



CITY OF RACINE

General Application Form

Department of City Development
730 Washington Ave., Rm. 102
Racine, WI 53403
Phone: 262-636-9151
Fax: 262-635-5347

Type of Reviews

- 2035 Comprehensive Plan Amendment (\$0 Fee)
- Administrative Review (\$0 Fee)
- Certified Survey Map (\$170 + \$50 per lot)
- Conditional Use Permits (\$695 Fee)
- Design Review (\$0 Fee)
- Research Request (\$0 Fee)
- Rezoning (\$830 Fee)

APPLICANT NAME: _____
ADDRESS: STREET: _____ **CITY:** _____ **STATE:** _____ **ZIP:** _____
TELEPHONE: _____ **CELL PHONE:** _____
EMAIL: _____

AGENT NAME (IF APPLICABLE): _____
ADDRESS: STREET: _____ **CITY:** _____ **STATE:** _____ **ZIP:** _____
TELEPHONE: _____ **CELL PHONE:** _____
EMAIL: _____

PROPERTY ADDRESS (ES): _____
CURRENT ZONING: _____
CURRENT/MOST RECENT PROPERTY USE: _____
PROPOSED USE: _____
PROPOSED ZONING (only if applicable): _____
LEGAL DESCRIPTION AND TAXKEY (only required for CSM, Rezoning and Comprehensive Plan Amendments): _____

CURRENT COMPREHENSIVE PLAN DESIGNATION: (only for comp plan amendments) _____
PROPOSED COMPREHENSIVE PLAN DESIGNATION: (only for comp plan amendments) _____

Are you the owner of the property included in the area of the requested zoning?

- Yes
- No
- Option to Purchase
- Lease

***NOTE:** The owner of the property (if different than the applicant) must sign this application.

OWNER & APPLICANT AUTHORIZATION

The signature(s) hereby certify that the statements made by myself and constituting part of this application are true and correct. I am fully aware that any misrepresentation of any information on this application may be grounds for denial of this application. I agree that if this request is approved, it is issued on the representations made in this submittal, and any approval or subsequently issued building permit(s) or other type of permit(s) may be revoked without notice if there is a breach of representation or conditions of approval. The applicant/owner by their signature understands and agrees that they are responsible for the completion of all on-site and off-site improvements as shown and approved on the final plan:

Owner (s) Signature: *Tee Whu* **Date** 12/13/19
Print Name: _____

Applicant (s) Signature: _____ **Date** _____
Print Name: _____



CITY OF RACINE

Conditional Use Permit Checklist

Department of City Development
730 Washington Ave., Rm. 102
Racine, WI 53403
Phone: 262-636-9151
Fax: 262-635-5347

Applicant

- General Development Application Form
- SITE PLAN(S)

- **MUST BE DRAWN TO AN ENGINEER OR ARCHITECT SCALE AND PROVIDE THE FOLLOWING INFORMATION**
(Unless otherwise noted, provide 3 copies of the Site Plan. If full-scale architectural plans are submitted, one copy of the plans shall be no larger than 11"x17". The reduced copy does not need to be to scale. NOTE: Submit 8 sets for Planned Developments). **Complete, scaled and legible plans are required. If you are unable to provide this information addressing all the requirements below, you may wish to contact an architect to assist you in creating your documents for submittal.**

Plans Should Include

- Lot Information**
 - Clearly identify the lot(s) being requested for Conditional Use. Include accurate lot dimensions, and the location of the lot in relation to adjacent streets, curbs, and surrounding lots. Provide a North arrow, and note the scale used (i.e.: 1"-20').
- Structure Location**
 - Location of all structures on the lot. All structures shall be drawn and dimensioned. Show the distance of the structures from property lines, as well as the distance from other buildings on the lot.
- Ingress/Egress**
 - Show the access drives, and their widths, into the site. Also show any recorded ingress/egress or other easements (check with the Register of Deeds for this information). Show location and width of all easements within the site and at the property line/s.
- Parking Lot**
 - Show all on-site parking areas with stall sizes. Legal stall size is 9' wide by 19' deep. Indicate the width of all drive aisles accessing the parking. Show the curb line, wheel stops, any loading areas on the building/site, and location of handicapped spaces.
- Trash/Utility Areas**
 - Show the location of trash or utility areas and how they will be, or are, screened (i.e.: fencing with slats, wood fencing, landscaping, etc.). Trash bins/dumpsters require 6' opaque screening with closing gates.
- N/A Fencing/Walls**
 - Show the location and height of all existing and proposed fencing or walls and what materials they are/will be made of. Show any outdoor patio areas, even if located below a canopy.
- Outdoor Lighting**
 - Show all existing and proposed outdoor lighting located on the building and on the site itself. Provide the height of the lights by measuring from grade to the top of the fixture. Identify the type of fixture and angle/direction of the light beam. If an under-lit canopy is requested, a photometric plan prepared by a licensed company is required with the submittal.
- Landscaping**
 - Provide a landscaping plan showing all existing and proposed landscaping. Indicate the plant species, sizes (caliper or gallon), and location of plantings on the site plan. Indicate and identify if existing landscaping is proposed to be altered. Species to be non-invasive, salt tolerant and drought resistant.

Surface Details

- Indicate the surface detail of all outdoor areas (i.e.: grass, gravel, asphalt, concrete, pavers, etc.).

