

# Department of Public Works

City Hall  
730 Washington Avenue  
Racine, Wisconsin 53403  
(262) 636-9121 - Public Works  
(262) 636-9191 - Engineering



John C. Rooney, P.E.  
Commissioner of Public Works/City Engineer

Thomas M. Eeg, P.E.  
Asst. Comm. of Public Works/Operations

December 3, 2020

Legistar Item:

Alder Mollie Jones, Chair  
Public Works and Services Committee  
Racine, WI

Re: State Project ID 2703-00-02 – W. 6<sup>th</sup> Street Bridge Replacement

Dear Alder Jones:

Submitted for your review and approval is an Encroachment Report for the above mentioned project dated August 23, 2017 completed by Ayres and Associates of Waukesha, WI.

The encroachment report, if approved by the committee, can then be acted upon and enforced prior to construction of the bridge replacement project. This is a standard report generated for WDOT projects in urban setting detailing any encroachment into existing or ultimate right of way that will hinder the construction of the project.

Please refer to the attached report for additional information.

Sincerely,

A handwritten signature in black ink, appearing to read "Ara P. Molitor".

Ara P. Molitor, P.E.  
Interim City Engineer

Enclosures

cc: John Rooney  
Mayor Cory Mason  
Kathleen Fischer  
Tom Eeg  
Robert Rafel

# **ENCROACHMENT REPORT**

**I.D. 2703-00-02  
West 6<sup>th</sup> Street  
Bridge Over the Root River  
(P-51-0709)  
Racine County  
August 23, 2017**

**PREPARED BY:**

**AYRES**  
**ASSOCIATES**

N17 W24222 Riverwood Drive, Suite 310  
Waukesha, WI 53188  
(262) 523-4488, FAX (262) 523-4477

## Introduction

Ayres Associates has been retained by the City of Racine for the reconstruction of the West 6<sup>th</sup> Street Bridge over the Root River. As part of the project an encroachment study has been conducted. According to the Wisconsin Facilities Development Manual (FDM), an encroachment is "any unauthorized object located partially or wholly within the highway right-of-way." Typically, encroachments include objects such as fences, signs, decorative mailboxes, bushes, shrubs, etc. Trees are typically not considered encroachments because if they are within the municipal right-of-way (ROW) they are under the jurisdiction of the municipality.

Encroachments can be handled in one of three ways: removal ordered, revocable occupancy permit, or sale/lease of highway land. For this report a fourth recommendation of "no action required" is also considered to account items that will be removed as part of construction, or items that will no longer pose safety hazards or visual obstructions once proposed construction is complete.

To determine if an encroachment can be allowed to remain, a couple of factors are considered. The factors considered in this report are as follows:

- Lateral Clearance is the width adjacent to the roadway in which no fixed object can be placed and is for the benefit of vehicles on the roadway. Lateral clearance is required on all roadways. Refer to attached proposed typical sections for lateral clearance widths, gathered from the FDM, applied to this project.
- Intersection Sight Distance is the distance that unobstructed sight is needed along both the mainline and side road that is sufficient to allow approaching vehicles, or vehicles at the intersection, to safely carry out their intended intersection movement. Sight distance guidance from the FDM was followed for this project.

The results of the field review along with recommended actions can be found in the following report. Plan sheets are attached for reference.

**Owner:** Cynthia M Krueger  
**Business:** Residences  
**Address:** 2000 Kinzie Avenue  
Racine, WI 53405

**Location:**

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2000A	STA 7+06, Encroachment: 36' LT, RW: 37' LT (See Attachment)
2000B	STA 7+06 – STA 7+09, Encroachment: 36' LT, RW: 37' LT (See Attachment)

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**Description:**

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2000A	Railing - edge of existing sidewalk, partially within ROW
2000B	Stairs - edge of existing sidewalk, partially within ROW

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**Recommendation:**

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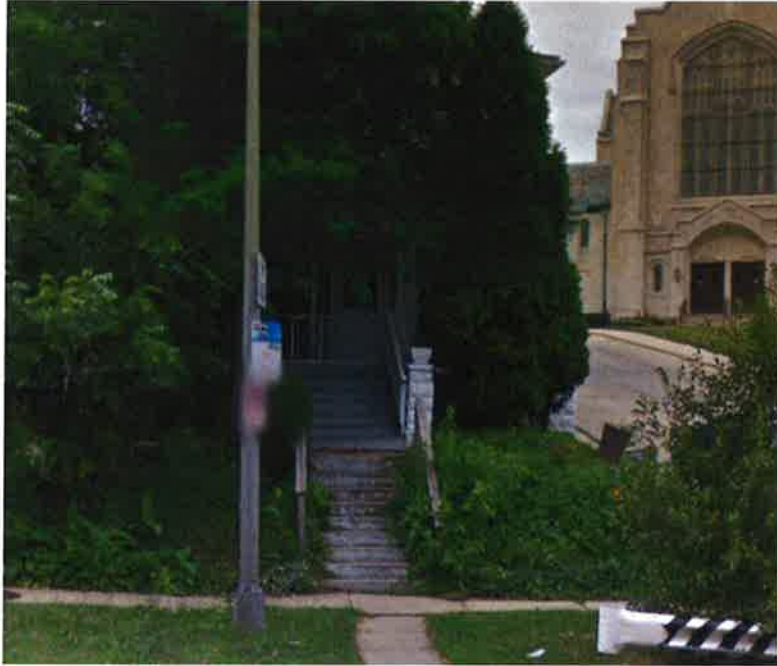
2000A	No action required. The railing is outside the roadway lateral clearance and proposed construction limits.
2000B	No action required. The stairs are outside the roadway lateral clearance and proposed construction limits.

