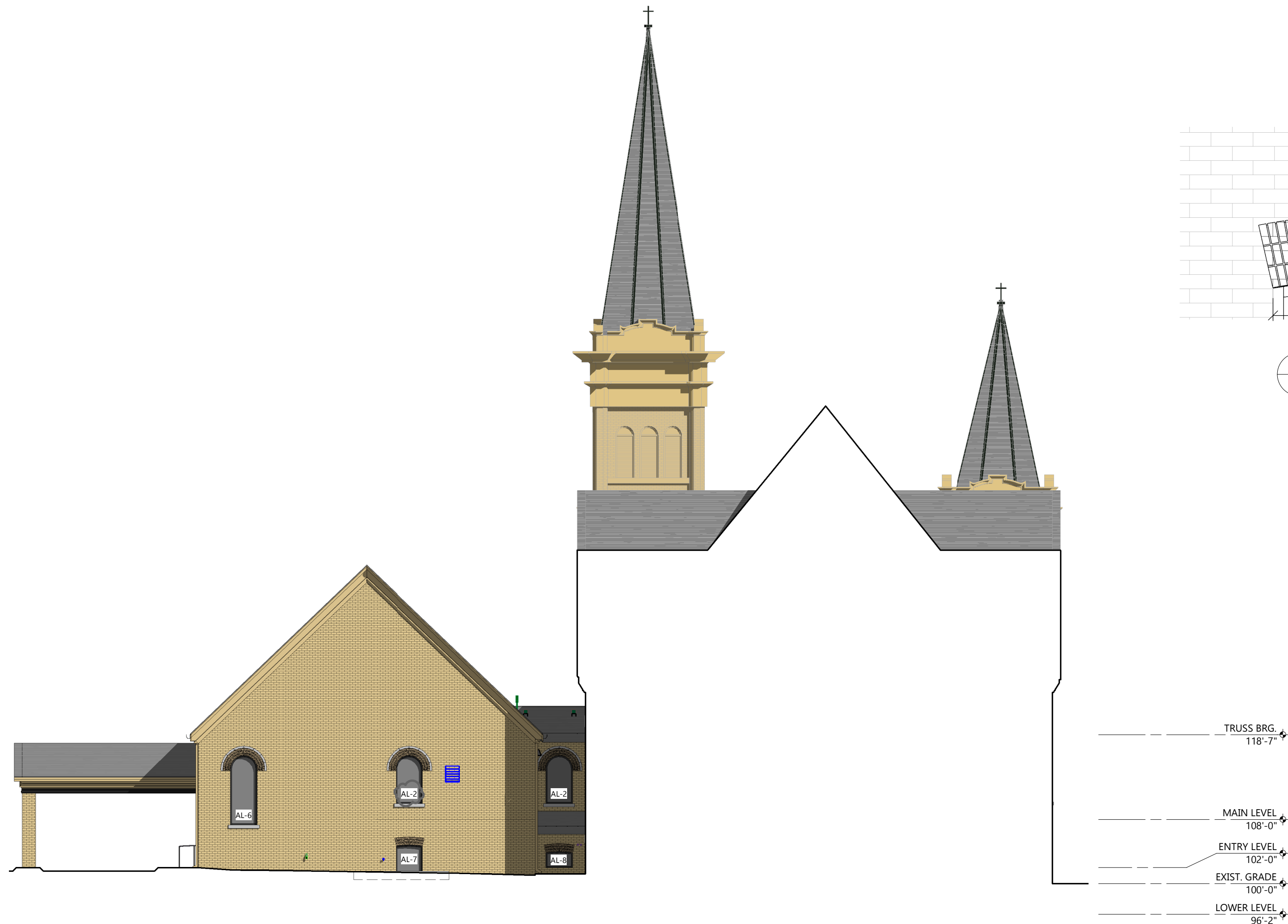
Service Times: 8am to 12pm Sunday, Monday 7pm to 8pm, and various religious holidays.

Church Office Hours: 8am to 4pm Monday-Friday.

School Hours: 7:30am to 3pm Monday-Friday.

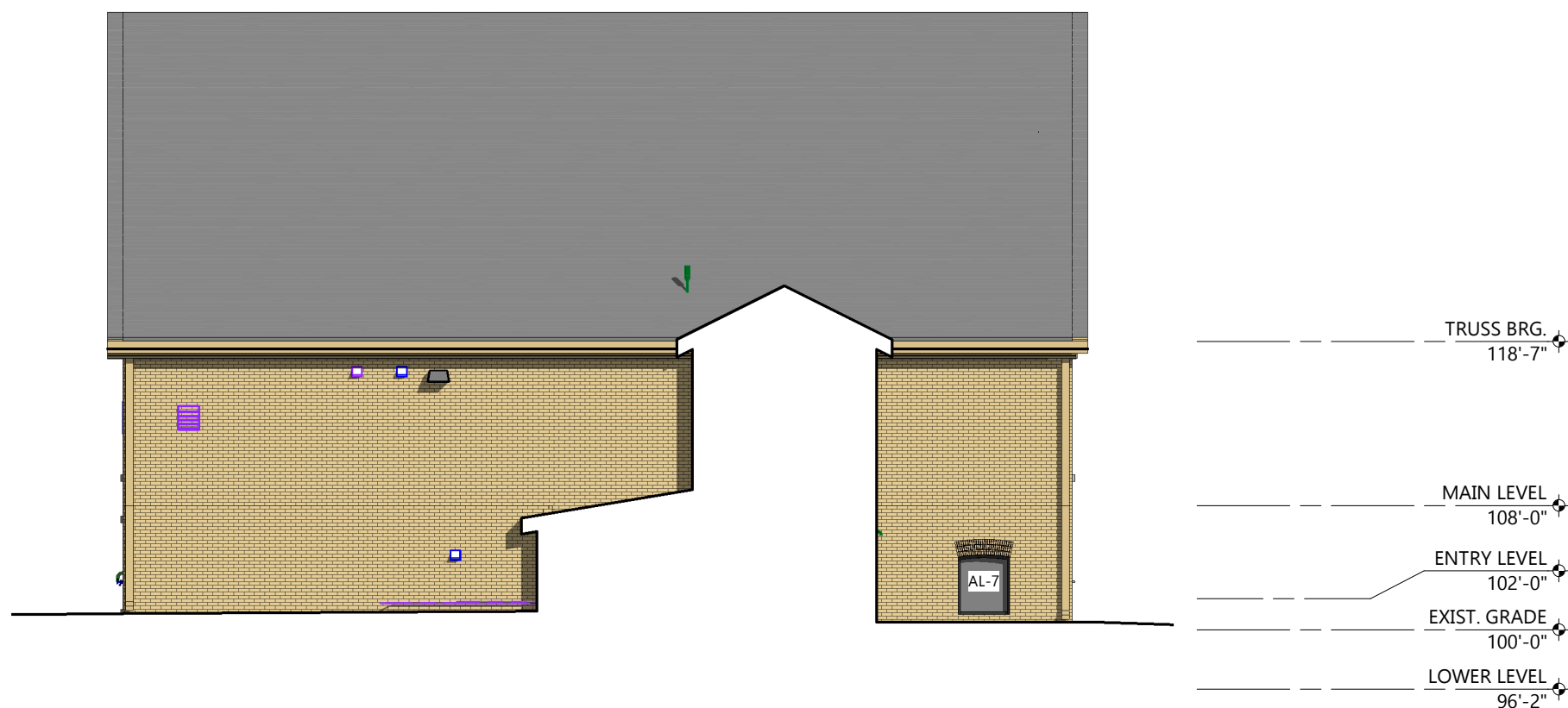
General Use of Building and Lot:

Worship, education and meetings. See included Mission, Vision, and Core Values document. No deliveries are expected. Property will continue to be maintained with routine lawncare, pavement maintenance, and snow removal as necessary.



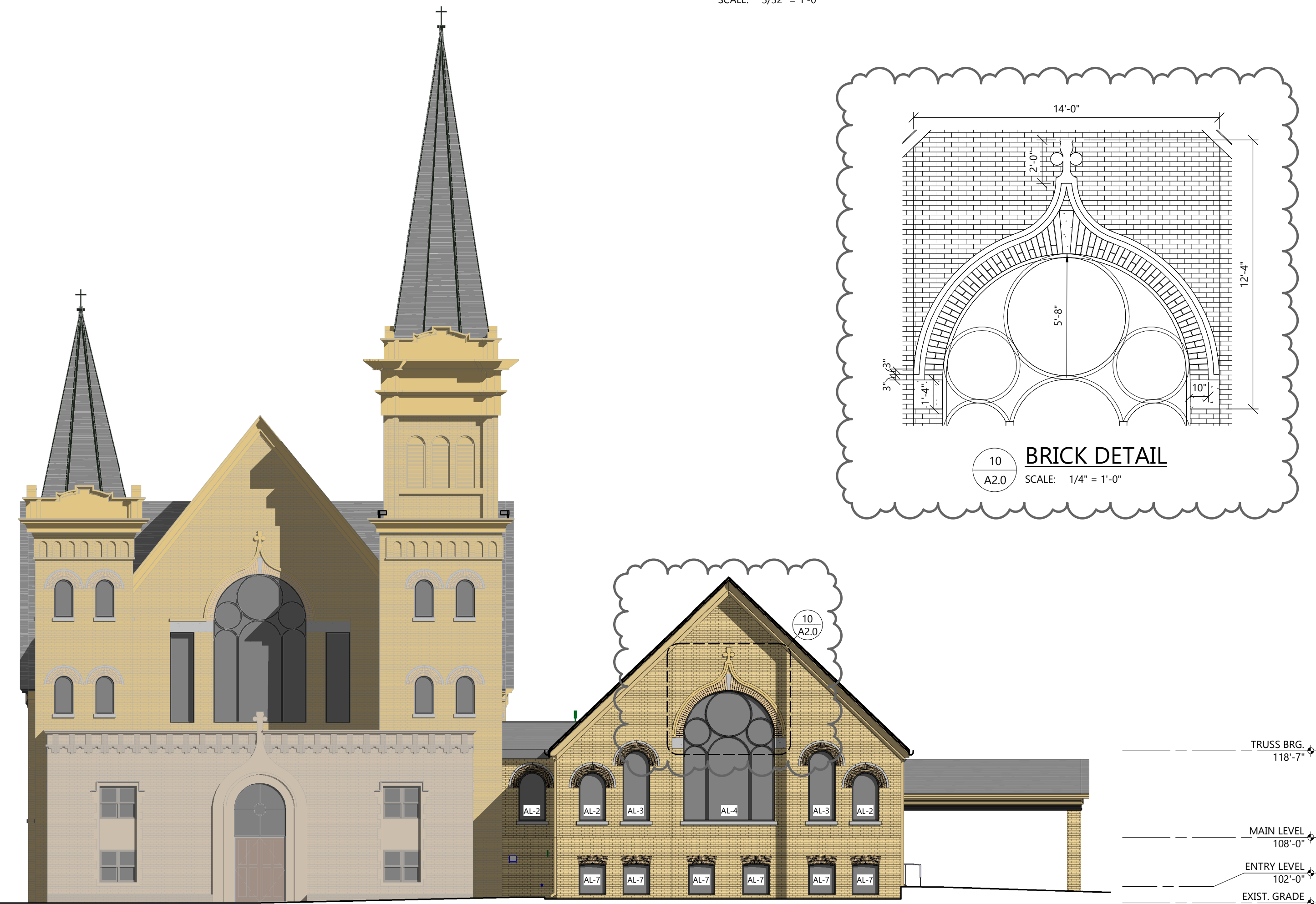
WEST ELEVATION

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



EAST ELEVATION

SCALE: 3/32" = 1'-0"



NORTH ELEVATION

SCALE: 3/32" = 1'-0"

EXTERIOR MATERIAL KEY

- ARCHITECTURAL ASPHALT SHINGLES**
MFR: CERTANTEED LANDMARK PRO
COLOR: MAX DEF COBBLESTON GREY
VERIFY TO MATCH EXISTING
- RUNNING BOND BRICK VENEER**
MFR: T.B.D.
COLOR: CREAM CITY BRICK
PROVIDE MOCK-UP TO MATCH EXISTING
- CAST STONE SILL**
PROFILE: SEE DETAILS
COLOR: MATCH EXISTING
- ALUMINUM STOREFRONT & GLAZING**
COLOR: DARK BRONZE
- FASCIA**
MFR: PRE-FIN. METAL TRIM
COLOR: MATCH EXISTING

GENERAL NOTES

PAINT ALL EXTERIOR HVAC WALL CAPS & LOUVERS TO MATCH ADJ. SURFACES



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED BUILDING ADDITION FOR:
FIRST LUTHERAN PARISH HALL
728 VILLA STREET • RACINE, WI 53403

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE JAN. 17, 2025

REVISIONS
AD1 FEB. 11, 2025

JOB NUMBER

240200100

SHEET NUMBER

A2.0

ARCHITECTURAL EXTERIOR ELEVATIONS

PROPOSED BUILDING ADDITION FOR: FIRST EVANGELICAL LUTHERAN

RACINE, WISCONSIN

PROJECT INFORMATION

SITE INFORMATION:

TAX PARCEL # 01293000

PROPERTY AREA: 1.656 ACRES

EXISTING ZONING: SPLIT ZONED R-3 LIMITED GENERAL RESIDENCE & B-4 CENTRAL BUSINESS

PROPOSED ZONING: SPLIT ZONED R-3 LIMITED GENERAL RESIDENCE & B-4 CENTRAL BUSINESS

PROPOSED USE: CHURCH AND CHURCH PARKING

AREA OF DISTURBANCE: 24,000 SF (0.55 ACRES)(INCLUDES ROW DISTURBANCE)