Sewer/Water

- Show the location of all sewer, water and storm sewer lines (only for new construction or project where there is an increase in impervious surface).

Signage

- Provide proposed signage information for the project. (Note: This is required if signage is the reason for the conditional use. If not, signage may be approved separately from the Conditional Use review unless otherwise indicated by Staff).

Drainage/Grading

- Show on-site surface water drainage and grading, and building and ground elevations (new construction only).

FLOOR PLANS & ELEVATION DRAWINGS TO SCALE: (Unless otherwise noted, provide 3 copies, One of the three copies shall be no larger than 11"x17". The reduced copy does not need to be to scale. (NOTE: Submit 8 sets for Planned Developments): **If you are unable to provide this information addressing all the requirements below, you may wish to contact an architect to assist you in creating your plans.**

Scaled Floor Plans

- Provide an 'as-built' copy, and a 'proposed build out' copy if any changes to the internal layout are requested. Scaled dimensions of all interior areas shall be provided. These areas may include office spaces, general work areas, storage areas, waiting rooms, repair areas, bathrooms, garage areas, kitchen areas, etc.

Architecture

- Provide detail of existing architectural treatments on the entire building exterior. If remodeling, repairing, or new construction work is part of this proposal, also provide information on proposed colors, materials, and extra features such as awnings, canopies, porticos, etc. Identify what materials the building will be constructed of (i.e.: masonry, brick, etc.). Indicate any proposed changes to the materials (including the roof).

OTHER INFORMATION

Written Description

- Provide a DETAILED, WRITTEN description of the proposed business. Provide information about the type of business, machinery involved, type of product produced and/or services being provided, noise issues, parking data, etc. Additional information may be requested throughout the review process.

Deliveries

- Discuss anticipated truck traffic and size of trucks, as well as frequency of deliveries and pick-ups.

Maintenance Plan

- Provide a site maintenance plan, indicating who will be responsible for things such as grass cutting, garbage and litter removal, enforcement of parking standards, clearing of snow, daily site up-keep, etc. If these duties will be contracted out, include a copy of the contractor's proposal or agreement.

N/A Indicate any plans for future expansion, if applicable

N/A Review Fee

- **A non-refundable review fee of \$695.00, payable by cash or check, made out to the City of Racine shall be submitted with the complete submittal+. If this request is being made in conjunction with a rezoning request, the combined fee is \$1,120.00.**

I certify that all items checked above have been provided. I understand that not providing all of this information may result in an incomplete application and delay the consideration of my project for approval.

SIGNATURE: _____ **DATE:** _____

Proposed Medical Office Building – Design Narrative

This project consists of a one-story medical office building about 9,600 SF.

This is an existing retail building and will be getting a new vestibule addition on the north side of the building.

The interior will be completely remodeled to consist of (9) primary care exam rooms and two (2) urgent care exam rooms.

There will be imaging services and lab/blood draw provided.

There will be one (1) procedure room and support space for this service.

Primary hours of operation will be 7:00am to 6:00pm on Monday thru Friday,

Urgent Care hours will be from 2:00pm to 10:00pm on Monday – Friday and 8:00am to 4:00pm on Saturday and Sunday.

Deliveries will be coming to the existing side entrance on the east side of the building and will consist of box trucks. No semi-tractor trailers are anticipated for this site.

Exterior of the building consists of split face concrete block, EIFS, metal panel and storefront glazing systems. The existing block and EIFS will be cleaned and repaired as necessary to maintain the current look. The existing blue metal panels will be replaced with green metal panels at the signage areas on the building. The signage will be replaced as a one-to-one replacement on three sides of the building. There will be a new monument sign in place of the existing sign with similar size requirements.

There will be a new exterior generator and electrical transformer that will be screened with landscaping.

New mechanical units will be placed on the roof in the place of the existing units and will be similar in size and height to the existing units.

The existing dumpster enclosure will be utilized on the east side of the building.

No future additions are planned for this site.



AURORA HEALTH CENTER - RACINE
 PROPOSED EXTERIOR

GENERAL CONSTRUCTION NOTES:

- PORTION OF BUILDING SHOWN IN A LIGHTER TONE ARE EXISTING BASE BUILDING WHICH ARE TO REMAIN.
- ALIGNMENT OF NEW CONSTRUCTION TO EXISTING WALLS & COLUMNS SHALL BE ONE IN A MANNER AS TO VISIBLY ELIMINATE THE POINT OF CONTACT OR JOINT OF NEW AND EXISTING MATERIALS TO PROVIDE SMOOTH AND CONTINUOUS SURFACE. MAINTAIN APPROPRIATE FIRE-RATED CONSTRUCTION AT DISTURBED AREAS.
- WALLS ARE TO BE PARALLEL & PERPENDICULAR TO ADJACENT WALLS UNLESS OTHERWISE NOTED. ALIGN WALLS WHERE APPARENT.
- ALL NEW INTERIOR WALLS ARE TO BE TYPE "SS" WALLS UNLESS OTHERWISE NOTED.
- LOCATE DOORS PER JAMB DETAILS UNLESS OTHERWISE NOTED.
- PROVIDE BLOCKING AT ALL WALL HUNG EQUIPMENT AND FURNITURE.
- ALL WALLS WITHIN PROJECT SCOPE TO BE PATCHED AS NECESSARY TO COMPLETE "AS-NEW" ENVIRONMENT. THIS INCLUDES AREAS WHERE EQUIPMENT HAS BEEN REMOVED.
- ALL FLOORS ARE TO BE LEVEL AND CLEAN PRIOR TO INSTALLATION OF NEW FLOOR COVERINGS. ALL FLOOR SURFACES AND TRANSITIONS BETWEEN SURFACE TYPES SHALL COMPLY WITH ADA GUIDELINES.