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(2000A)



(2000B)



**Owner:** Christian & Melissa Olson  
**Business:** Residences  
**Address:** 2004 Kinzie Avenue  
Racine, WI 53405

**Location:**

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2004A STA 6+76, Encroachment: 29' LT, RW: 30' LT (See Attachment)

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2004B STA 6+76 – STA 6+82, Encroachment: 29' LT, RW: 30' LT (See Attachment)

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**Description:**

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2004A Railing - edge of existing sidewalk, partially within ROW

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2004B Stairs - edge of existing sidewalk, partially within ROW

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**Recommendation:**

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2004A No action required. The railing is outside the roadway lateral clearance and proposed construction limits.

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2004B No action required. The stairs are outside the roadway lateral clearance and proposed construction limits.

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(2004A)



(2004B)



**Owner:** Victor R Frasher  
**Business:** Residences  
**Address:** 2006 Kinzie Avenue  
Racine, WI 53405

**Location:**

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2006A	STA 6+36, Encroachment: 26' LT, R/W: 27' LT (See Attachment)
2006B	STA 6+36 – STA 6+40, Encroachment: 26' LT, R/W: 27' LT (See Attachment)

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**Description:**

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2006A	Railing - edge of existing sidewalk, partially within ROW
2006B	Stairs - edge of existing sidewalk, partially within ROW

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**Recommendation:**

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2006A	No action required. The railing is outside the roadway lateral clearance and proposed construction limits.
2006B	No action required. The stairs are outside the roadway lateral clearance and proposed construction limits.

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(2006A)





(2006B)



**Owner:** George A Talsma  
**Business:** Residences  
**Address:** 2010 Kinzie Avenue  
Racine, WI 53405

**Location:**

2010A STA 5+63 – STA 6+12, Encroachment: 30' LT, R/W: 31' LT (See Attachment)

2010B STA 5+75, Encroachment: 29' LT, R/W: 30' LT (See Attachment)

2010C STA 5+75 – STA 5+81, Encroachment: 29' LT, R/W: 30' LT (See Attachment)

**Description:**

2010A Retaining Wall – edge of existing sidewalk, partially within ROW

2010B Railing - edge of existing sidewalk, partially within ROW

2010C Stairs - edge of existing sidewalk, partially within ROW

**Recommendation:**

2010A No action required. The retaining wall is outside the roadway lateral clearance and proposed construction limits.

2010B No action required. The railing is outside the roadway lateral clearance and proposed construction limits.

2010C No action required. The stairs are outside the roadway lateral clearance and proposed construction limits.

(2010A)



(2010B)



(2010C)



**Owner:** Alejandra Fragoso  
**Business:** Residences  
**Address:** 2014 Kinzie Avenue  
Racine, WI 53405

**Location:**

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2014A STA 5+37, Encroachment: 30' LT, RW: 32' LT (See Attachment)

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2014B STA 5+37 – STA 5+42, Encroachment: 30' LT, RW: 32' LT (See Attachment)

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**Description:**

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2014A Railing - edge of existing sidewalk, partially within ROW

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2014B Stairs - edge of existing sidewalk, partially within ROW

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**Recommendation:**

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2014A No action required. The railing is outside the roadway lateral clearance and proposed construction limits.

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2014B No action required. The stairs are outside the roadway lateral clearance and proposed construction limits.

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(2014A)



(2014B)



**Owner:** Cincoe Limited Liability Corp  
**Business:** Residences  
**Address:** 2016 Kinzie Avenue  
Racine, WI 53405

**Location:**

2016A	STA 4+86, Encroachment: 32' LT, R/W: 34' LT (See Attachment)
2016B	STA 4+86 – STA 4+91, Encroachment: 32' LT, R/W: 34' LT (See Attachment)

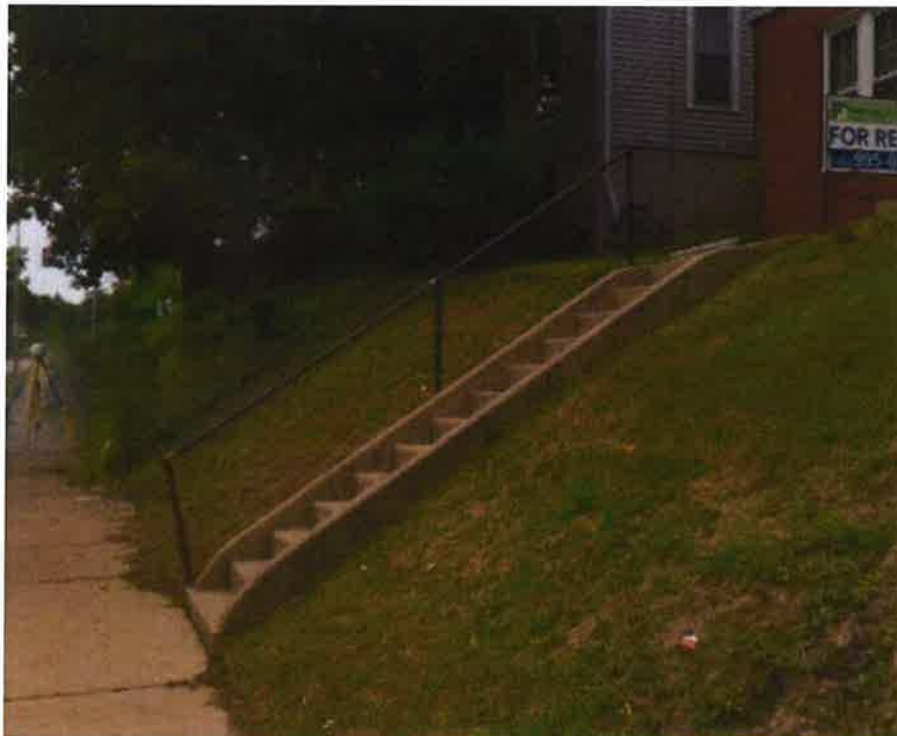
**Description:**

2016A	Railing - edge of existing sidewalk, partially within ROW
2016B	Stairs - edge of existing sidewalk, partially within ROW

**Recommendation:**

2016A	No action required. The railing is outside the roadway lateral clearance and proposed construction limits.
2016B	No action required. The stairs are outside the roadway lateral clearance and proposed construction limits.