SETBACKS:
BUILDING: FRONT(EAST) = 25' (PER CITY VARIANCE IS NOT REQUIRED)
SIDE(NORTH) = 8' PLUS 1' FOR EACH 2' BUILDING EXCEEDS 25' = 8' + (3') = 15.5'
REAR(WEST) = 35'
STREET (SOUTH) = 20' PLUS 1' FOR EACH 2' BUILDING EXCEEDS 25' = 20' + (3') = 27.5'

PAVEMENT: FRONT = NONE
SIDE = NONE
REAR = NONE

BUFFERYARDS:
NORTH = WALL, FENCE OR DENSELY PLANTED HEDGE 5'-8' IN HEIGHT

PROPOSED BUILDING HEIGHT: 40' (MAX. HEIGHT ALLOWED: N/A)

PARKING REQUIRED: 37 BASED UPON CITY SITE VISIT AND CITY COUNT OF NUMBER OF SEATS IN CHURCH

PARKING PROVIDED: 37 SPACES (2 H.C. ACCESSIBLE) (36 EXTERIOR PLUS 1 GARAGE SPACE)

HANDICAP STALLS REQUIRED: 2, HANDICAP STALLS PROVIDED: 2

MAXIMUM LOT COVERAGE - BUILDING ONLY: 100%

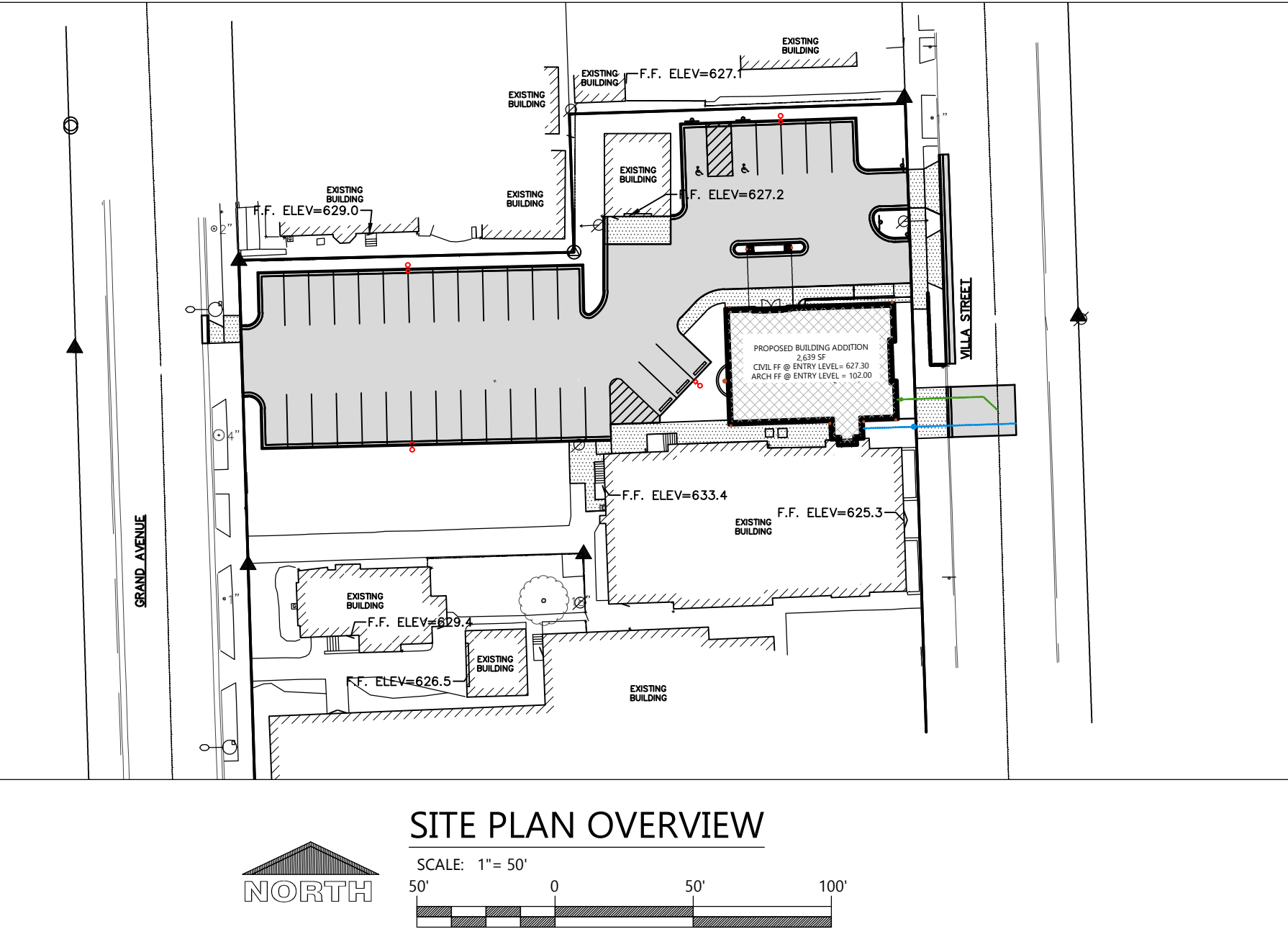
EXISTING SITE DATA (AREA OF DISTURBANCE)

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.41	17,682	77.1%
TOTAL IMPERVIOUS	0.41	17,682	77.1%
LANDSCAPE/ OPEN SPACE	0.12	5,248	22.9%
PROJECT SITE	0.53	22,930	100.0%

PROPOSED SITE DATA (AREA OF DISTURBANCE)

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA (INCLUDES CANOPY)	0.07	2,996	13.1%
PAVEMENT (ASP. & CONC.)	0.35	15,085	65.8%
TOTAL IMPERVIOUS	0.42	18,081	78.9%
LANDSCAPE/ OPEN SPACE	0.11	4,849	21.1%
PROJECT SITE	0.53	22,930	100.0%

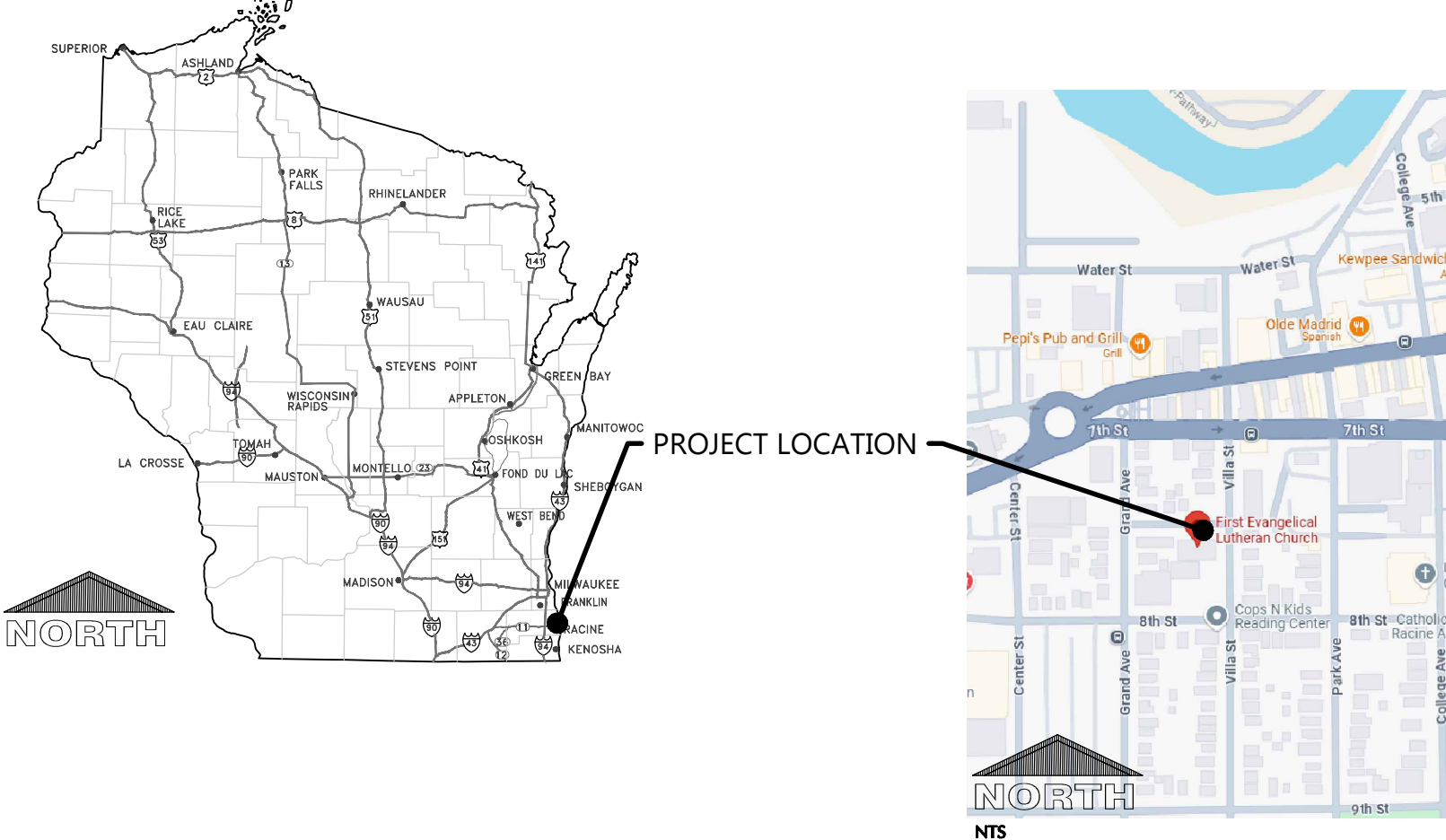
TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE TELEFAX (414) 259-0947
TDD (FOR THE HEARING IMPAIRED)
1-800 542-2289
WISCONSIN STATUTE 182.0175 (1974)
REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



PROJECT CONTACTS

CIVIL: Reid Jahns Phone: (920)926-9800 E-mail: reidj@excelengineer.com	CITY PLANNER: Michelle Cook Phone: (262)636-9151 E-mail: Michelle.Cook@cityofracine.org	CITY ENGINEER: Ara Molitor Phone: (262)636-9121 E-mail: ara.molitor@cityofracine.org	CITY FIRE CHIEF: Phone: (262)635-7911 E-mail: rfd.info@cityofracine.org	CITY BUILDING INSPECTOR: Dan Kirchenberg Phone: (262)636-9464 E-mail: Daniel.Kirchenberg@cityofracine.org	CITY DIRECTOR OF PUBLIC WORKS: John Rooney Phone: (262)636-9121
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LOCATION MAP



PROJECT NOTES

GENERAL PROJECT NOTES

- ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.

CONSTRUCTION STAKING SERVICES

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

SHEET INDEX









































SHEETS BELOW INTENDED TO BE PRINTED IN: **COLOR**. REFER TO DIGITAL FORMAT DRAWINGS IF PRINTED GRAYSCALE TO ENSURE SCOPE CLARITY.

NUMBER	SHEET NAME / DESCRIPTION
C0.1	CIVIL COVER SHEET
C0.2	CIVIL SPECIFICATIONS
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1	SITE PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.3	UTILITY PLAN
C1.4	LANDSCAPE AND RESTORATION PLAN
C2.0	DETAILS
C3.1	SITE PHOTOMETRIC PLAN & DETAILS

LEGEND

NOTE: ALL SYMBOLS SHOWN MAY NOT APPEAR ON DRAWINGS.