KEYNOTES PER SHEET

#	DESCRIPTION
1	SEMI-RECESSED FIRE EXTINGUISHER CABINET. INSTALL 48" AFF MAX. TO CABINET DOOR HANDLE.
2	SOLID SURFACE WINDOW SILL.
3	WALL MOUNTED FIRE EXTINGUISHER ON BRACKET. INSTALL @ 48" AFF MAX.
5	5 HIGH ADJUSTABLE SHELVING 18" DEEP.
6	STEEL LADDER MOUNTED TO WALL & ROOF HATCH ABOVE. ROOF HATCH TO BE 30" X 54" SIDE OPENING - SEE SPECS. SEE STRUCTURAL DRAWINGS FOR STEEL FRAMING.
7	LEAD-LINED WALLS. SEE PHYSICISTS REPORT.
8	CEILING MOUNTED PROCEDURAL LIGHT. PROVIDE POWER AND STEEL SUPPORT.
9	H-I-O DRINKING FOUNTAINS W/BOTTLE FILLER.
10	PATIENT TRACKING MONITOR. PROVIDE BLOCKING, POWER AND DATA. COORDINATE MOUNTING HEIGHT WITH OWNER.
11	CLOCKWISE MONITOR. PROVIDE BLOCKING, POWER AND DATA. COORDINATE MOUNTING HEIGHT WITH OWNER.
13	PROVIDE 3/4" FIRE-RATED PLYWOOD OVER GYP. BD WALLS. ALL WALLS.
15	WALL-MOUNTED PHONE CHARGING STATIONS - KWIBOOST STANDARD M8
16	RECESSED FIREPLACE - SEE SPECIFICATIONS
18	PROVIDE POWER AND DATA CONNECTIONS FOR EACH GROUPING OF SYSTEMS FURNITURE. COORDINATE WITH OWNER VENDOR'S FURNITURE DRAWINGS.
20	PROVIDE QUAD ELECTRICAL RECEPTACLE AND DATA FOR CLOCKWISE KIOSK 18" AFF.
21	WALL MOUNTED HAND WASHING SINK W/ EYEWASH.
23	MOTORIZED BLINDS.
26	VERSUS - SUPPLIED STORAGE FOAM IN CUSTOM LOWER CABINET.

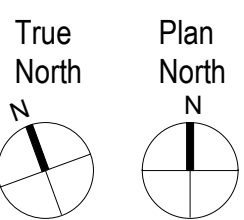
Consultant:



Project:

AdvocateAuroraHealth
AURORA HEALTH CENTER - RACINE

Location:
 2621 SOUTH GREEN BAY ROAD
 RACINE, WI 53406



Sheet:

FIRST FLOOR PLAN - OVERALL

Scale:
1/8" = 1'-0"

Revisions:

No.	Date	Description

Date:
DECEMBER 16, 2019

Project No.: **180080.00** (Owner) Project No.:

Sheet No.:

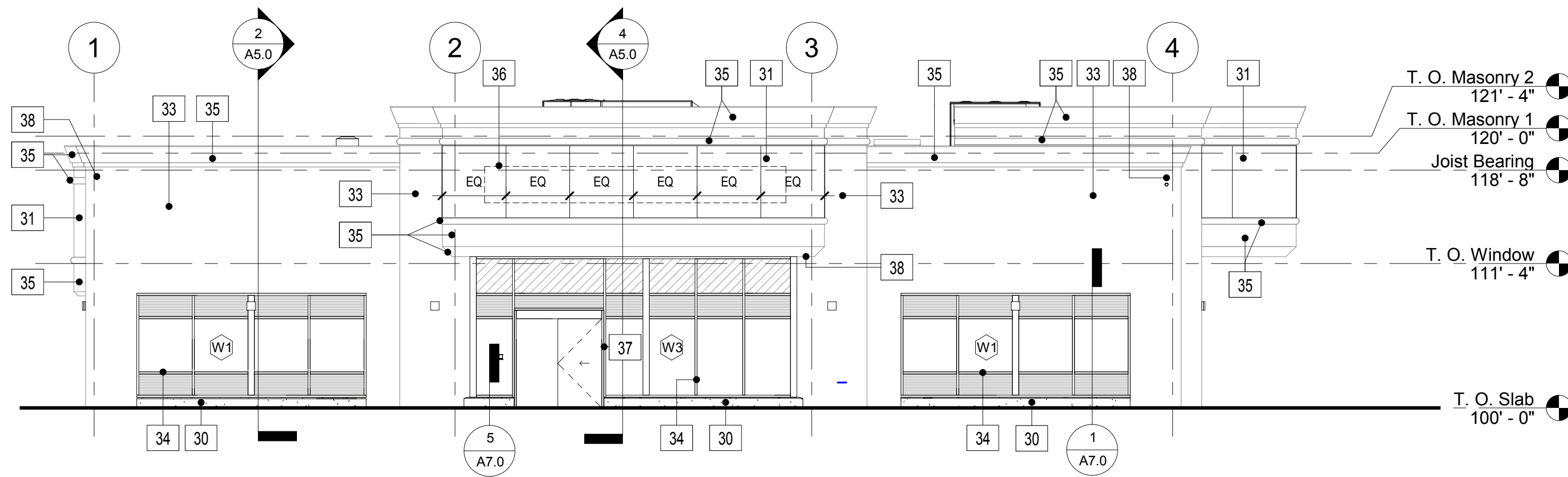
A2.1



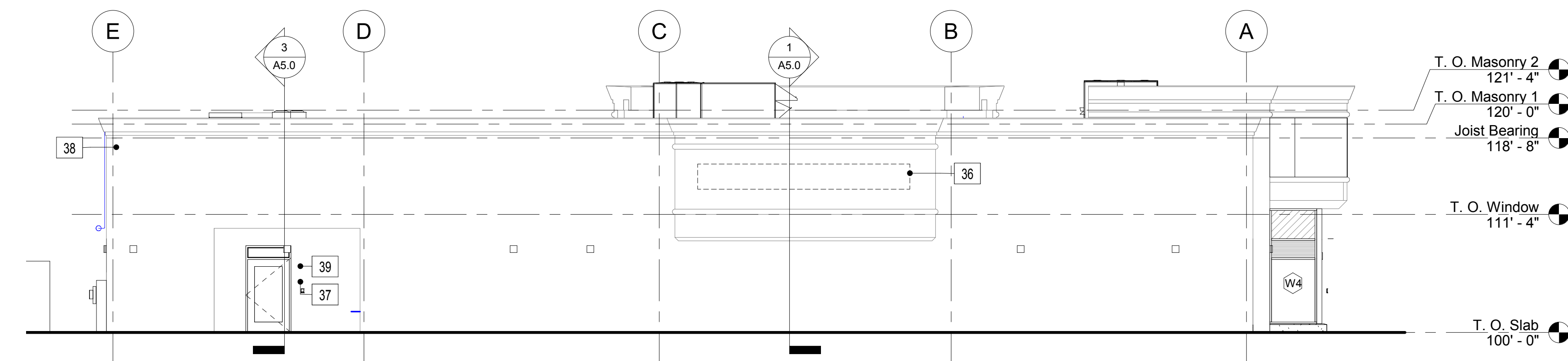
1 FIRST FLOOR PLAN - OVERALL
 1/8" = 1'-0"

THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGE, LIABILITY OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS AND DATA WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.

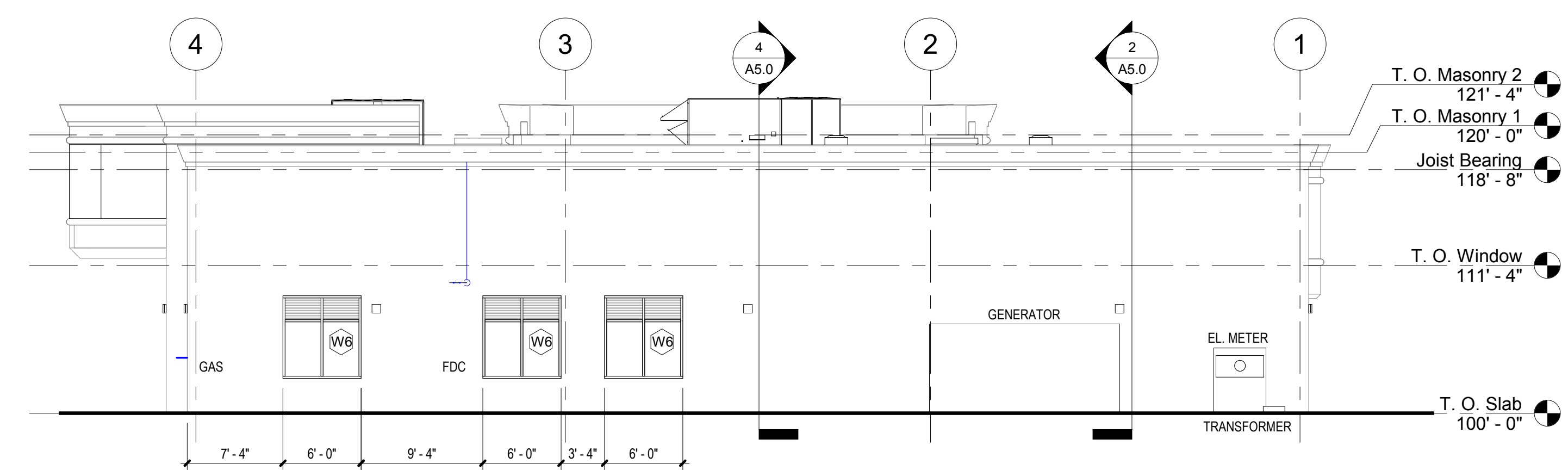
THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGE, LIABILITY, OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT OR FROM ANY REUSE OF THE DRAWINGS AND DATA WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.