(2016A)



(2016B)



**Owner:** Shelia P Williams  
**Business:** Residences  
**Address:** 1824 West 6<sup>th</sup> Street  
Racine, WI 53404

**Location:**

1824A STA 11+16 – STA 11+21, Encroachment: 29' LT, RW: 30' LT (See Attachment)

**Description:**

1824A Pavers - edge of existing sidewalk, partially within ROW

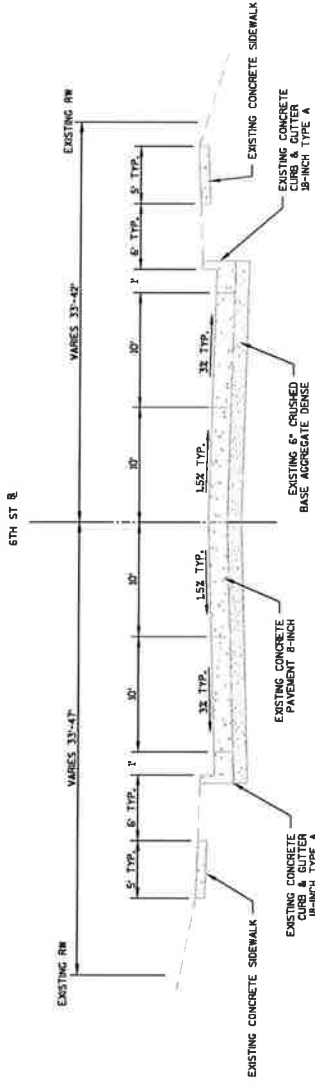
**Recommendation:**

1824A Removal Ordered. The pavers are within the proposed construction limits. In lieu of a removal order, the encroachment could be removed during construction.

(1824A)