SYM.	IDENTIFICATION	SYM.	IDENTIFICATION
SPOT ELEVATIONS			
• 1000.00	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	• 1000.00 TC • 1000.00 FL	PROPOSED SPOT ELEVATIONS (TOP OF CURB, FLOWLINE OF CURB)
• 1000.00 EG	EXISTING GRADE SPOT ELEVATIONS		
• 1000.00 BG • 1000.00 FG	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL) BG-FINISHED SURFACE GRADE AT BACK OF WALL FG-FINISHED SURFACE GRADE AT FRONT OF WALL	• 1000.00 TW • 1000.00 BW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
EXISTING SITE SYMBOLS			
—	EXISTING SIGN	Ø	EXISTING UTILITY POLE
♿	EXISTING HANDICAP PARKING STALL	Ø →	EXISTING UTILITY POLE WITH GUY WIRE
⊗	EXISTING WATER VALVE IN BOX	○ —	EXISTING STREET LIGHT
⊗	EXISTING WATER VALVE IN MANHOLE	□	EXISTING TELEPHONE PEDESTAL
✕	EXISTING WATER SERVICE VALVE	Ⓛ	EXISTING ELECTRIC PEDESTAL
⊗	EXISTING WELL	Ⓛ	EXISTING ELECTRIC BOX
⊗	EXISTING STORM CATCH BASIN	◀	EXISTING FLOOD LIGHT
Ⓛ	EXISTING STORM CURB INLET	Ⓛ	EXISTING TELEPHONE MANHOLE
Ⓛ	EXISTING SQUARE CATCH BASIN	Ⓛ	EXISTING CABLE TV PEDESTAL
☆	EXISTING LIGHT POLE	Ⓛ	EXISTING GAS VALVE
■	1-1/4" REBAR SET WEIGHING 4.30 LB/FT.	Ⓛ	EXISTING HEDGE
●	3/4" REBAR SET WEIGHING 1.50 LB/FT.	Ⓛ	EXISTING WOODED AREA
□	1-1/4" REBAR FOUND	Ⓛ	EXISTING MARSH AREA
○	3/4" REBAR FOUND	Ⓛ	EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER
⊗	2" IRON PIPE FOUND	Ⓛ	EXISTING CONIFEROUS TREE
▲	1" IRON PIPE FOUND	Ⓛ	EXISTING SHRUB
Ⓛ	SECTION CORNER	Ⓛ	EXISTING STUMP
PROPOSED SITE SYMBOLS			
—	PROPOSED SIGN	Ⓛ	PROPOSED STORM FIELD INLET - ST FI
♿	PROPOSED HANDICAP PARKING STALL	○ □	PROPOSED LIGHT POLE
⊗	PROPOSED WATER VALVE IN BOX	→	PROPOSED DRAINAGE FLOW
⊗	PROPOSED WATER VALVE IN MANHOLE	Ⓛ	PROPOSED APRON END SECTION
✕	PROPOSED WATER SERVICE VALVE	Ⓛ	SOIL BORING
⊗	PROPOSED WELL	Ⓛ	CENTER LINE
⊗	PROPOSED STORM CATCH BASIN - ST CB	Ⓛ	PROPOSED CLEANOUT
Ⓛ	PROPOSED STORM CURB INLET - ST CI	Ⓛ	PROPOSED DOWNSPOUT TO GRADE
		Ⓛ	PROPOSED DOWNSPOUT TO RISER

EXISTING LINETYPES			
	EXISTING CHAINLINK FENCE	 POL	EXISTING POLISH SEWER AND MANHOLE
	EXISTING WOOD FENCE	 P	EXISTING PROCESS SEWER AND MANHOLE
	EXISTING BARBED WIRE FENCE	 CLW	EXISTING CLEAR WATER LINE
	EXISTING CURB AND GUTTER	 FO	EXISTING UNDERGROUND FIBER OPTIC LINE
	EXISTING GUARD RAIL	 E	EXISTING UNDERGROUND ELECTRIC CABLE
	EXISTING GROUND CONTOUR	 T	EXISTING UNDERGROUND TELEPHONE CABLE
	EXISTING STORM SEWER AND MANHOLE	 G	EXISTING UNDERGROUND GAS LINE
	EXISTING SANITARY SEWER AND MANHOLE	 OU	EXISTING OVERHEAD UTILITY LINE
	EXISTING WATER LINE AND HYDRANT		RAILROAD TRACKS
	INTERIOR PROPERTY LINE		RIGHT-OF-WAY LINE
PROPOSED LINETYPES			
	PROPOSED CHAINLINK FENCE	 POL	PROPOSED POLISH SEWER AND MANHOLE
	PROPOSED WOOD FENCE	 P	PROPOSED PROCESS SEWER AND MANHOLE
	PROPOSED BARBED WIRE FENCE	 CLW	PROPOSED CLEAR WATER LINE
	PROPOSED CURB AND GUTTER	 FO	PROPOSED UNDERGROUND FIBER OPTIC LINE
	PROPOSED GUARD RAIL	 E	PROPOSED UNDERGROUND ELECTRIC CABLE
	PROPOSED GROUND CONTOUR	 T	PROPOSED UNDERGROUND TELEPHONE CABLE
	PROPOSED STORM SEWER AND MANHOLE - ST MH	 G	PROPOSED UNDERGROUND GAS LINE
	PROPOSED SANITARY SEWER AND MANHOLE - SAN MH	 OU	PROPOSED OVERHEAD UTILITY LINE
	PROPOSED WATER LINE AND HYDRANT		MATCHLINE
	PROPOSED PROPERTY LINE		GRADING/SEEDING LIMITS

CIVIL COVER SHEET

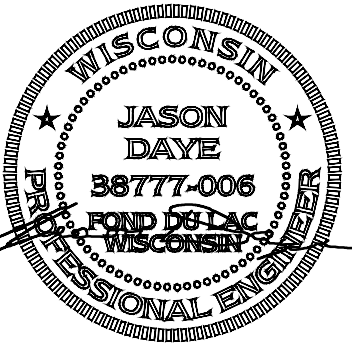
Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
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PROJECT INFORMATION

PROPOSED BUILDING ADDITION FOR:
FIRST EVANGELICAL LUTHERAN
728 VILLA STREET • RACINE, WI 53403

PROFESSIONAL SEAL



SHEET DATES

SHEET ISSUE	JAN. 17, 2025
REVISIONS	
CB3	MAR. 4, 2025

JOB NUMBER

240200100

SHEET NUMBER

C0.1

CIVIL SPECIFICATIONS



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

DIVISION 31 EARTH WORK

31 10 00 SITE CLEARING (DEMOLITION)

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.
- C. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN, ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.
- D. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

31 20 00 EARTH MOVING

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS.
- C. ALL ORGANIC TOPSOIL UNDER THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDER AXLE DUMP TRUCK, TO IDENTIFY SOFT POINTS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.
- D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE OR SCARP AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY.
- E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
- F. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY, ACCORDING TO ASTM D 698, STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.
1. UNDER FOUNDATIONS - SURGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 90 PERCENT.
 2. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB - PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE, WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
 3. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE, PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
 4. UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
 5. UNDER WALKWAYS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
 6. UNDER LAWN OR UNPAVED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 85 PERCENT.
- G. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. CONTRACTOR SHALL PROVIDE DOCUMENTATION OF PASSING DENSITY TESTING AND PROOF-ROLLING TO ENGINEER UPON COMPLETION. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS.
- H. ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING.
- I. WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARP AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED. RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- J. THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS, ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.

31 30 00 EROSION CONTROL

- A. THE GRADING PLAN REFLECTS LESS THAN 1 ACRE OF DISTURBED AREA. THE SITE IS THEREFORE EXEMPT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES NR 716 NOTICE OF INTENT REQUIREMENTS. THE DESIGN ENGINEER SHALL PREPARE AN EROSION CONTROL PLAN TO MEET NR 151.105 CONSTRUCTION SITE PERFORMANCE STANDARDS FOR NON-PERMITTED SITES.
- B. EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151. THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS, TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED.
1. SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION).
 2. DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION).
 3. STONE TRACING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED FOR THE STONE TRACING PAD SHALL BE 3/8" TO 1" INCH CLEAN OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WICKDIT TYPE 8 GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12' MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT CONTROL DEVICES, TIRE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057 (CURRENT EDITION).
 4. STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1060 (CURRENT EDITION).
 5. DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKERS, CHLORIDES, AND BARBERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1058 (CURRENT EDITION).
 6. THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.
 7. CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO INSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
 8. TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
 9. IF SITE Dewatering IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT LAID WATER GENERATED DURING THE Dewatering PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1061.
 10. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). FLOODING SHALL NOT BE ALLOWED.
 - C. ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED EVERY 7 CALENDAR DAYS OR EVERY 14 DAYS AND WITHIN 24 HOURS OF THE END OF A RAIN EVENT OF 0.5" OR MORE. MAINTENANCE SHALL BE PERFORMED PER WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151.105 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS.
 - D. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.
 - E. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.

DIVISION 32 EXTERIOR IMPROVEMENTS

32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT

- A. CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 400 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. CONTRACTOR SHALL OBTAIN AND REVIEW SOILS REPORT FOR RECOMMENDATIONS FOR GEO-GRID / GEOTEXTILE BELOW CRUSHED AGGREGATE (IF APPLICABLE). CONTRACTOR TO PROVIDE AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT TYPES AND DEPTHS AS INDICATED BELOW.
- STANDARD ASPHALT PAVING SECTION
1-1/2" SURFACE COURSE (S LT 58-285)
(MSD07 453.2.5 TACK COAT (STAGED PAVING)
2" BINDER COURSE (S LT 58-285)
10" OF 1-1/4" CRUSHED AGGREGATE
- B. CONTRACTOR TO COMPACT THE AGGREGATE BASE, ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL ASPHALT PAVEMENT AREAS SHALL BE PAVED TO WITHIN 0.05' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1% SLOPE SHALL BE MAINTAINED IN ALL ASPHALT PAVEMENT AREA.
- C. HOT MIX ASPHALT CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION DOCUMENTS.
- D. CONTRACTOR TO PROVIDE 4" WIDE YELLOW PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. YELLOW PAINT MARKINGS SHALL ALSO BE PROVIDED FOR ALL ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

32 20 00 CONCRETE AND AGGREGATE BASE

- A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS.
- B. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED. FOLLOW PROCEDURES FOUND IN WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
- C. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 308R-08 & ACI 318-08.
- D. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION DOCUMENTS.
- E. DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94
1. STRENGTH AND CURING REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE DESIGN FOR EXTERIOR CONCRETE.
 2. MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45.
 3. SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK
 4. SLUMP SHALL BE 2" OR LESS FOR SUP-FORMED CURB AND GUTTER
 5. SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON SLIP-FORMED CURB AND GUTTER.
 6. ALL EXTERIOR CONCRETE SHALL BE ENCASED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED.
 7. MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.
 - VERY EQUIPMENT CONCRETE PAD SIZES WITH CONTRACTOR REQUIREING PAD. PADS SHALL HAVE FIBERESH-300 FIBERS AT A RATE OF 1.5 LB/CU. YD. OR 6" X 6" X 4" X 1" W/14 WELDED WIRE MESH WITH MINIMUM 1 INCH CURB. EQUIPMENT PADS SHALL BE 5.5 INCHES THICK WITH 1 INCH CHAMFER UNLESS SPECIFIED OTHERWISE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH RESPECTIVE CONTRACTOR.
 - G. CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWLINE GRADES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.
 - H. CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THE SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (6' MIN.). IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB, JOINTING IN THE PAVEMENT AND CURB SHALL ALIGN. ALL EXTERIOR CONCRETE SHALL HAVE A BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C309 SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 1/5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS.
 - I. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" FOR UP TO #5 BARS AND 2" FOR #6 TO #10 BARS IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 48 DIAMETERS FOR UP TO #6 BARS, 62 DIAMETERS FOR #7 TO #9 BARS, 68 DIAMETERS FOR #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 106. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB UNLESS INDICATED OTHERWISE.
 - J. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD. BUT LESS THAN 25 CU. YD., PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF. PERFORM COMPRESSIVE STRENGTH TESTS ACCORDING TO ASTM C 39. TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.
 - K. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL-FLOATING, BUT BEFORE POWER FLOATING AND TROWELLING.
 - L. LIMIT MAXIMUM WATER-CEMENTITIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DEICING SALTS TO 0.45.
 - M. TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH ON SITE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.

32 30 00 LANDSCAPING AND SITE STABILIZATION

- A. TOPSOIL: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPER FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZING AND FINAL GRADING OF TOPSOIL, PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL, AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATRAZINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROJECT. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 8, CONTAIN A MINIMUM OF 5 PERCENT ORGANIC MATERIAL CONTENT, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED.
- TOPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1 IN DIAMETER. ALSO REMOVE ANY STUCK ROOTS, RUBBER, AND OTHER STRANEGAN MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.
- B. SEEDING LAWNS:
1. PERMANENT LAWN AREAS SHALL BE SEEDDED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (2.0-4.0 LBS./1,000 S.F.), 20% PERENNIAL Ryegrass (0.6-0.8 LBS./1,000 S.F.), 15% PINE FESCUE (0.4-0.6 LBS./1,000 S.F.). STRAW AND MULCH SHALL BE LAD AT 100LBS./1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-4 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. ALL SITE DISTURBED AREAS NOT DESIGNATED FOR OTHER LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEEDDED AS PERMANENT LAWN. NO BARE TOPSOIL SHALL BE LEFT ON SITE. FOLLOW PROCEDURES FOUND IN WISCONSIN STANDARD SPECIFICATIONS 1058 & 1059.
 2. ALL PERMANENT AND TEMPORARY STORM WATER CONVEYANCE SWALE BOTTOMS AND SIDE SLOPES AS WELL AS STORMWATER MANAGEMENT BASIN BOTTOMS AND SIDE SLOPES SHALL BE SEEDDED WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0.60 LBS./1,000 S.F.), 40% CREEPING RED FESCUE (0.60 LBS./1,000 S.F.), AND 15% PERENNIAL Ryegrass (0.20 LBS./1,000 S.F.). FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-4 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WISCONSIN STANDARD SPECIFICATIONS 1058 & 1059.
 3. ALL TEMPORARY SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE: 100% Ryegrass AT 1.9 LBS./1,000 S.F., STRAW AND MULCH SHALL BE LAD AT 100 LBS./1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-4 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WISCONSIN STANDARD SPECIFICATIONS 1058 & 1059.
- C. SEEDED LAWN MAINTENANCE: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS SHOULD BE ESTABLISHED FREE OF WEEDS AND SURFACE BREGRETTABLES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 5%.
- D. BROOM MATTING:
- CONTRACTOR TO PROVIDE BROOM MATTING (NORTH AMERICAN GREEN S150) OR EQUIVALENT ON ALL SLOPES THAT ARE 4:1 AND GREATER. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS.
- E. CONTRACTOR TO PROVIDE BROOM MATTING (NORTH AMERICAN GREEN C125) OR EQUIVALENT IN ALL SMALL BOWLS AND SIDE SLOPES AS REQUIRED. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS.
- F. TREES AND SHRUBS: SHRUBS: NURSERY-GROWN TREES AND SHRUBS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRUNK PRUNING OR ROOT PRUNING. PROVIDE WELL SHAPED, FULLY BRANCHED, AND HEALTHY LOOKING STOCK. STOCK SHOULD ALSO BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUNK SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. SEE THE LANDSCAPE PLAN FOR SPECIFIC SPECIE TYPE, SIZE, AND LOCATION.
- F. TREE AND SHRUB INSTALLATION: EXCAVATE CIRCULAR PITS WITH SIDES SLOPED INWARD. TRIM BARE LEAVING CENTER AREA RAISED SLIGHTLY TO SUPPORT ROOT BALL. EXCAVATE PIT APPROXIMATELY THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER. SET TREES AND SHRUBS PLUMB AND IN CENTER OF PIT WITH TOP OF BALL 1" ABOVE ADJACENT FINISHED GRADES. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS AND TAMM TO SETTLE MIX. WATER ALL PLANTS THOROUGHLY. PROVIDE TEMPORARY STAKING FOR TREES AS REQUIRED.
- G. TREE AND SHRUB MAINTENANCE WARRANTY: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. MAINTENANCE TO INCLUDE REGULAR WEEDING AS REQUIRED FOR SUCCESSFUL PLANT ESTABLISHMENT. CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON ALL TREES, SHRUBS, AND PERENNIALS.
- H. MINERAL MULCH: PROVIDE 3" MINIMUM THICK BLANKET OF 1.5" MINIMUM TO 2.5" MAXIMUM CRUSHED DECORATIVE STONE AT ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN. INSTALL OVER NON-WOVEN WEED BARRIER FABRIC. COLOR BY OWNER.
- I. PLASTIC EDGING: INSTALL VALLEY VIEW INDUSTRIES BLACK DIAMOND LAWN EDGING TO SEPARATE ALL PLANTING BEDS FROM LAWN AREAS. EDGING TO BE 5.5" TALL WITH METAL STAKES INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