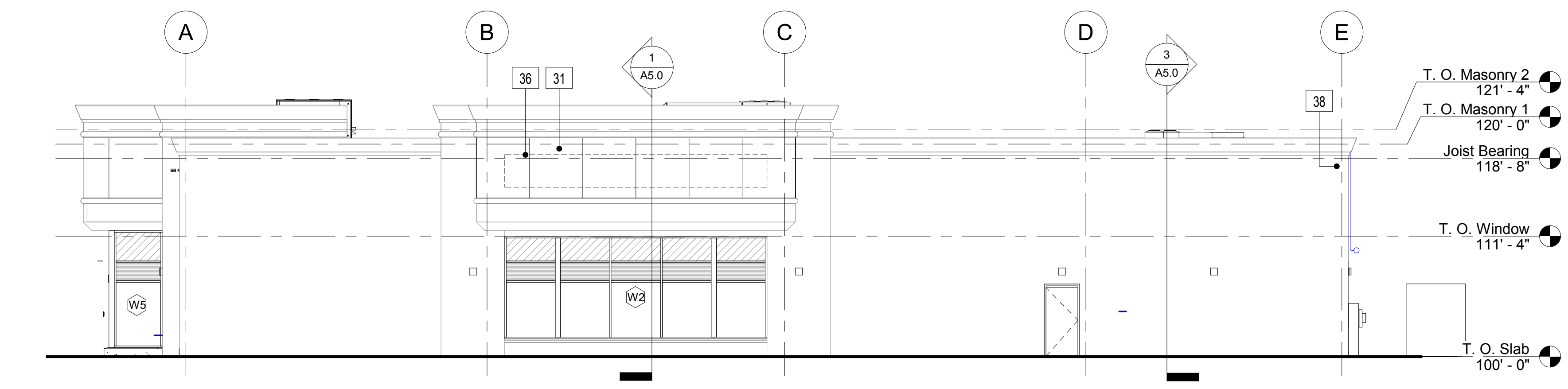
1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



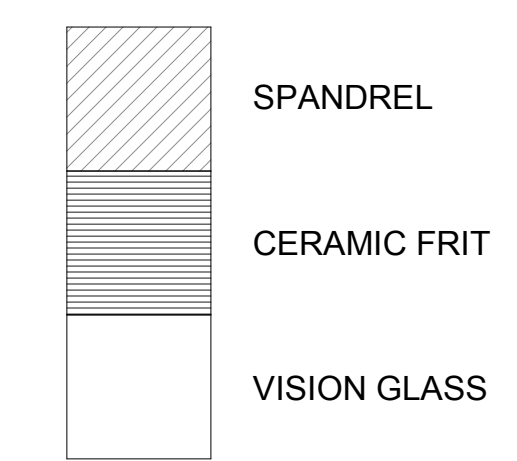
3 SOUTH ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"

KEYNOTES PER SHEET	
#	DESCRIPTION
30	10" PRECAST STONE SILL
31	PREFINISHED METAL PANEL OVER EXISTING FASCIA. REUSE EXISTING WALL CLIPS / TRACKS
33	EXISTING CONCRETE BLOCK WALL. REPAINT
34	INSULATED STOREFRONT SYSTEM - GLAZED ALUMINUM
35	EXISTING EIFS WALL FINISH. REPAIR AND REPAINT SIDE, TOP & BOTTOM
36	SIGNAGE BY OWNER
37	CARD READER
38	CAMERA
39	INTERCOM @ 60" AFF

GLAZING TYPE LEGEND



Zimmerman
ARCHITECTURAL STUDIOS, INC.

2122 West Mount Vernon Avenue | Milwaukee, WI 53233 | zastudios.com
TELEPHONE [414] 476-9500
FACSIMILE [414] 476-8582

Consultant:



Project:

AdvocateAuroraHealth
AURORA HEALTH CENTER - RACINE

Location:
2621 SOUTH GREEN BAY ROAD
RACINE, WI 53406

Sheet:

EXTERIOR ELEVATIONS

Scale:
1/8" = 1'-0"