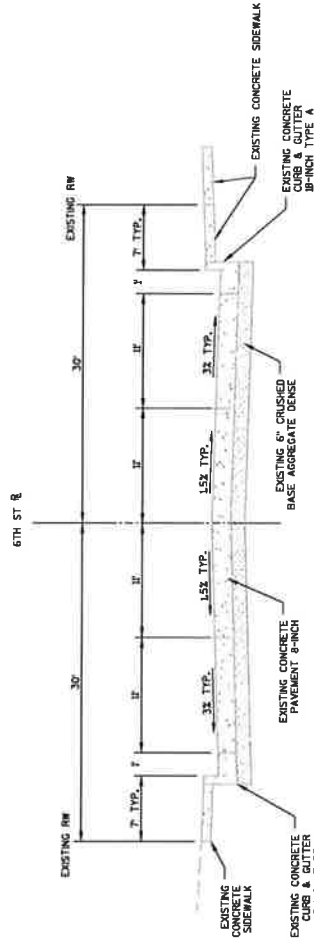






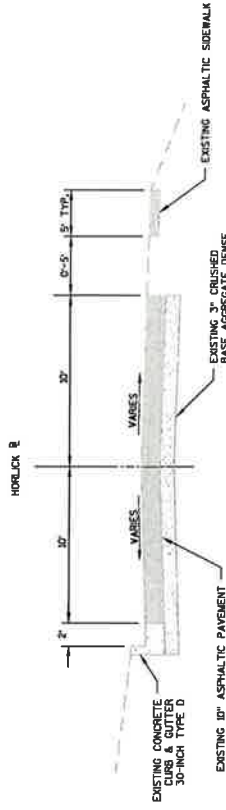
TYPICAL EXISTING SECTION

KINZIE AVENUE WEST 6TH STREET  
STA 4485 - STA 7+91



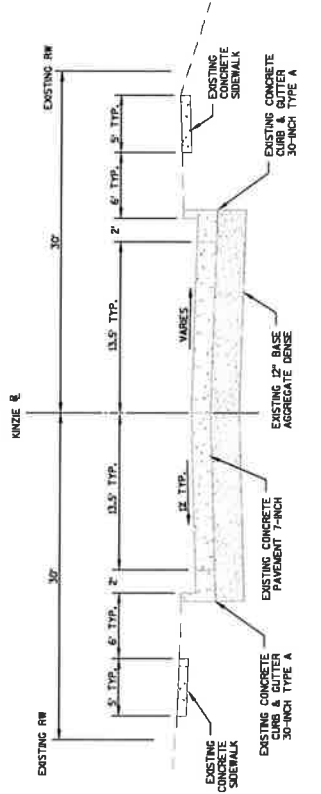
TYPICAL EXISTING SECTION

WEST 6TH STREET  
BRIDGE - STA 14+50



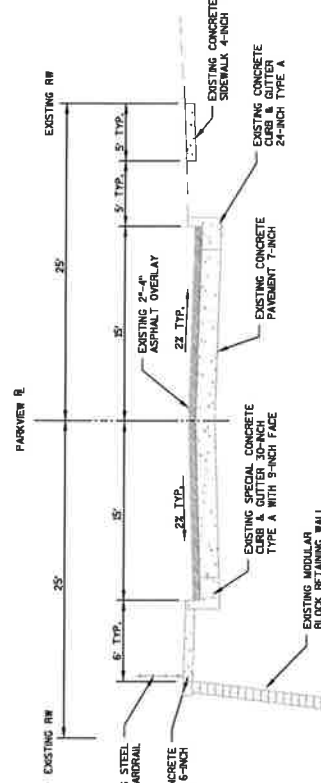
TYPICAL EXISTING SECTION

HORLICK PARK DRIVE  
STA 42+30 - STA 47+25



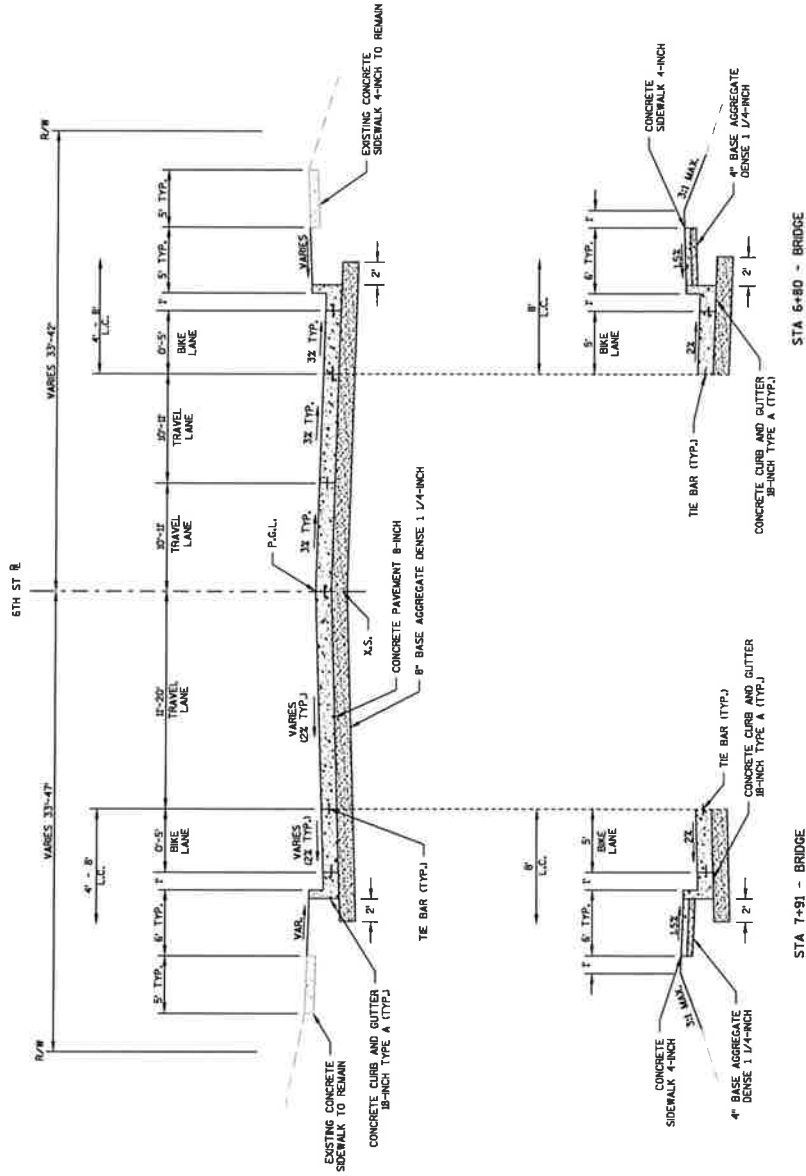
TYPICAL EXISTING SECTION

KINZIE AVENUE  
STA 20+36 - STA 20+68



TYPICAL EXISTING SECTION

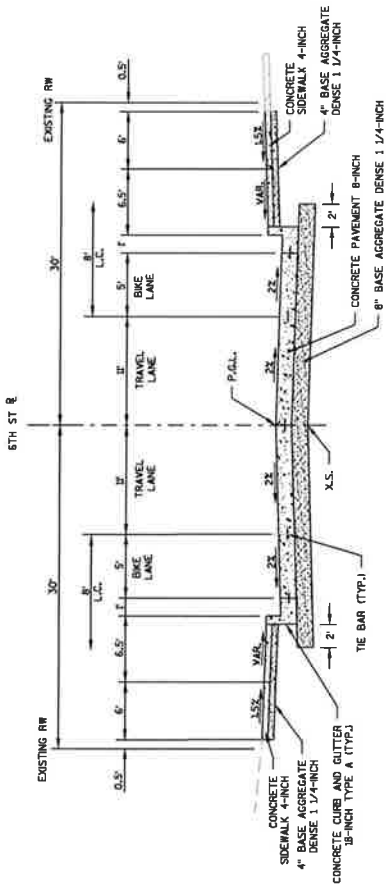
PARKVIEW DRIVE  
STA 30+16 - STA 30+65



TYPICAL FINISHED SECTION

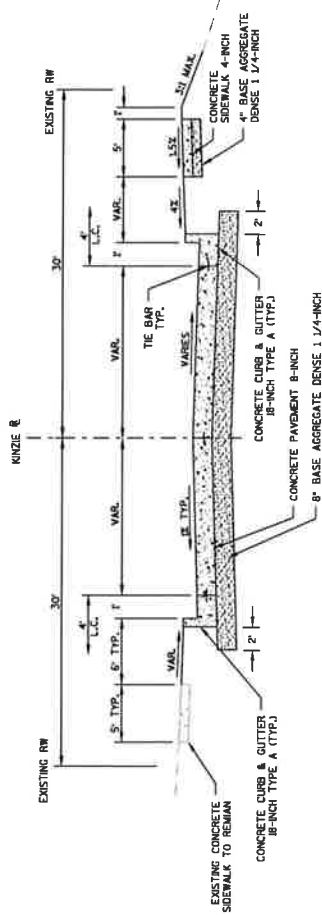
KINZIE AVENUE WEST 6TH STREET  
 STA 4+85 - STA 7+91 - BRIDGE