DIVISION 33 UTILITIES

33 10 00 SITE UTILITIES

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR PER CODES OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.
- B. ALL SANITARY PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL SCHEDULE. ALL SANITARY PIPE BELOW PROPOSED & FUTURE BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL. INSULATION SHALL BE PROVIDED PER STATE PLUMBING CODES AS NECESSARY BASED ON PROPOSED DEPTH PER PLANS.
- C. SANITARY MANHOLES SHALL BE 48" PRECAST AND CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN CURRENT EDITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER. SANITARY MANHOLE FRAME AND GRATE TO BE NEENAH R-1550-A OR EQUAL. RIM ELEVATION TO BE SET AT FINISHED GRADE IN DEVELOPED AREAS AND 12" ABOVE FINISHED GRADE IN UNDEVELOPED AREAS EXCEPT AS OTHERWISE DIRECTED BY THE ENGINEER.
- D. CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY & STORM SERVICES AT LOCATIONS INDICATED ON THE UTILITY PLAN. THE CLEANOUT SHALL CONSIST OF A COMBINATION WYE FITTING IN LINE WITH THE SANITARY/STORM SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION WYE FACING STRAIGHT UP. THE CLEANOUT SHALL CONSIST OF A 4" VERTICAL PVC PIPE WITH A WATER TIGHT REMOVABLE CLEANOUT PLUG. AN 8" PVC FROST SLEEVE SHALL BE PROVIDED. THE BOTTOM OF THE FROST SLEEVE SHALL TERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST 6" BELOW THE PREDICTED FROST DEPTH, WHICHEVER IS SHALLOWER. THE CLEANOUT SHALL EXTEND JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A TURN (2'-14 1/4" IN) HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT FLUSH WITH THE SURFACE GRADE. IN PAVED SURFACES, THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 6" THICK AND EXTENDING AT LEAST 5' FROM THE SLEEVE ON ALL SIDES, SLOPING AWAY FROM THE SLEEVE. THE CLEANOUT HOUSING SHALL BE CONSTRUCTED PER MANUFACTURERS REQUIREMENTS.
- E. ALL PROPOSED WATER PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL SCHEDULE. A MINIMUM COVER SHALL BE PROVIDED OVER ALL WATER PIPING UNLESS OTHERWISE SPECIFIED.
- F. ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL SCHEDULE. ALL PROPOSED STORM PIPE BELOW BUILDING SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL SCHEDULE. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. PIPE SHALL BE PLACED MIN. 8" HORIZONTALLY FROM FOUNDATION WALLS.
- G. SANITARY, STORM, AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS.
- H. SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN STORM SEWER TO INTERNALLY DRAINED BUILDINGS TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN DOWNSPOUT LEADS TO BUILDING FOUNDATION AND UP 4" ABOVE SURFACE GRADE FOR CONNECTION TO DOWNSPOUT FOR ALL DOWNSPOUT TO ROOF (DSR) CONNECTIONS. DOWNSPOUTS TO GRADE (DSG) SHALL BE PROVIDED WITH SLUSH BLOCKS AT THE DISCHARGE LOCATION. ALL DOWNSPOUT LOCATIONS SHOULD BE VERIFIED WITH ARCHITECTURAL PLANS AND DOWNSPOUT CONTRACTOR/LOC PRIOR TO INSTALLATION OF DOWNSPOUT LEADS. DOWNSPOUT LEADS SHALL NOT UNDERMINE BUILDING FOUNDATIONS. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISHED FLOOR ELEVATION.
- I. ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE. IF ATTACHED THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET. TRACER WIRE SHALL TERMINATE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AT GRADE OR IN TERMINATION BOX PER LOCAL/STATE REQUIREMENTS.
- J. ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SEWER SHALL BE INSTALLED PER STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. THE EXCEL ENGINEERING DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL (IF REQUIRED). THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER.
- K. SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS.

SHOP DRAWING SUBMITTALS

MATERIAL / INFORMATION

3. 32.10.00 (A) - AGGREGATE BASE & ASPHALT PAVEMENT

- HOT MIX ASPHALT SPECIFICATIONS
- AGGREGATE BASE
- PAVEMENT MARKINGS

4. 32.20.00-CONCRETE AND AGGREGATE BASE

- DESIGN MIX
- AGGREGATE BASE
- COMPRESSION TEST RESULTS

5. 32.30.00 LANDSCAPING

- AMENDED SOIL MIX
- SEEDING PRODUCT DATA
- PLANTING SUBSTITUTION SCHEDULE
- MULCH PRODUCT DATA

6. 33.10.00 - SITE UTILITIES

- SANITARY PIPING MATERIALS

7. MISCELLANEOUS ITEMS

- SITE LIGHTING

TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE

Utility	Material	Pipe Code	Fitting Code	Joint Code
Water Lateral	C901/906 PE	AWWA C901/C906	ASTM D2609, ASTM D2683, ASTM D3261	Heat fusion: ASTM D2657
Sanitary Sewer	SDR 35 PVC	ASTM D1785, ASTM D2665, ASTM D3034, ASTM F891	ASTM F1336	Push On: ASTM D3212 for Tightness Elastomeric Gasket: ASTM F477
Storm Sewer	SDR 35 PVC	ASTM D1785, ASTM D2665, ASTM D3034, ASTM F891	ASTM F1336	Push On: ASTM D3212 for Tightness Elastomeric Seal: ASTM F477

PROJECT INFORMATION

PROPOSED BUILDING ADDITION FOR:
FIRST EVANGELICAL LUTHERAN
728 VILA STREET • RACINE, WI 53403

PROJECTOR SEAL

SHEET DATES

SHEET ISSUE JAN. 17, 2025

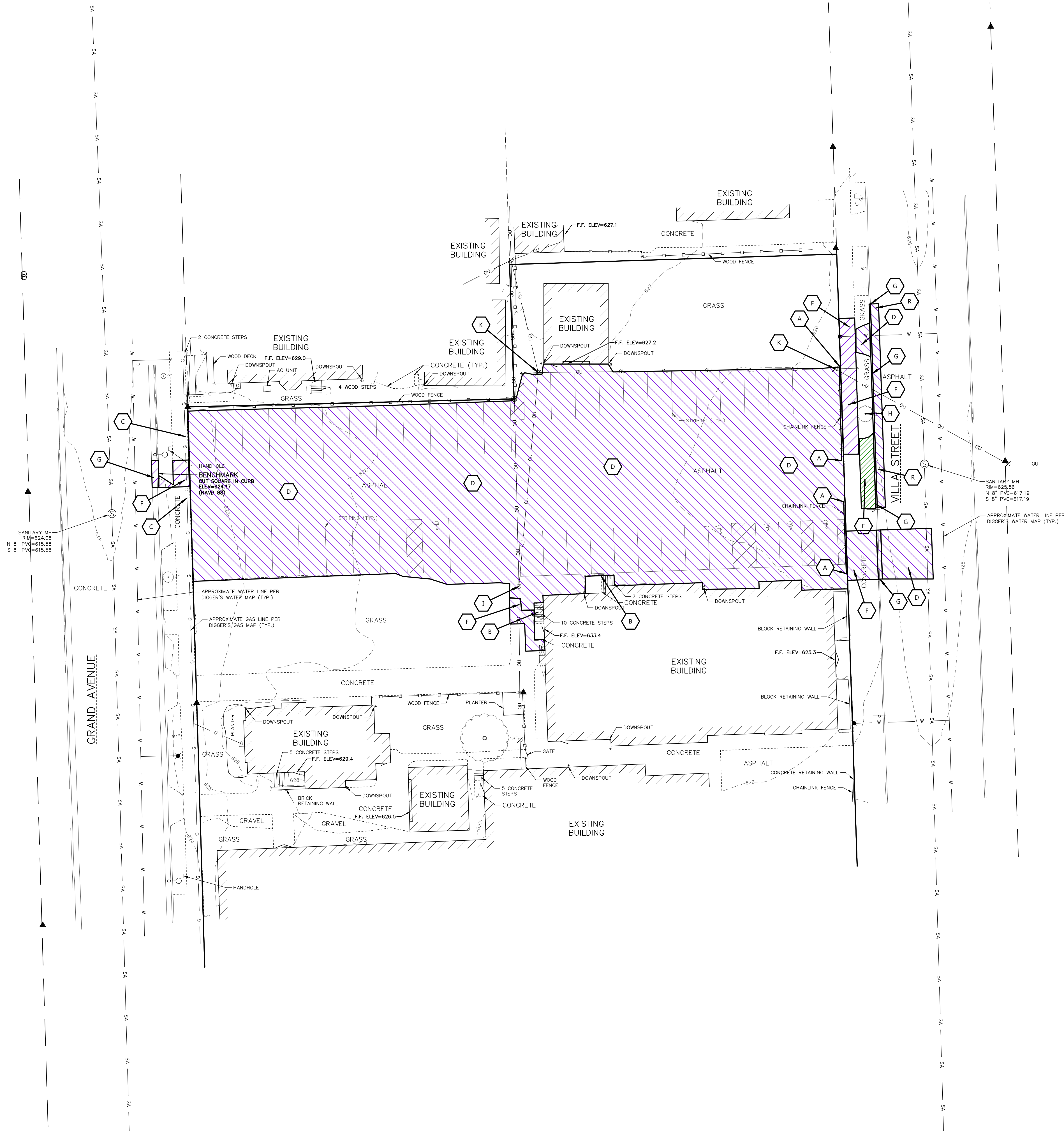
REVISIONS

JOB NUMBER

240200100

SHEET NUMBER

C0.2

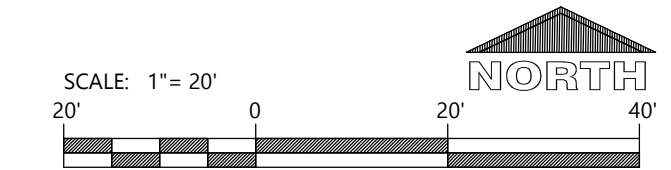


LEGEND:	
	REMOVE PAVEMENT & BASE
	REMOVE PAVEMENT, PROTECT BASE
	REMOVE FEATURES

KEYNOTES	
A	REMOVE CHAINLINK FENCE
B	PROTECT EXISTING CONCRETE AND STEPS
C	PROTECT EXISTING GAS LINE. (TYP)
D	SAWCUT (AS NECESSARY) AND REMOVE ASPHALT AND PROTECT BASE
E	SAWCUT (AS NECESSARY) AND REMOVE CONCRETE AND BASE
F	SAWCUT (AS NECESSARY) AND REMOVE CONCRETE AND PROTECT BASE
G	REMOVE CURB. SAWCUT (AS NECESSARY)
H	REMOVE TREE
I	PROTECT EXISTING UTILITY POLE AND OOWERHEAD UTILITY LINES. (TYP)
K	CONTRACTOR TO COORDINATE WITH UTILITY COMPANY AND REMOVE SPOTLIGHT(S) ON EXISTING LIGHT POLE. PROTECT EXISTING UTILITY POLE AND GUY WIRE.
R	REMOVE 3' OF ASPHALT

NOTE: PROPERTY LINES AND EASEMENTS SHOWN ON THIS SURVEY WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT NO. 2305211, BY KNIGHT BARRY TITLE, INC., DATED OCTOBER, 29 2024. AN UPDATED PLAT OF SURVEY, CERTIFIED SURVEY MAP OR ALTA SURVEY HAS NOT BEEN AUTHORIZED.

NOTE: SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS PER TICKET NO. 20244413799, NO. 20244413828, AND NO. 20244413839 HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THIS PLAN IS IN NO WAY A SUBSTITUTE FOR UTILITY LOCATING AT THE TIME OF EXCAVATION.