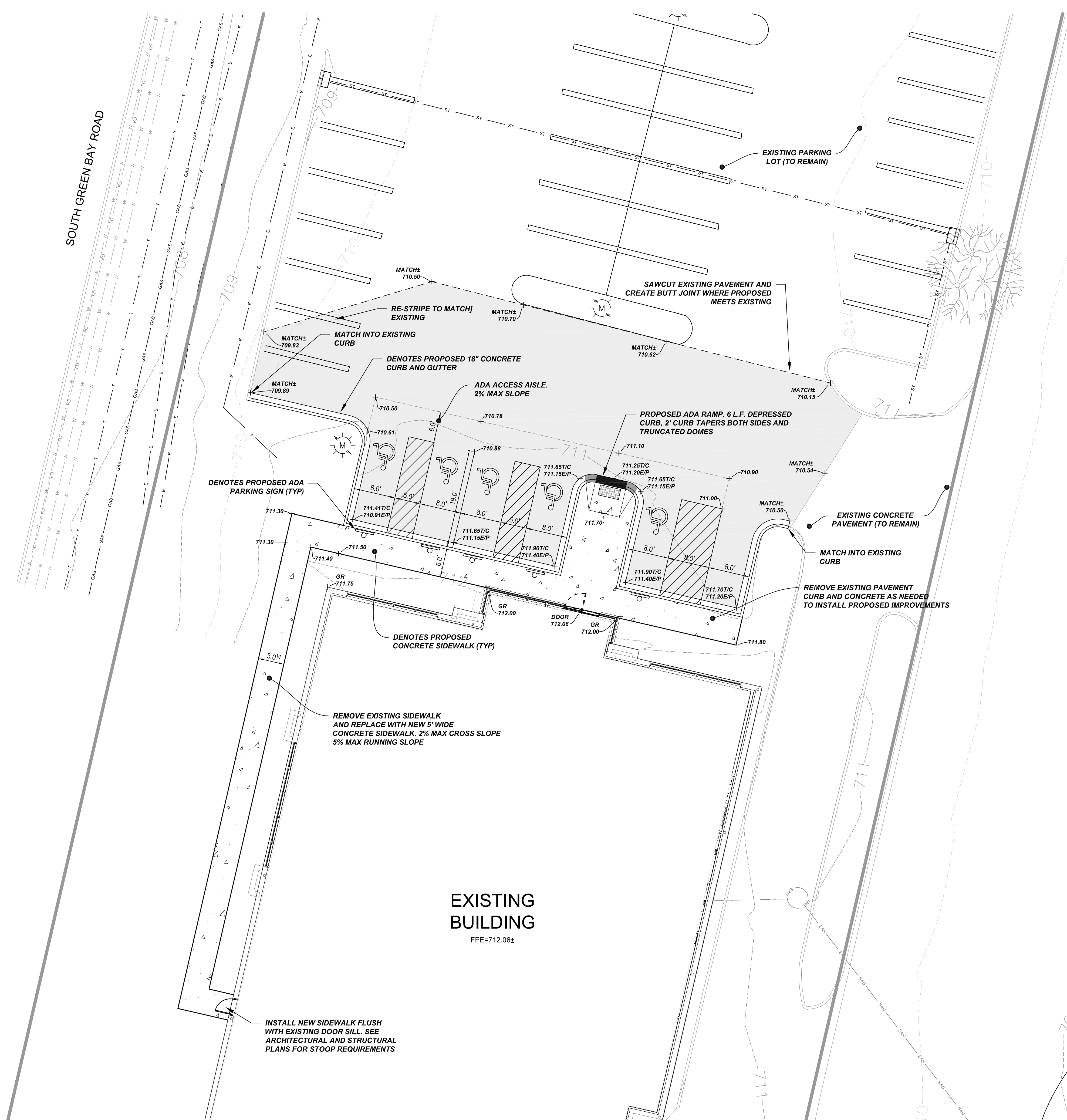
Revisions:

No.	Date	Description

Date:
DECEMBER 16, 2019

Project No.: 180080.00 (Owner) Project No.:

Sheet No.: **A4.0**



HATCH LEGEND

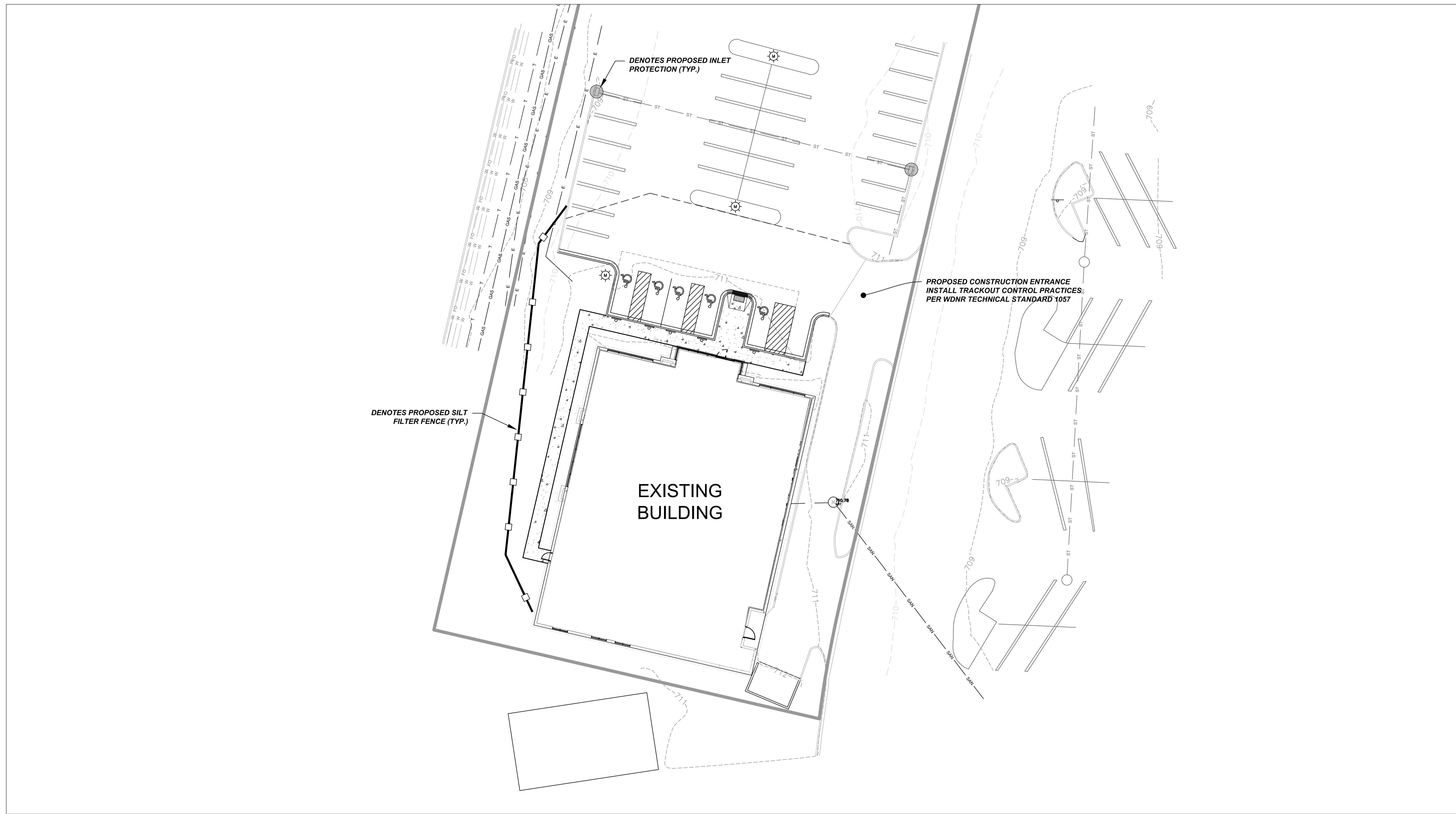
	PROPOSED CONCRETE SIDEWALK
	PROPOSED REGULAR DUTY ASPHALT PAVEMENT
	PROPOSED DEPRESSED CURB
	PROPOSED TAPER CURB
	PROPOSED REVERSE CURB