- NOTES**
- L.C. = LATERAL CLEARANCE
  - C.Z. = CLEAR ZONE
  - V.C. = VERTICAL CLEARANCE
  - P.G.L. = POINT REFERRED TO ON PROFILE
  - X.S. = POINT REFERRED TO ON CROSS SECTION



TYPICAL FINISHED SECTION

WEST 6TH STREET BRIDGE - STA 20+50



TYPICAL FINISHED SECTION

KINZIE AVENUE STA 20+68

NOTES

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- V.C. = VERTICAL CLEARANCE
- P.O.L.L. = POINT REFERRED TO ON PROFILE
- X.S. = POINT REFERRED TO ON CROSS SECTION

PROJECT NO: 2703-00-02

HWY: WEST 6TH STREET

COUNTY: RACINE

TYPICAL FINISHED SECTIONS

SHEET

E

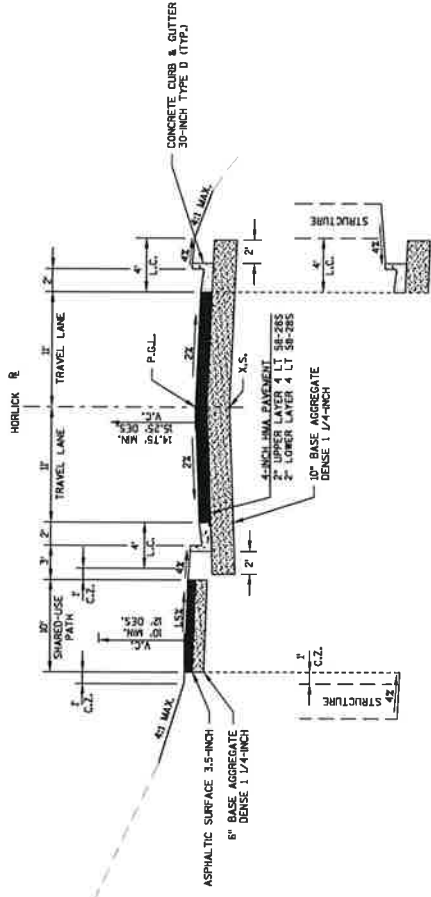
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PLOT DATE: 8-22-2017 9:18 AM

PLOT BY: SANDERFOOT, JASON

PLOT SCALE: 1/8"=1'-0"

WISDOT/CADD SHEET 4E

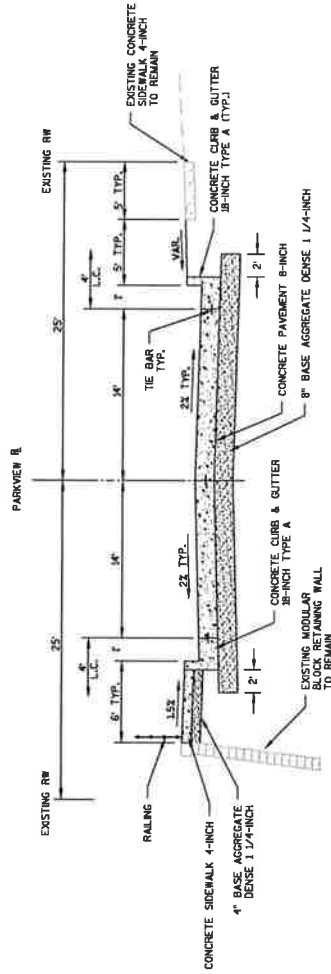


STA 43+75 - STA 45+75

STA 44+48 - STA 44+97

TYPICAL FINISHED SECTION

HORLICK PARK DRIVE  
STA 42+30 - STA 47+25



TYPICAL FINISHED SECTION

PARKVIEW DRIVE  
STA 30+36 - STA 30+45

- NOTES:**
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PROJECT NO: 2703-00-02