CIVIL EXISTING SITE AND DEMOLITION PLAN

PROJECT INFORMATION

PROPOSED BUILDING ADDITION FOR:
FIRST EVANGELICAL LUTHERAN
728 VILLA STREET • RACINE, WI 53403

PROFESSIONAL SEAL

SHEET DATES

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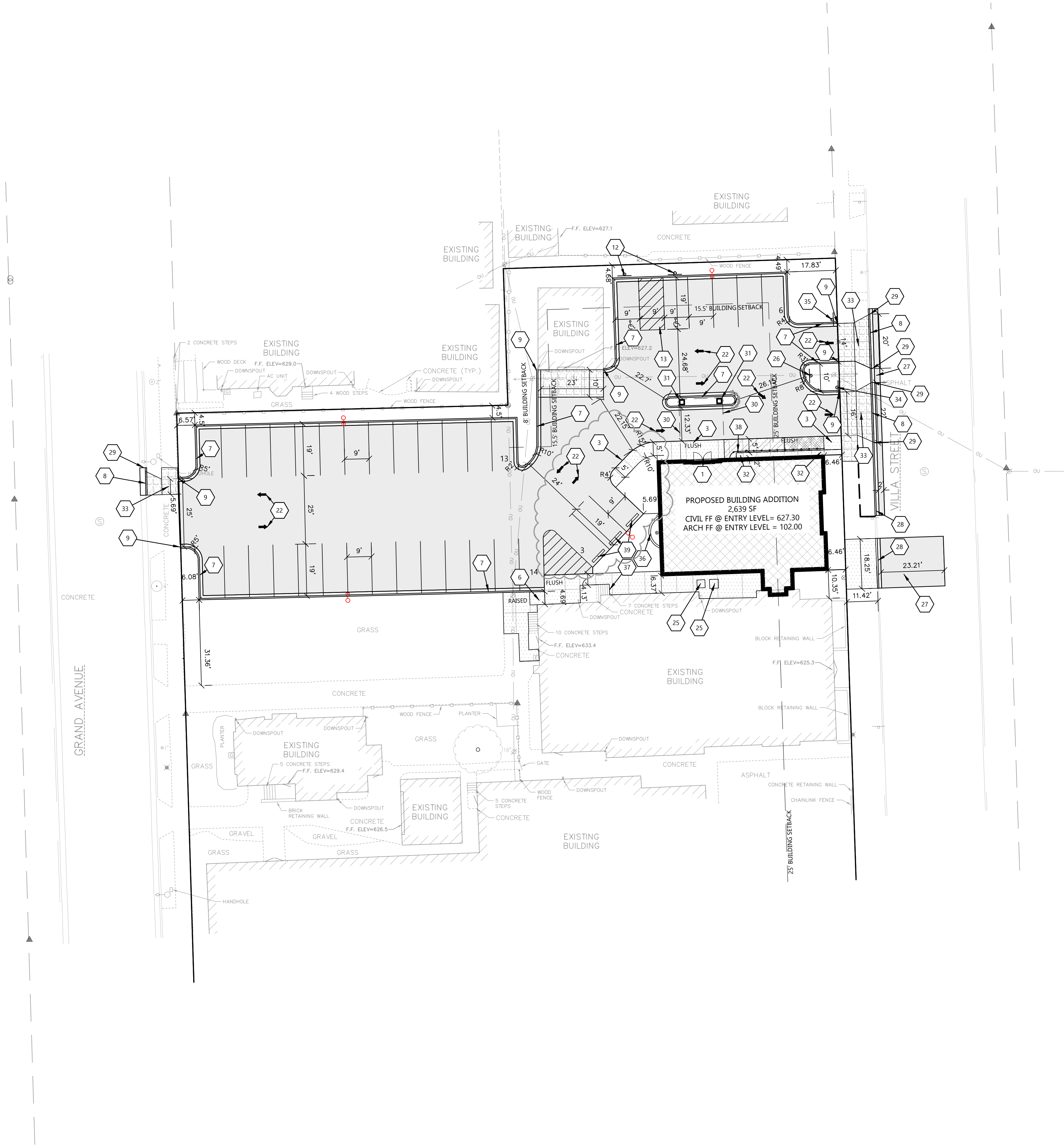
REVISIONS

JOB NUMBER

240200100

SHEET NUMBER

C1.0



LEGEND:			
HATCH	PAVEMENT SECTION	HATCH	PAVEMENT SECTION
	STANDARD ASPHALT		HEAVY DUTY CONCRETE
	SIDEWALK CONCRETE		WINDOW WELL 24" CONCRETE (EXPOSE NEAR BUILDING 1" TO 6" PER GRADING ON C1.2)
	INVERTED CURB & GUTTER		SHEDDING CURB & GUTTER

KEYNOTES	
1	CONCRETE STOOP (SEE STRUCTURAL PLANS FOR DETAILS)
2	RAISED WALK (SEE DETAIL)
3	FLUSH WALK (SEE DETAIL)
6	ADA SIDEWALK RAMP (SEE DETAIL)
7	18" CURB & GUTTER (SEE DETAIL)
8	MOUNTABLE CURB & GUTTER PER CITY STANDARDS
9	CURB TAPER (SEE DETAIL)
12	HANDICAP SIGN PER STATE CODE (SEE DETAIL)
13	HANDICAP STALL & STRIPING PER STATE CODES
22	TRAFFIC FLOW ARROWS (TYP). COLOR TO MATCH PARKING STALL STRIPING
25	CONCRETE EQUIPMENT PAD. VERIFY PAD SIZE WITH CONTRACTOR REQUIRING PAD PRIOR TO CONSTRUCTION.
26	MUTCD W6-1 DIVIDED HIGHWAY SIGN
27	ASPHALT PER CITY STANDARDS.
28	CURB & GUTTER PER CITY STANDARDS.
29	TRANSITION FROM MOUNTABLE CURB AND GUTTER TO STANDARD CURB & GUTTER PER CITY STANDARDS.
30	CANOPY. SEE ARCH PLANS.
31	COLUMN. SEE ARCH PLANS.
32	2" WIDE DEPRESSED CONCRETE ALONG BUILDING FACE WITH RAILING; (WINDOW WELL) 1" DEEP NEAR DOOR LOCATION TAPERING TO FLUSH AT EAST BUILDING FACE. SEE GRADING PLAN SHEET C1.2.
33	CONCRETE DRIVE APPROACH PER CITY STANDARDS.
34	DO NOT ENTER SIGN
35	ENTRANCE SIGN
36	WINDOW WELL. USE BOULDERS ARRANGED IN CURVED SHAPE TO ACHIEVE CHANGE IN GRADE. (SEE GRADING PLAN)
37	ADD CONCRETE STEP TO BOTTOM OF STEPS AS NEEDED. (SEE GRADING PLAN)
38	RAILING FOR WINDOW WELL. SEE ARCH PLANS.
39	PRECAST CONCRETE WHEEL STOP



CIVIL SITE PLAN

PROJECT INFORMATION

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REVISIONS

CB3 MAR. 4, 2025

JOB NUMBER

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SHEET NUMBER

C1.1



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PROJECT INFORMATION

PROPOSED BUILDING ADDITION FOR:
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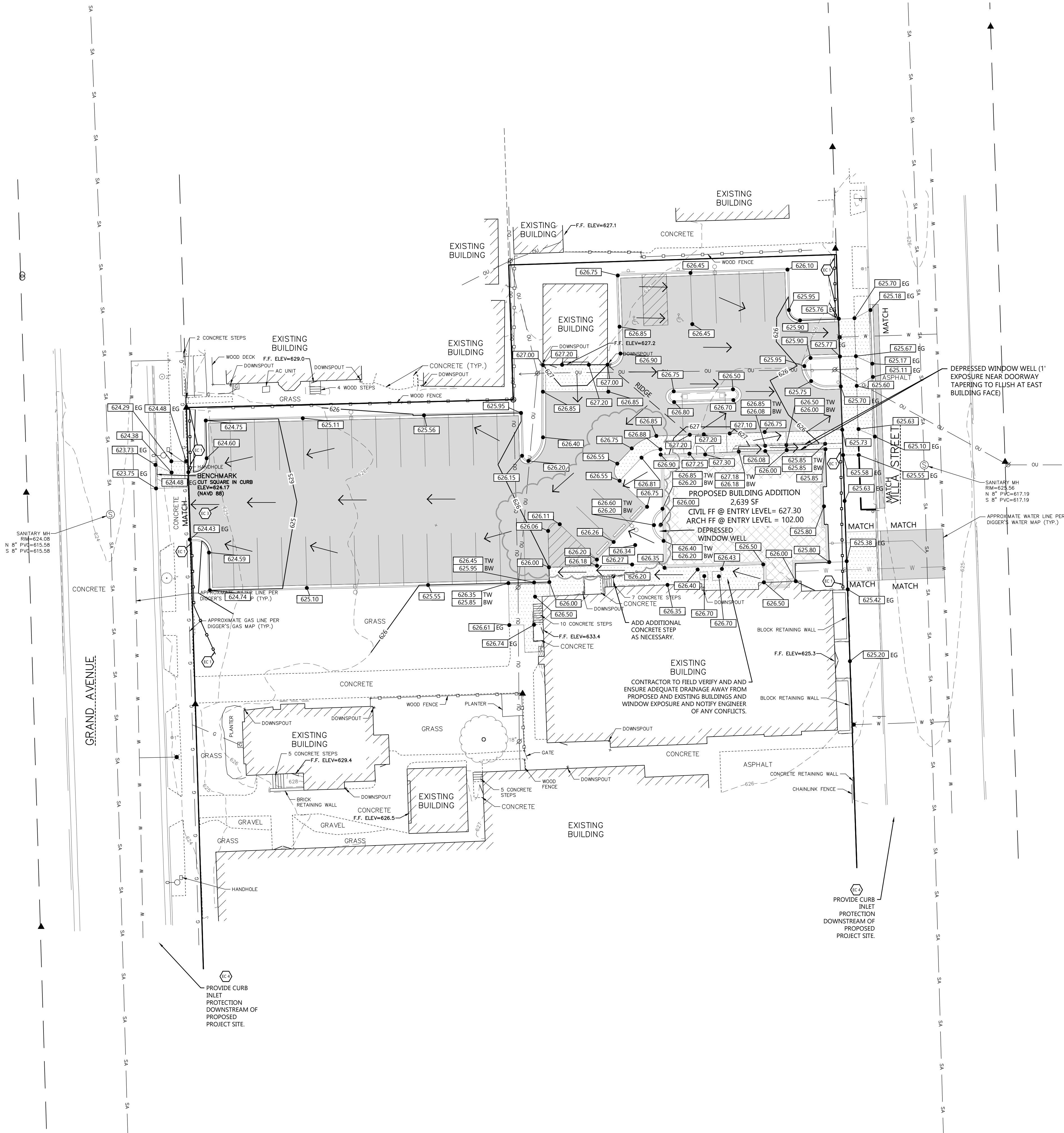
C1.2

GENERAL NOTES:

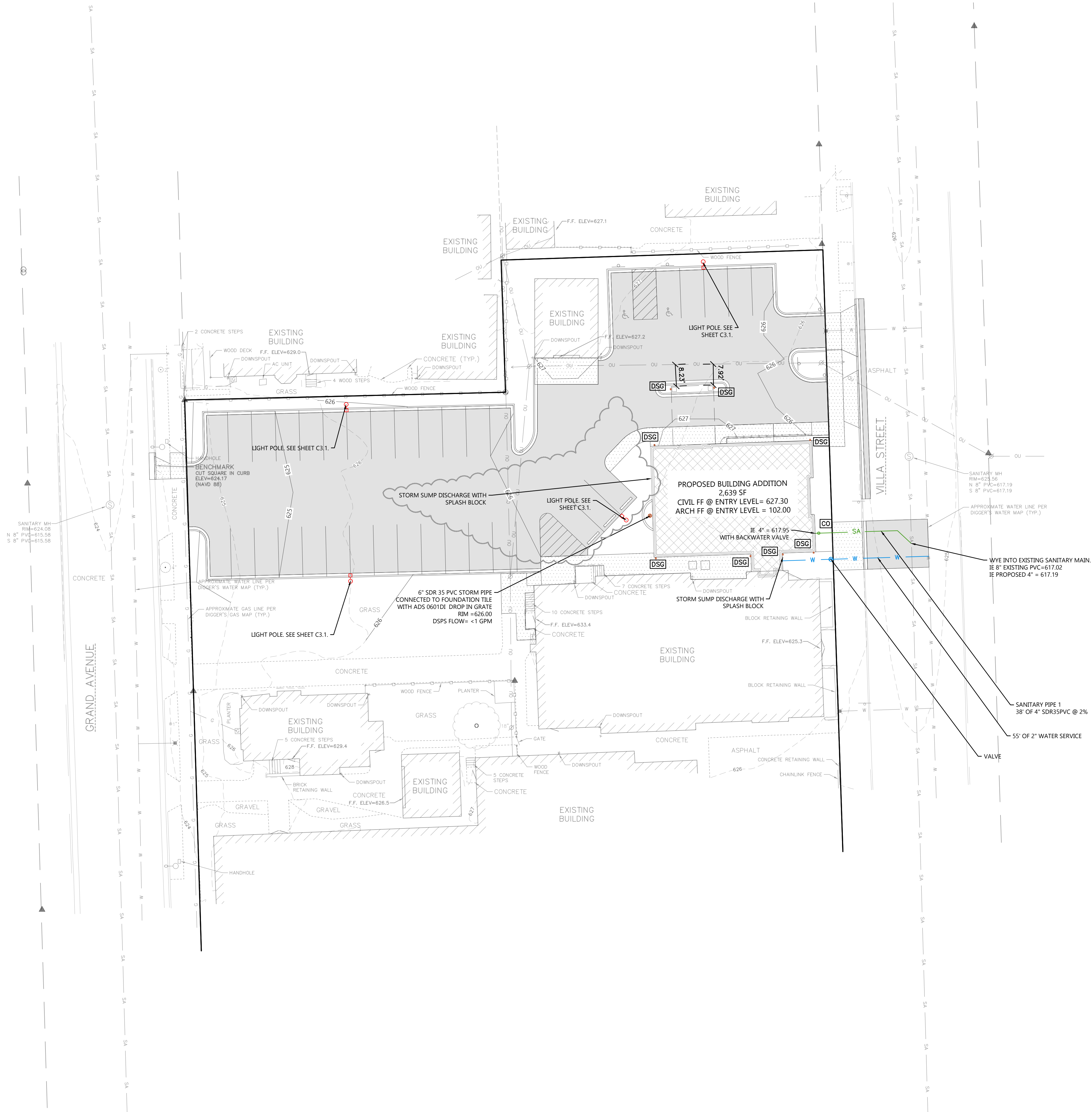
- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
- ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.
- CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