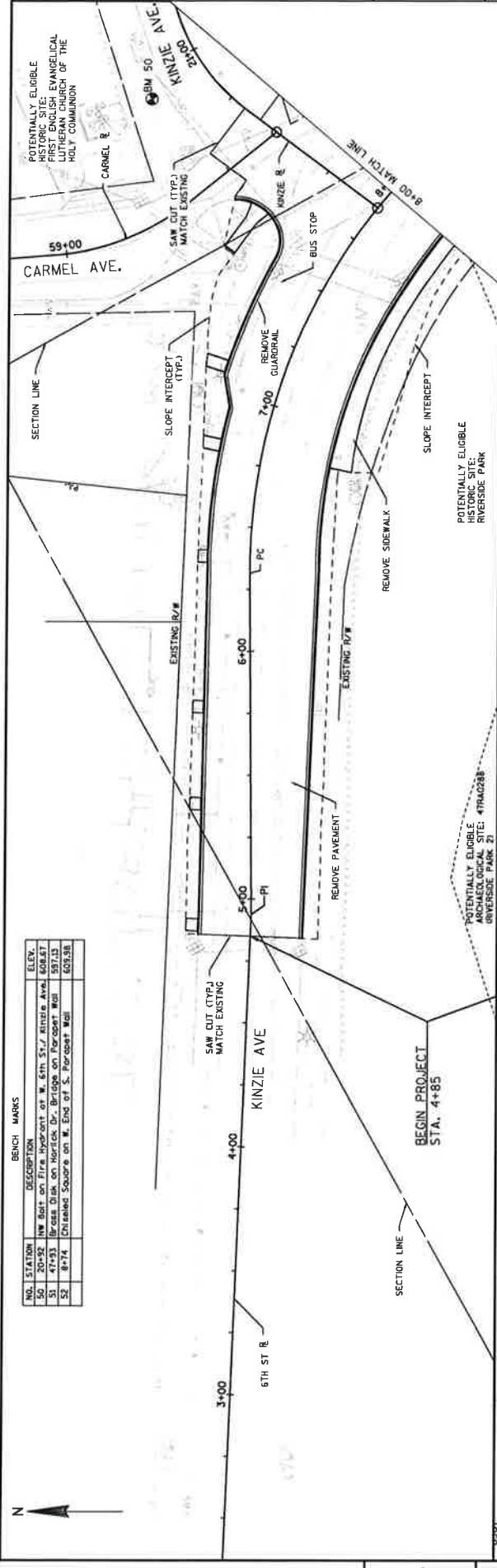
HWY: WEST 6TH STREET

COUNTY: RACINE

TYPICAL FINISHED SECTIONS

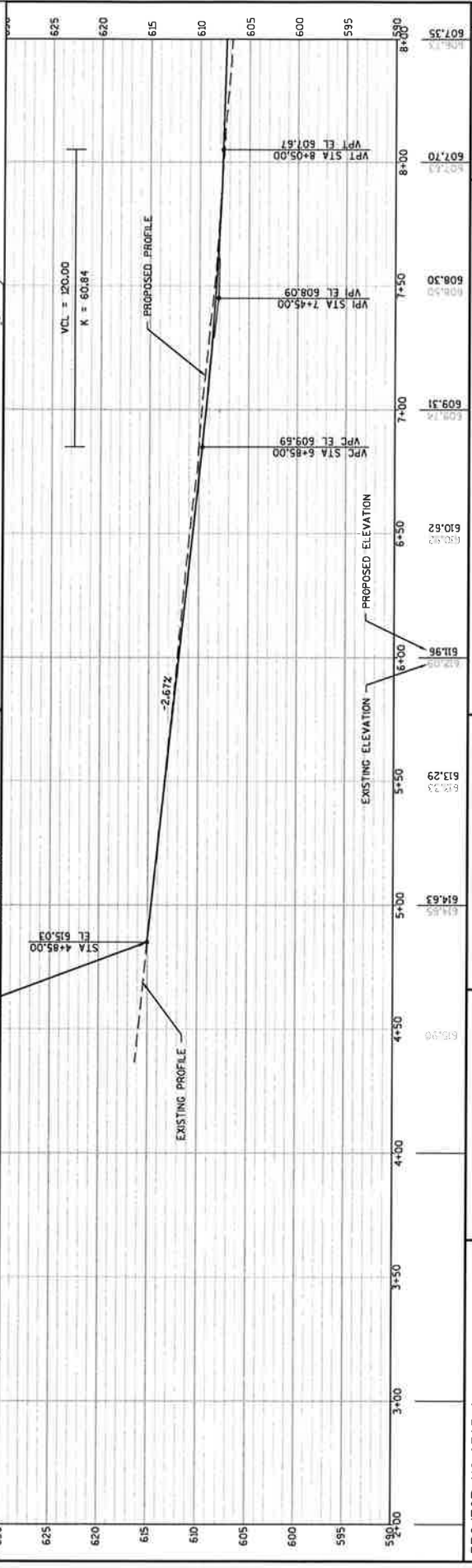
SHEET

E

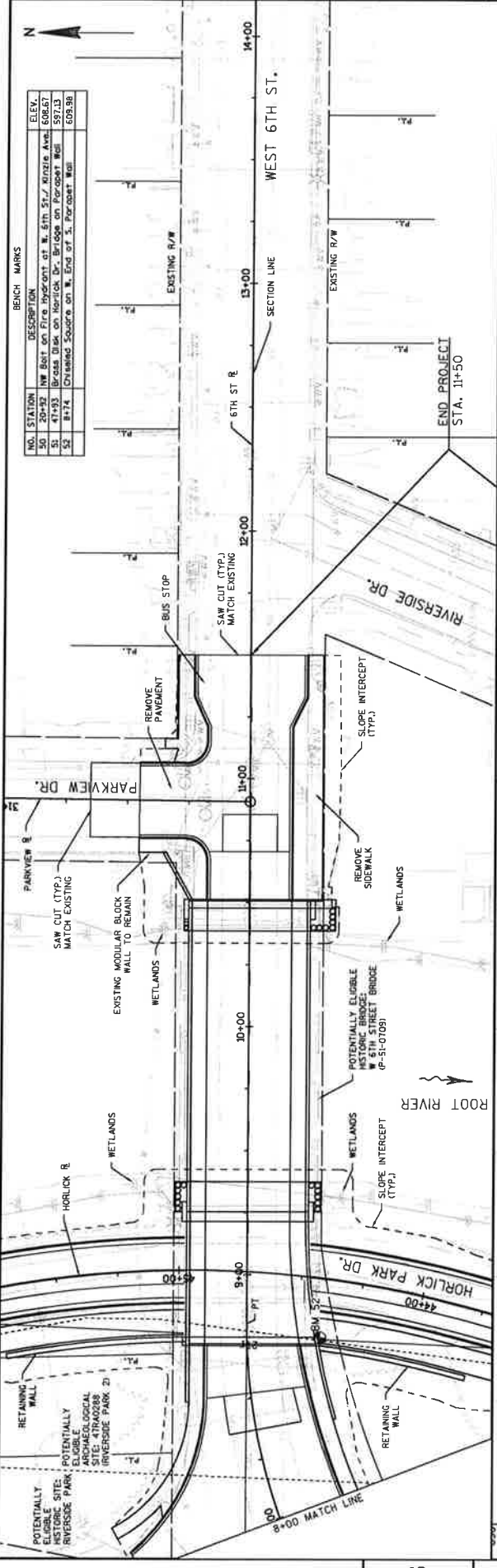


BENCH MARKS

NO.	STATION	DESCRIPTION	ELEV.
50	20+32	NW Cor. on Elm. Highway at W. 6th St. Kinzie Ave.	592.13
51	47+33	Brass Disk on Horlock Dr. Bridge on Percourt Mall	609.58
52	8+74	Children's Square on W. End of S. Percourt Mall	609.58