KEYNOTES

EC 1	SILT FENCE
EC 3	STABILIZED CONSTRUCTION ENTRANCE
EC 4	INLET PROTECTION



CIVIL GRADING AND EROSION CONTROL PLAN



CIVIL UTILITY PLAN

PROJECT INFORMATION

PROPOSED BUILDING ADDITION FOR:
FIRST EVANGELICAL LUTHERAN
728 VILLA STREET • RACINE, WI 53403

PROFESSIONAL SEAL

SHEET DATES

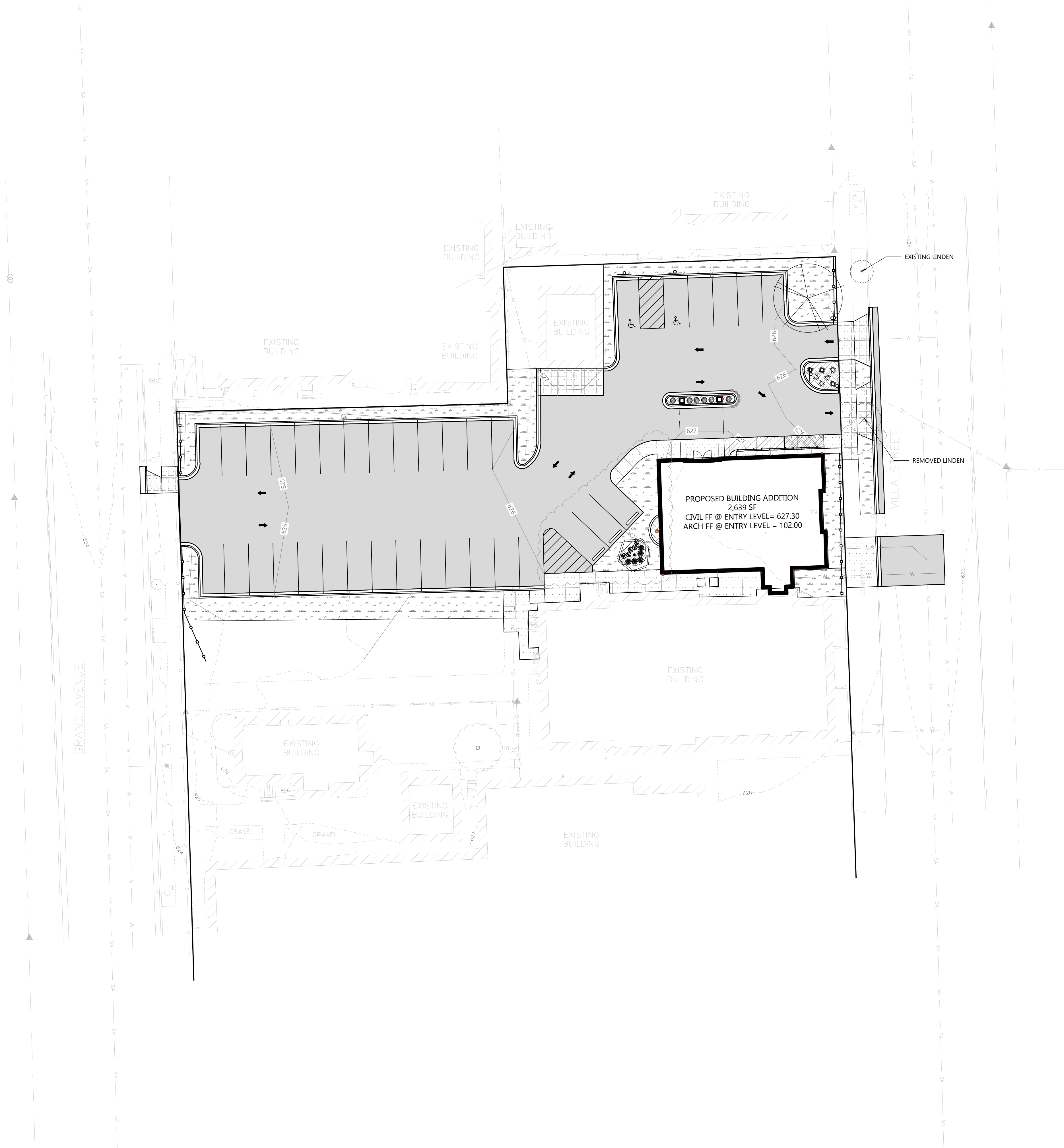
SHEET ISSUE	JAN. 17, 2025
REVISIONS	
CB3	MAR. 4, 2025

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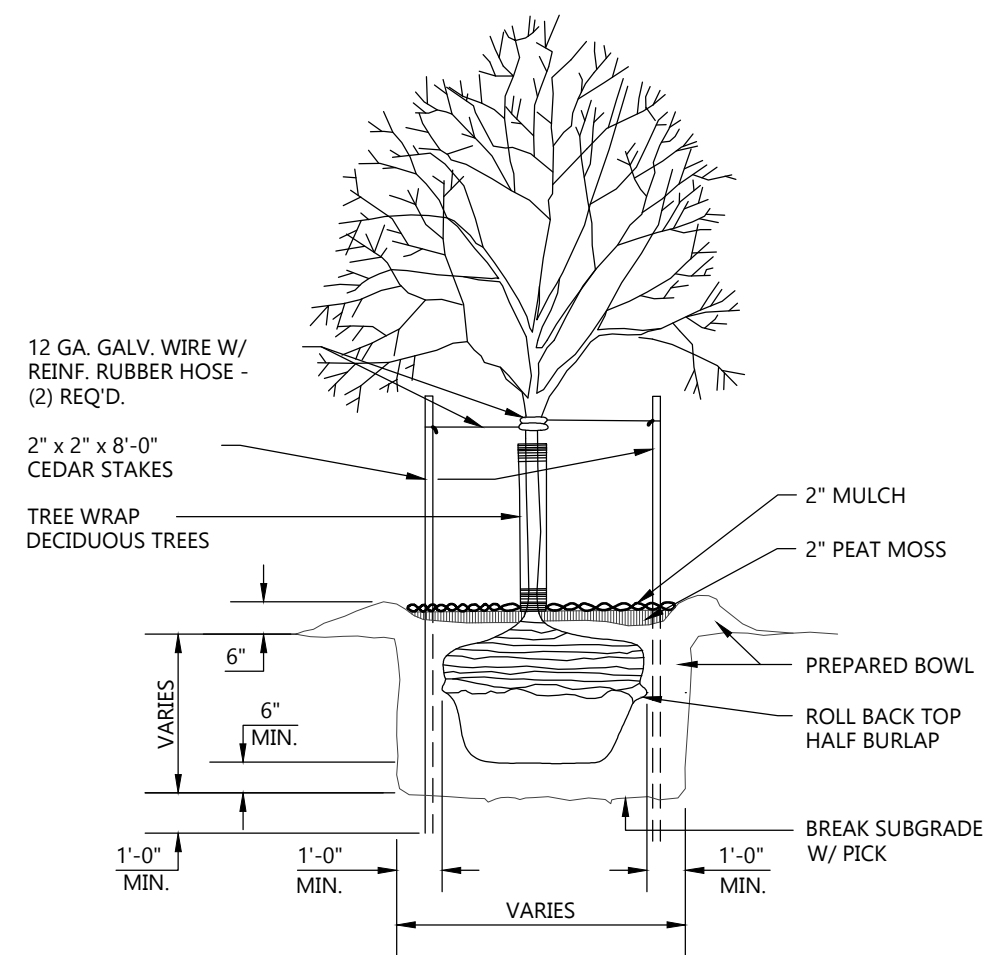
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C1.3

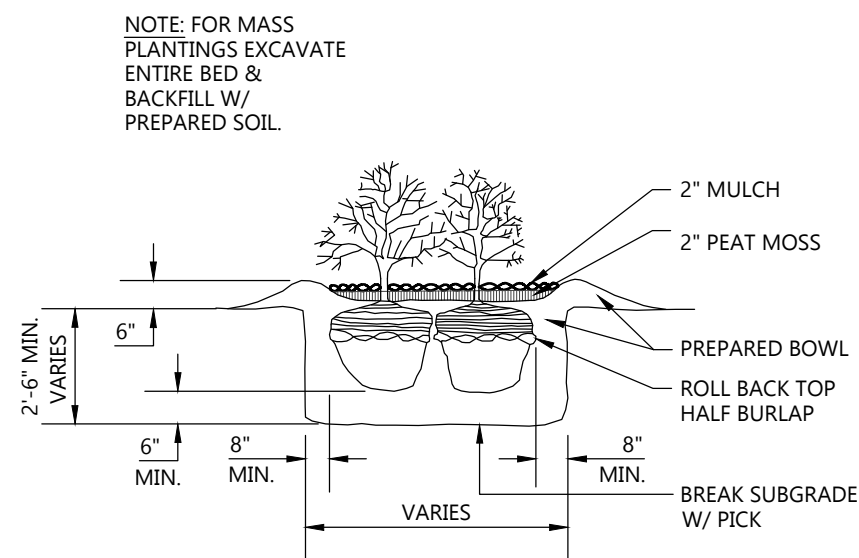


OVERALL PLANT SCHEDULE					
SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	PLANTED SIZE	ROOT
DECIDUOUS TREES					
	American Sentry Linden	Tilia americana 'McKsentry'	1	2" CAL.	B&B
	Avondale Redbud	Cercis chinensis 'Avondale'	1	2" CAL.	B&B
DECIDUOUS SHRUBS					
	Yuki Cherry Blossom Deutzia	Deutzia x 'NCDX2'	6	12" HT.	CONT.
PERENNIALS					
	Montrose White Calamint	Calamintha nepeta 'Montrose White'	5	1 GAL.	POT
	Daylilies 'Stella de Oro'	Hemerocallis 'Stella de Oro'	7	1 GAL.	POT
	American Gold Rush Rudbeckia	Rudbeckia x 'American Gold Rush'	5	1 GAL.	POT