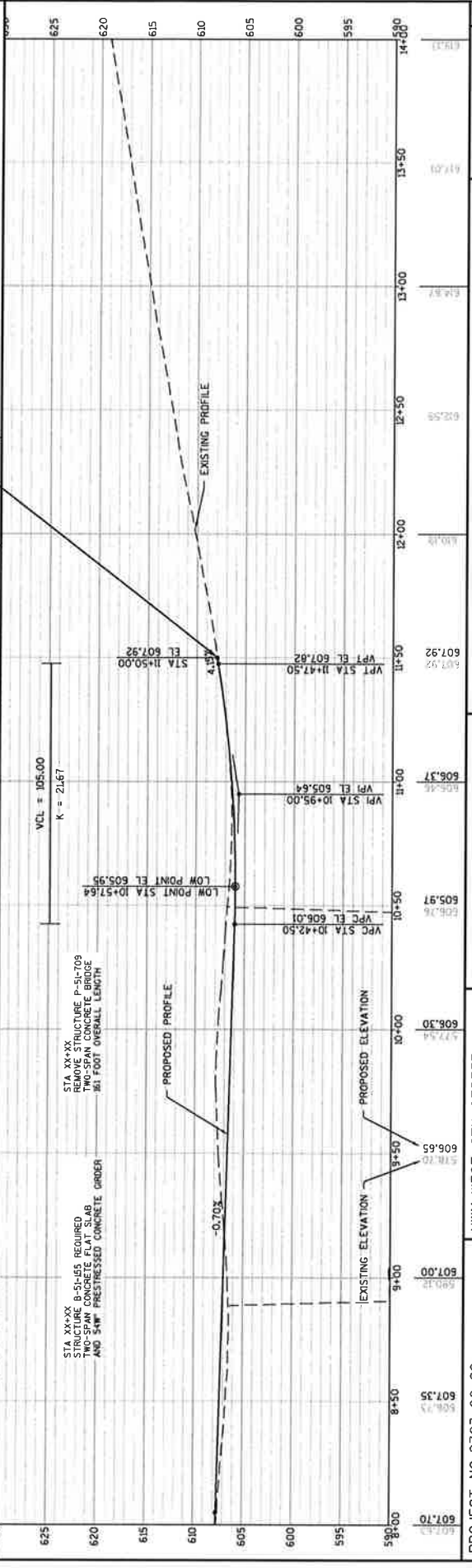


PROJECT NO: 2703-00-02  
 COUNTY: RACINE  
 HWY: WEST 6TH STREET  
 PLAN AND PROFILE: WEST 6TH STREET  
 SHEET E  
 FILE NAME: S:\TRANS\116664000\_ETS\RD\DRAWING\CD\SP\2703-00-02\PLAN\05101-PP.DWG  
 LAYOUT NAME: 6TH ST - (L)  
 PLOT DATE: 8/23/2017 10:10 AM  
 PLOT BY: SANDERFOOT, JASON  
 PLOT NAME:  
 PLOT SCALE: 1 IN=40 FT  
 WSDOT/CADDIS SHEET 44



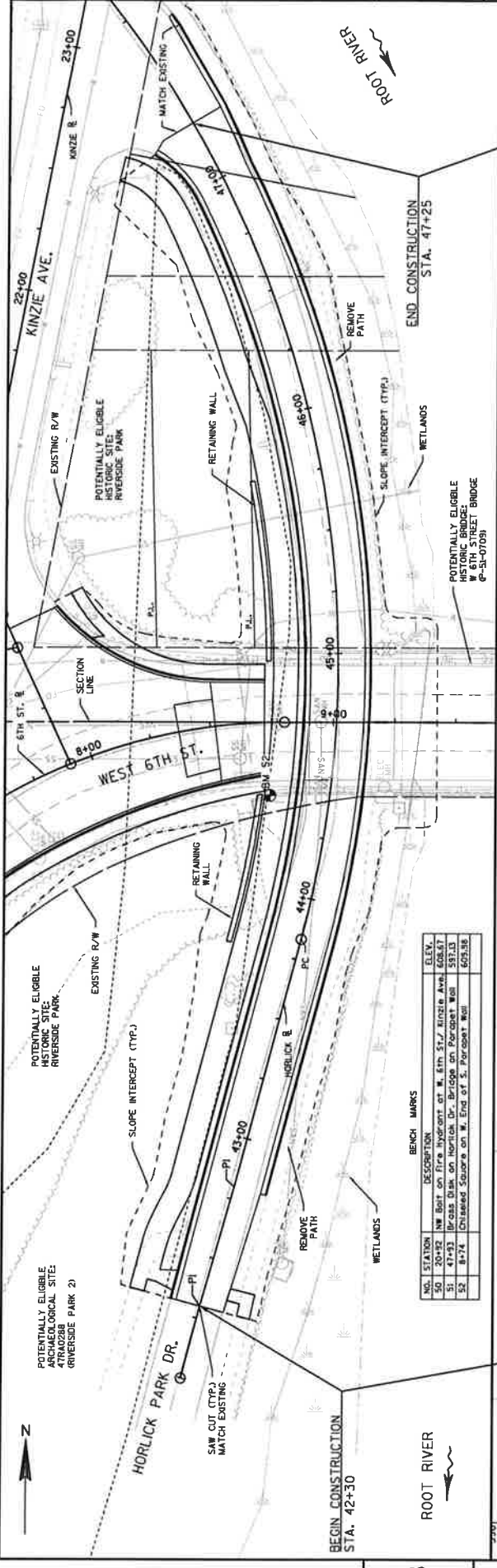
BEACH MARKS

NO.	STATION	DESCRIPTION	ELEV.
1	8+10	BEACH MARK ON FIRE DEPARTMENT ON N. 5TH ST./ KIRZIE AVE	508.67
2	8+13	BEACH MARK ON N. 5TH ST. ON E. EDGE OF FOREST WALK	511.13
3	8+14	BEACH MARK ON N. 5TH ST. ON E. EDGE OF FOREST WALK	511.13
4	8+14	BEACH MARK ON N. 5TH ST. ON E. EDGE OF FOREST WALK	505.58

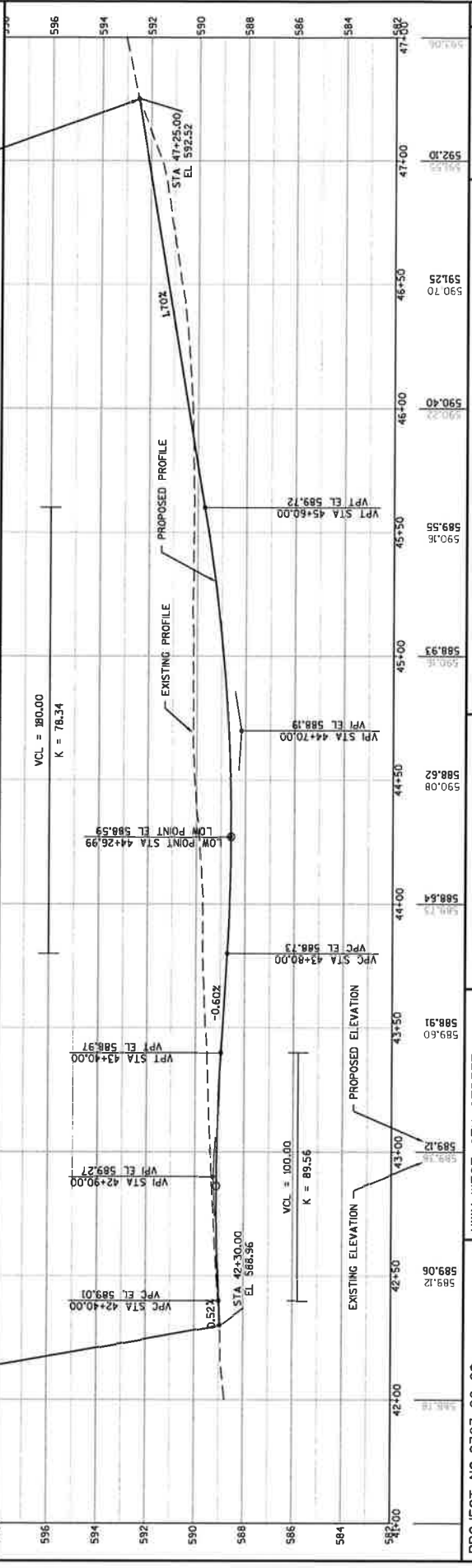


PROJECT NO: 2703-00-02  
 COUNTY: RACINE  
 HWY: WEST 6TH STREET  
 PLAN AND PROFILE: WEST 6TH STREET  
 SHEET E

FILE NAME: V:\TRANS\MN\5051000\_6TH\ROADWAY\CD\3-SHEET\PLAN\250101-PP.DWG  
 LAYOUT NAME: 6TH ST. 02  
 PLOT DATE: 8/22/2017 10:10 AM  
 PLOT BY: SAKER/FOOT, JASON  
 PLOT NAME: 1  
 PLOT SCALE: 1 IN=40 FT  
 WISDOT/CADD SHEET 44



NO.	STATION	DESCRIPTION	ELEV.
1	42+30	BM on top of curb on W. 6th St. / Horlick Ave. 588.17	588.17
2	42+30	BM on top of curb on W. 6th St. / Horlick Ave. 588.17	588.17
3	42+30	BM on top of curb on W. 6th St. / Horlick Ave. 588.17	588.17
4	42+30	BM on top of curb on W. 6th St. / Horlick Ave. 588.17	588.17
5	42+30	BM on top of curb on W. 6th St. / Horlick Ave. 588.17	588.17



PROJECT NO: 2703-00-02  
 COUNTY: RACINE  
 HWY: WEST 6TH STREET  
 PLAN AND PROFILE: HORLICK PARK DRIVE  
 SHEET  
 WSDOT/CADDIS SHEET 44

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