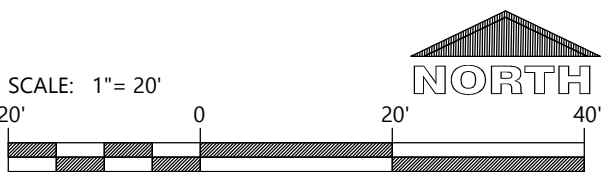
HATCH KEY:	
HATCH	LANDSCAPE MATERIAL
	MINERAL MULCH
	SEEDED LAWN



TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE



CIVIL LANDSCAPE AND RESTORATION PLAN



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PROJECT INFORMATION

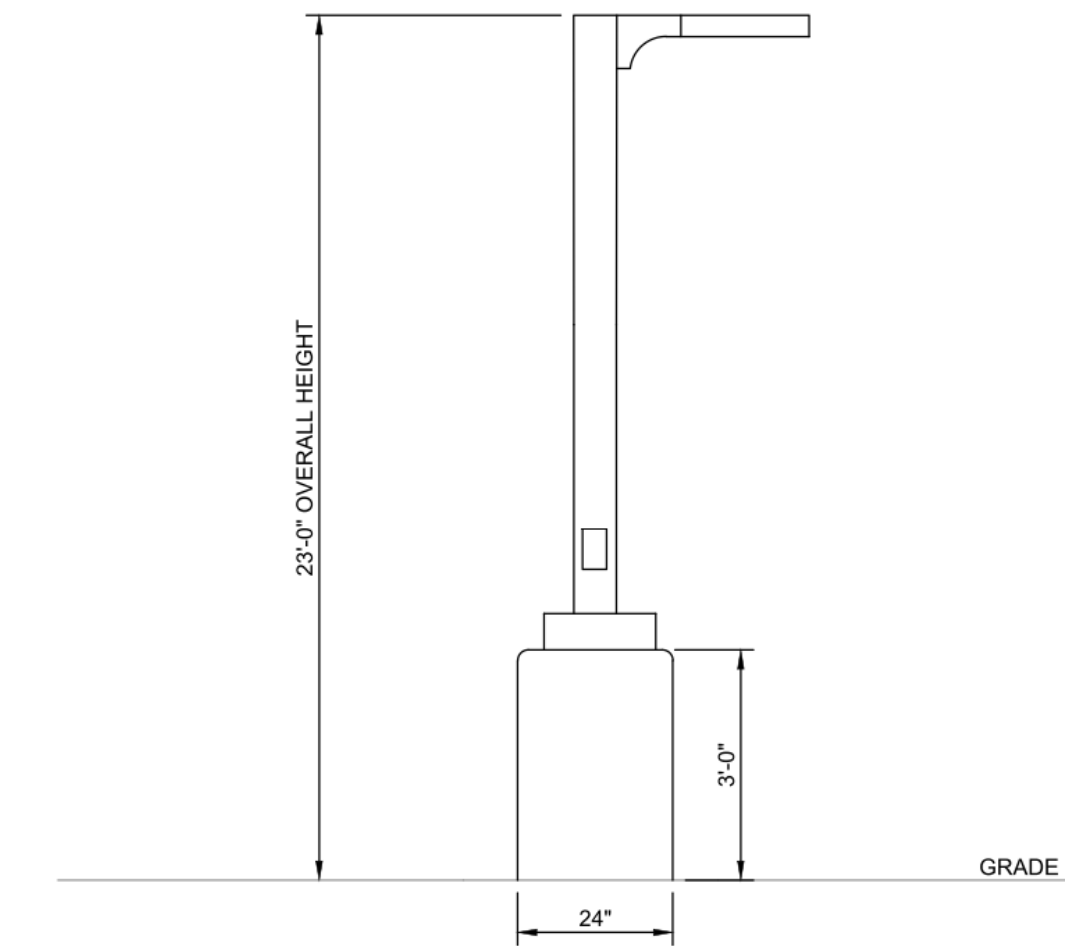
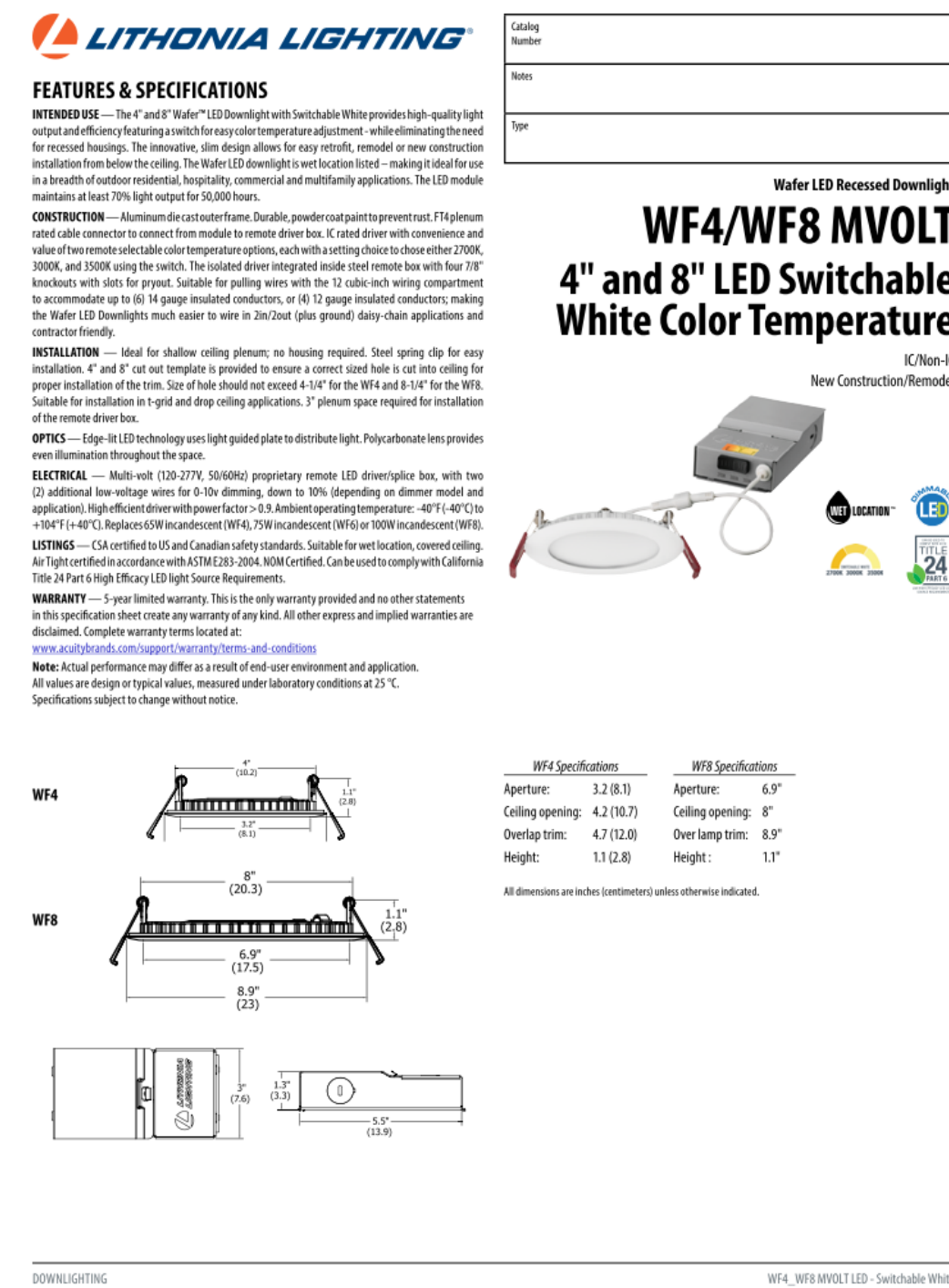
PROPOSED BUILDING ADDITION FOR:
FIRST EVANGELICAL LUTHERAN
728 VILLA STREET • RACINE, WI 53403

PROFESSIONAL SEAL

SHEET DATES	
SHEET ISSUE	JAN. 17, 2025
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CB3	MAR. 4, 2025







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240200100

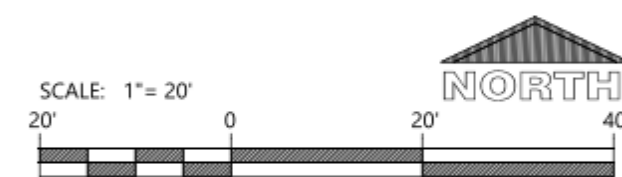
SHEET NUMBER
C1.4



LIGHT POLE DETAIL

NO SCALE

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	L13H	2	LSI INDUSTRIES, INC.	MRM-LED-09L-SIL-3-30-70CRI-IL		1	6859	1	62
	L14H	1	LSI INDUSTRIES, INC.	MRM-LED-09L-SIL-FT-30-70CRI-IL		1	6327	1	62
	C1	4	Lithonia Lighting	WF8 LED 30K40K50K MVOLT 90CRI 3000K	8" LED Wafer Selectable White MVOLT 30K40K50K _ 3000K	1	1718	1	20.41
	L14	1	LSI INDUSTRIES, INC.	MRM-LED-09L-SIL-FT-30-70CRI		1	9860	1	62
Statistics									
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min			
PARKING LOT		1.8 fc	10.8 fc	0.3 fc	36.0:1	6.0:1			
Calc Zone #1		0.6 fc	10.8 fc	0.0 fc	N/A	N/A			



CIVIL SITE PHOTOMETRIC PLAN & DETAILS



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PROJECT INFORMATION

PROPOSED BUILDING ADDITION FOR:
FIRST EVANGELICAL LUTHERAN
728 VILLA STREET • RACINE, WI 53403

PROFESSIONAL SEARCH

SHEET DATES

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REVISIONS	
CB3	MAR. 4, 2025

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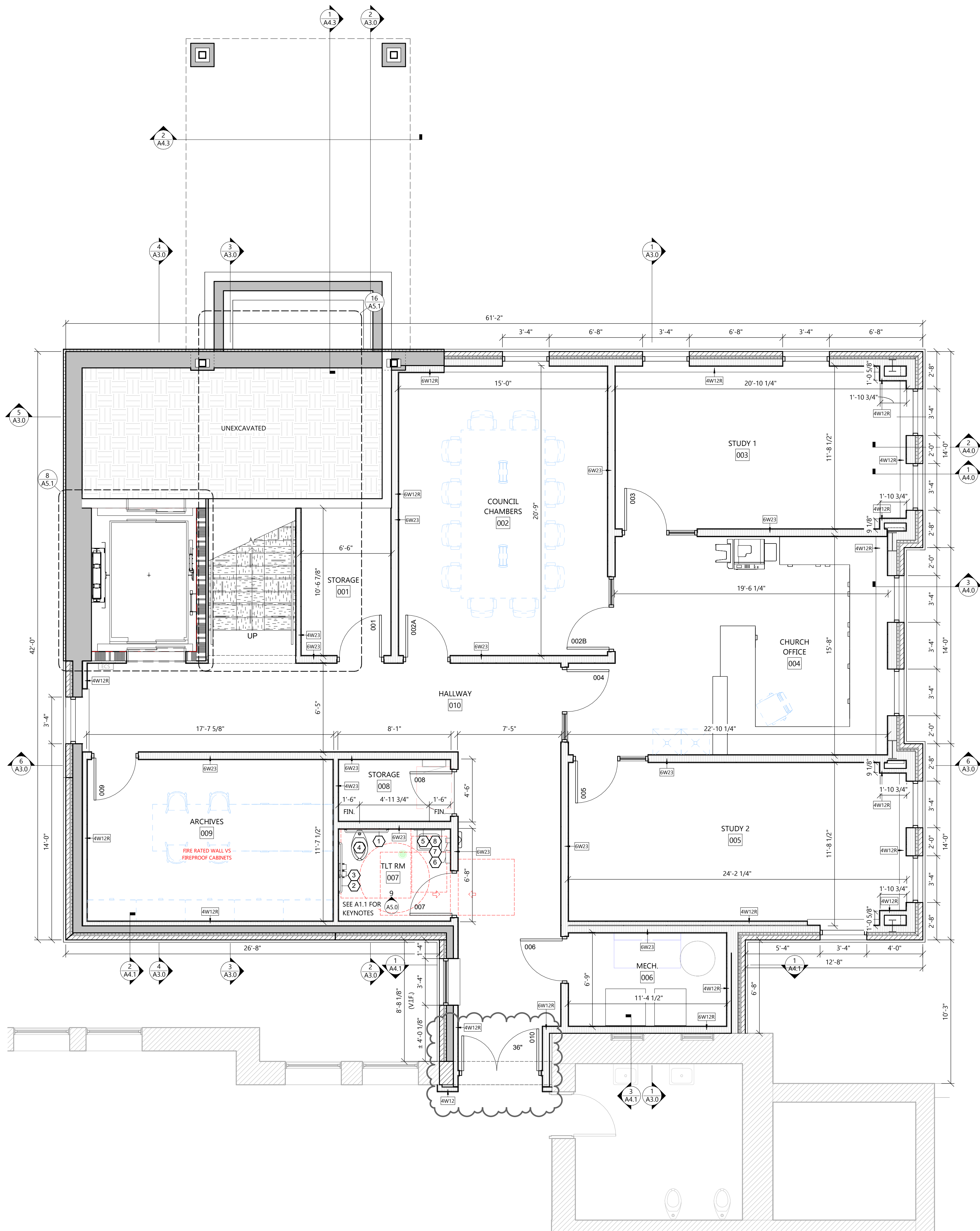
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SHEET NUMBER

C3.1

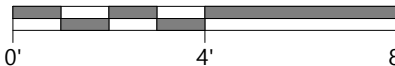
ELEVATOR SPECIFICATIONS
(SCHINDLER 3300 XL)

MANUFACTURER:	SCHINDLER ELEVATOR CORPORATION OR EQ.
PRODUCT:	SCHINDLER 3300XL MACHINE ROOM-LESS (MRL)
FINISHES:	FINISHES TO BE SELECTED BY ARCHITECT/OWNER FROM FULL RANGE OF AVAILABLE COLORS & STYLES
EXIT & ENTRY CONFIGURATIONS:	FRONT/REAR OPENING TWO SPEED SIDE OPENING
CAR SIZE:	5'-4 1/4" x 8'-2 1/2"
HOISTWAY WIDTH:	7'-6"
HOISTWAY DEPTH:	10'-2 7/8"
RELATED LOAD:	4,500 LBS.
SPEED:	200 FPM
TRAVEL RANGE:	108' MAX.
OVERHEAD CLEARANCE:	13' - 4 3/16" MIN.
DRIVE SYSTEM:	VARIABLE VOLTAGE VARIABLE FREQUENCY AC CLOSED LOOP
CONTROLS:	PUSH BUTTON OPERATION, CAR OPERATING PANEL, MOUNTED POSITION INDICATOR WITH LED ILLUMINATED DIRECTION ARROWS WITH AUDIBLE AND VISIBLE CALL ACKNOWLEDGEMENT
POWER SUPPLY:	ELEVATOR: 208 VOLT, THREE-PHASE 60 HZ.
DOORS:	48"x96" TWO SPEED LEFT OPENING,
SAFETY FEATURES:	EMERGENCY ALARM BUTTON, FIREFIGHTERS PHASE 2 KEY SWITCH, IN CAR HELP BUTTON WITH VISUAL INDICATOR, FIREFIGHTERS HAT, EMERGENCY CAR LIGHTING
UNIQUE STANDARD FEATURES:	TACTILE/ BRAILLE CHARACTERS FOR COP AND LANDINGS, AUDIBLE CHIME LANDING PASS SIGNAL AND POSITION INDICATOR
CODE COMPLIANCE:	ANSI/ASME A17.1
WARRANTY:	ONE YEAR FROM DATE OF COMPLETION



FLOOR PLAN - LOWER LEVEL

SCALE: 1/4" = 1'-0"



SYMBOLS LEGEND

EM1	EXTERIOR WALL TYPE • SEE A4 SHEETS FOR WALL TYPES
HW22	INTERIOR WALL TYPE • SEE A4 SHEETS FOR WALL TYPES
EXIT	EXIT SIGNAGE
FIRE	FIRE EXTINGUISHER w/ CABINET
EXIST	EXISTING WALL TO REMAIN
STUD	STUD WALL
CONC	CONCRETE WALL
MASON	MASONRY VENEER
1HR	(1) HOUR CMU FIRE RATED
SEE PLAN	SEE PLAN FOR ALL WALL WIDTHS
EXIST DOOR	EXISTING DOOR TO REMAIN
NEW DOOR	NEW DOOR

GENERAL NOTES

- ALL INTERIOR DIMS. ARE FROM FACE-OF-STUD TO FACE-OF-STUD.
- ALL INTERIOR WALLS TO BE 2x4, 2x6, OR 2x8 @ 16" O.C. (SEE FLOOR PLAN FOR SIZE) W/ 1/2" OR 5/8" GYPSUM BOARD BOTH SIDES - EXTEND TO BOTTOM CHORD OF TRUSSES / UNDERSIDE OF DECK.
- PROVIDE 3 1/2" SOUND BATT INSULATION AROUND PERIMETER OF TOILET ROOM AND OFFICE WALLS.
- MISCELLANEOUS HARDWARE INCLUDED: HANDICAP HARDWARE.
- PROVIDE WOOD BLOCKING FOR ANY FURNISHINGS BY OWNER. (VERIFY LOCATIONS)
- ALL EXTERIOR WINDOWS TO HAVE ALUMINUM FLASHING RETURNS AT HEAD, JAMBS, AND SILL OF ALL WINDOWS.
- ALL EXTERIOR WINDOWS TO HAVE GYPSUM BOARD RETURNS AT HEAD AND JAMBS AND WOOD SILL.
- SEE A7 SHEETS FOR TYPICAL ATTIC ACCESS PANEL.
- SEE A7 SHEETS FOR TYPICAL MECHANICAL PIPE PENETRATION THRU CEILING VAPOR RETARDER.
- PROVIDE SEALANT FROM WALL TO GYPCRETE SUBFLOOR AT PERIMETER OF MECHANICAL AND TOILET ROOMS



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PROJECT INFORMATION

PROPOSED BUILDING ADDITION FOR:
FIRST LUTHERAN PARISH HALL
728 VILLA STREET • RACINE, WI 53403

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE JAN. 17, 2025

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AD1 FEB. 11, 2025

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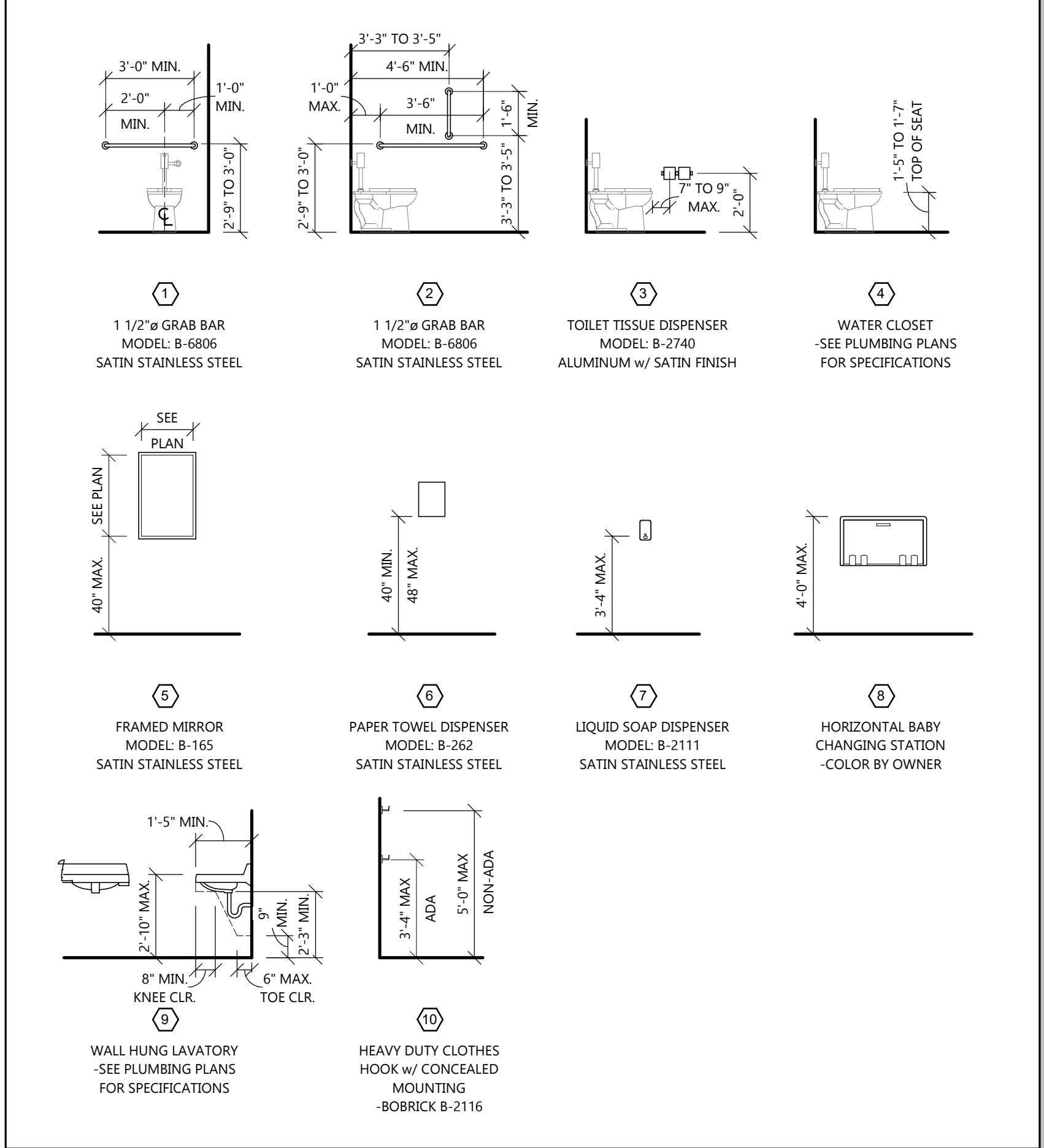
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A1.0

ARCHITECTURAL FLOOR PLAN - LOWER LEVEL

KEYED TOILET ROOM ACCESSORY LEGEND

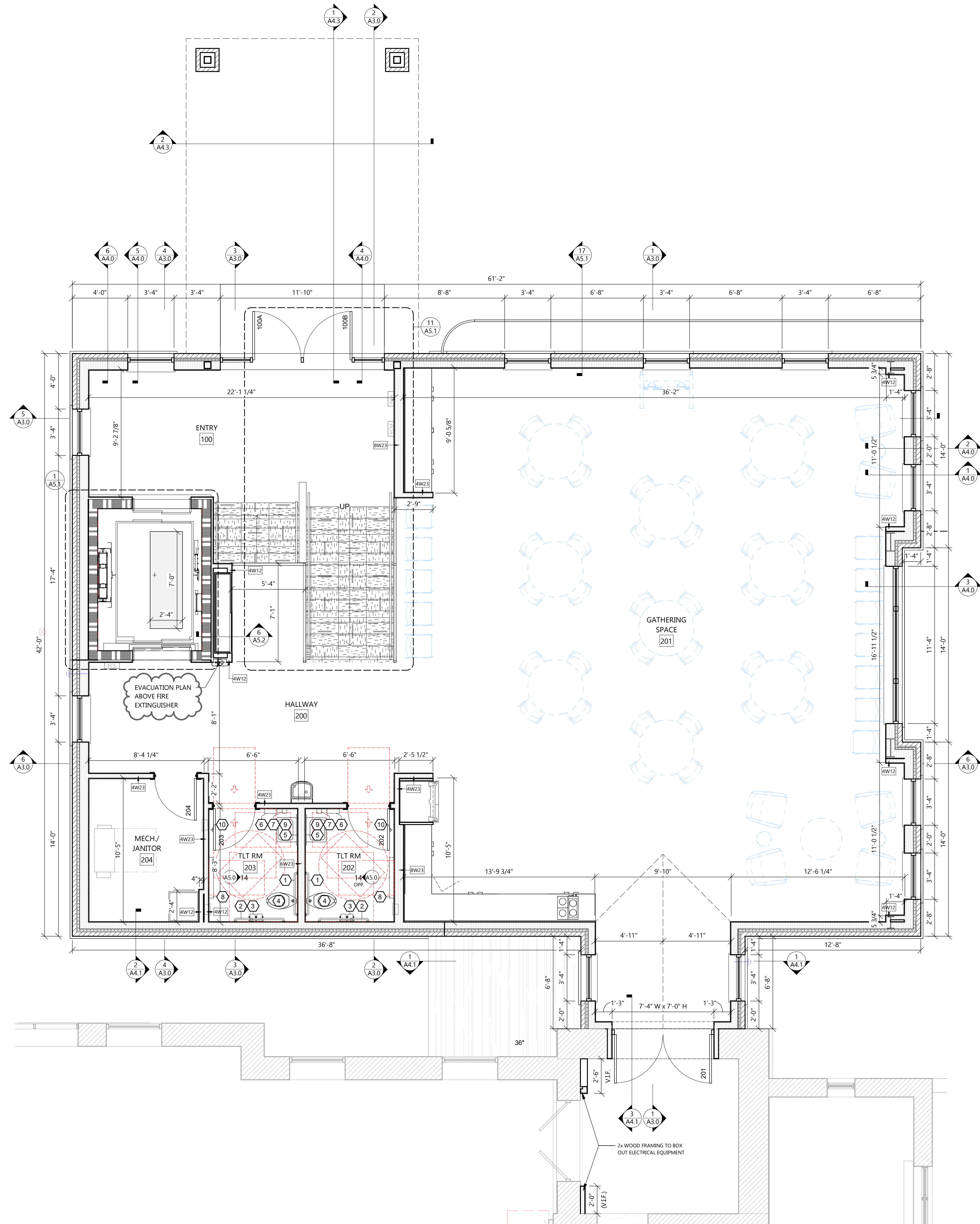


TOILET ROOM ACCESSORY SPECS:

- GENERAL NOTES:**
- SEE KEYED TOILET ROOM ACCESSORY LEGEND FOR MODEL NUMBERS, FINISH, AND COLORS
 - GENERAL CONTRACTOR SHALL PROVIDE BLOCKING AS REQ'D AT ALL ACCESSORY LOCATIONS
 - GENERAL CONTRACTOR SHALL VERIFY ROUGH OPENING REQ'S FOR ALL RECESSED EQUIPMENT/ACCESSORIES
- MANUFACTURER:**
- BOBRICK WASHROOM EQUIPMENT, INC.
- PRODUCTS:**
- GRAB BARS, TOWEL DISPENSERS, MIRRORS, SOAP DISPENSERS, BABY CHANGING STATION, ETC.

TOILET ROOM NOTES:

- 6 1/2" MAXIMUM SINK DEPTH
- INSULATE PIPES BELOW COUNTERTOPS (WATER AND WASTE LINES) w/ PVC MOLDED PROTECTION (BY PLUMBING CONTRACTOR)
- ALL DIMENSIONS SHOWN ARE FROM STUD TO STUD



SYMBOLS LEGEND

- EM1 EXTERIOR WALL TYPE
• SEE A4 SHEETS FOR WALL TYPES
- HW22 INTERIOR WALL TYPE
• SEE A4 SHEETS FOR WALL TYPES
- EXIT SIGNAGE
- FIRE EXTINGUISHER w/ CABINET
- EXISTING WALL TO REMAIN
- STUD WALL
- CONCRETE WALL
- MASONRY VENEER
- (1) HOUR CMU FIRE RATED
- SEE PLAN FOR ALL WALL WIDTHS
- EXISTING DOOR TO REMAIN
- NEW DOOR

GENERAL NOTES

- ALL INTERIOR DIMS. ARE FROM FACE-OF-STUD TO FACE-OF-STUD.
- ALL INTERIOR WALLS TO BE 2x4, 2x6, OR 2x8 @ 16" O.C. (SEE FLOOR PLAN FOR SIZE) w/ 1/2" OR 5/8" GYPSUM BOARD BOTH SIDES - EXTEND TO BOTTOM CHORD OF TRUSSES / UNDERSIDE OF DECK.
- PROVIDE 3 1/2" SOUND BATT INSULATION AROUND PERIMETER OF TOILET ROOM AND OFFICE WALLS.
- MISCELLANEOUS HARDWARE INCLUDED: HANDICAP HARDWARE.
- PROVIDE WOOD BLOCKING FOR ANY FURNISHINGS BY OWNER. (VERIFY LOCATIONS)
- ALL EXTERIOR WINDOWS TO HAVE ALUMINUM FLASHING RETURNS AT HEAD, JAMBS, AND SILL OF ALL WINDOWS.
- ALL EXTERIOR WINDOWS TO HAVE GYPSUM BOARD RETURNS AT HEAD AND JAMBS AND WOOD SILL.
- SEE A7 SHEETS FOR TYPICAL ATTIC ACCESS PANEL.
- SEE A7 SHEETS FOR TYPICAL MECHANICAL PIPE PENETRATION THRU CEILING VAPOR RETARDER.
- PROVIDE SEALANT FROM WALL TO GYPCRETE SUBFLOOR AT PERIMETER OF MECHANICAL AND TOILET ROOMS

PROJECT INFORMATION

PROPOSED BUILDING ADDITION FOR:
FIRST LUTHERAN PARISH HALL
728 VILLA STREET • RACINE, WI 53403

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE	JAN. 17, 2025
REVISIONS	
CB1	FEB. 18, 2025

JOB NUMBER

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SHEET NUMBER

A1.1



FLOOR PLAN - MAIN LEVEL

SCALE: 1/4" = 1'-0"



ARCHITECTURAL FLOOR PLAN - MAIN LEVEL