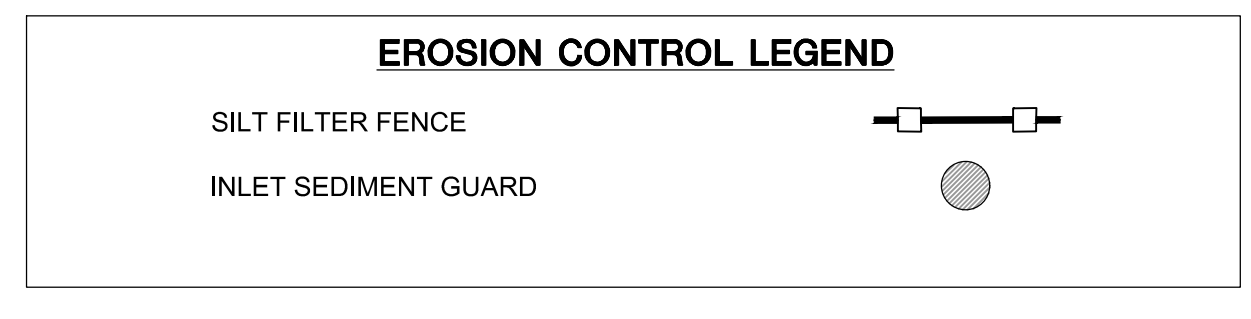
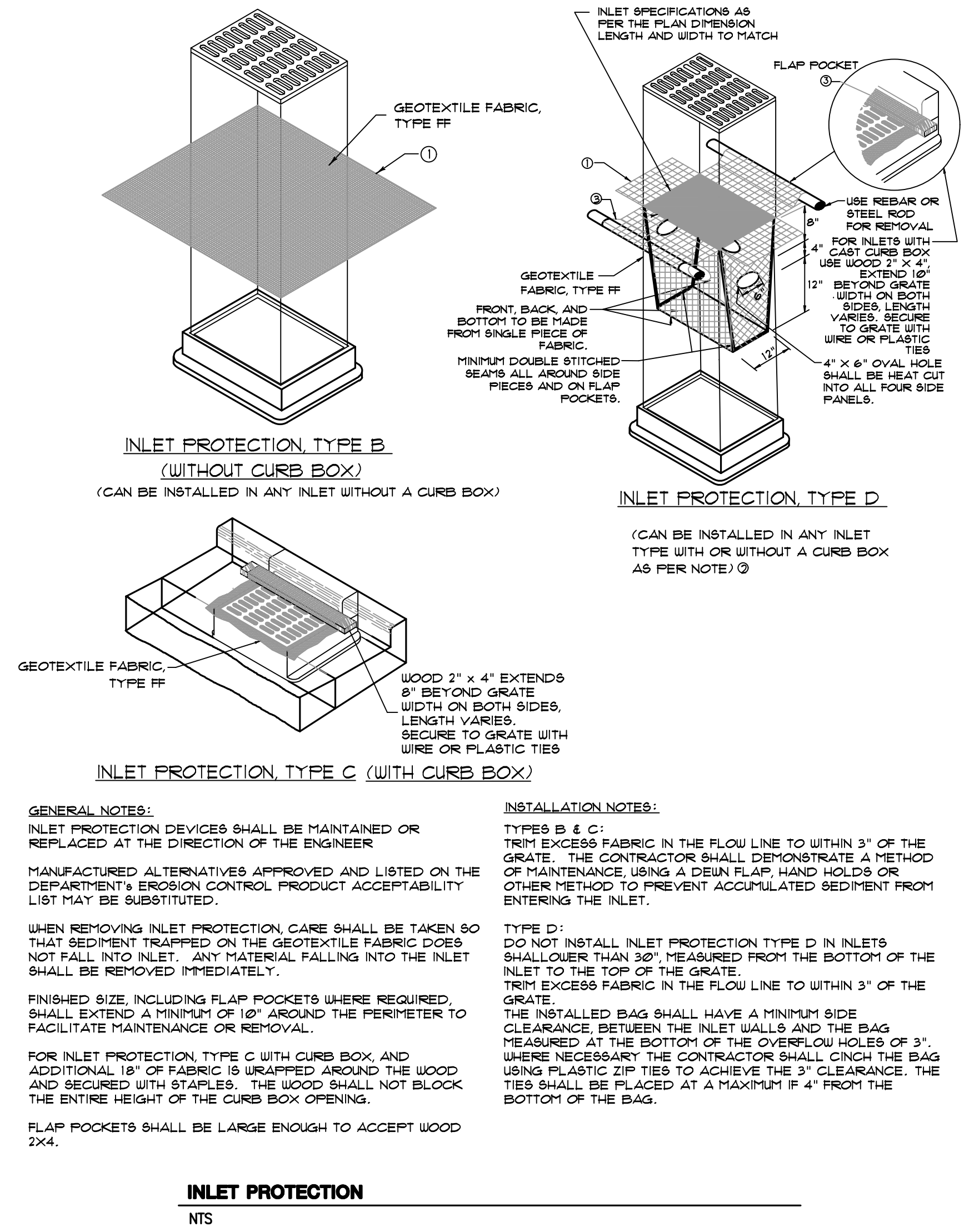
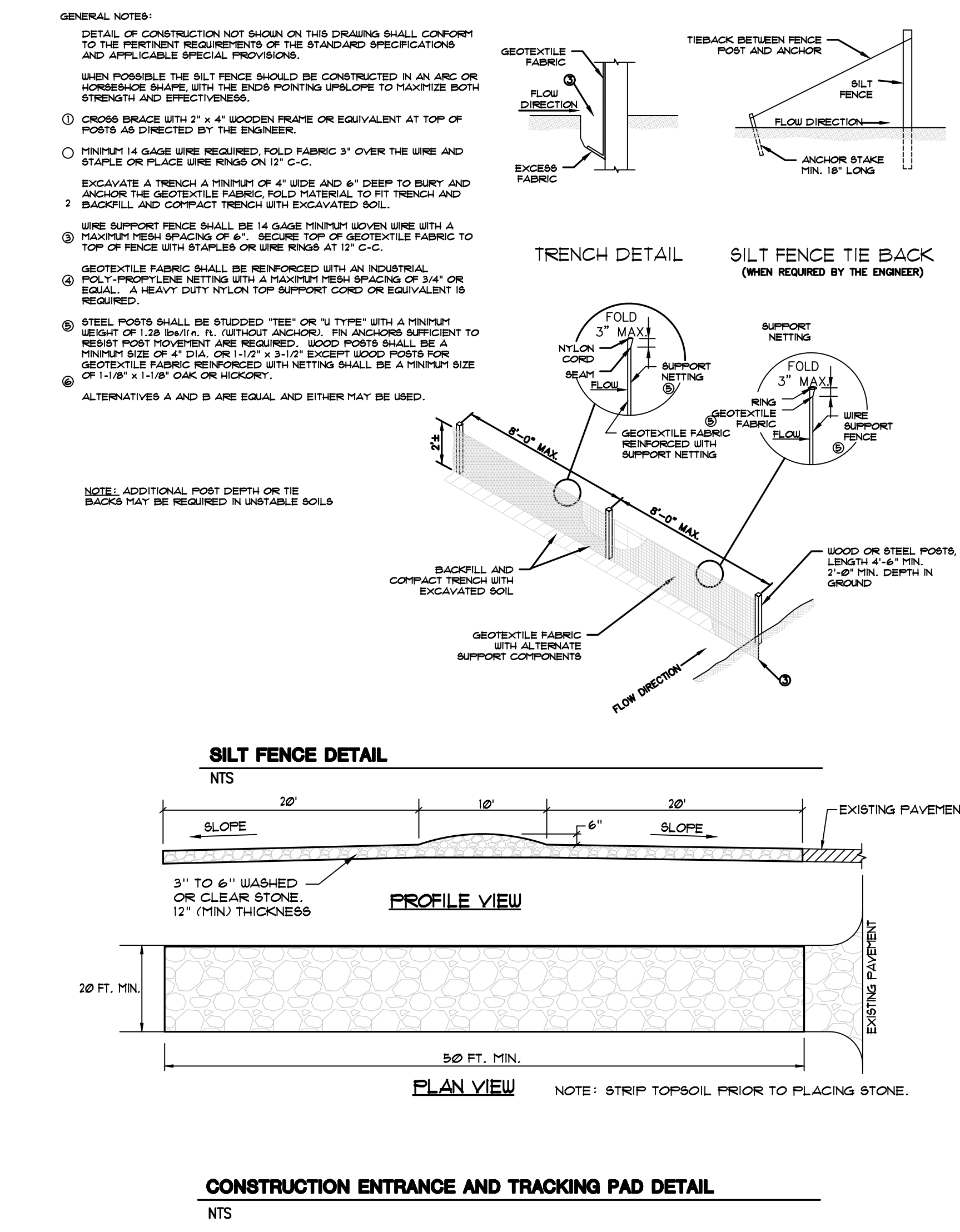
IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

Revisions:

No.	Date	Description



- ### EROSION CONTROL NOTES AND PHASING
- KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
 - SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE ENGINEER AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
 - CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
 - INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
 - WHEN POSSIBLE, PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
 - REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
 - INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD FOR ROCK CONSTRUCTION ENTRANCE(S).
 - INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
 - STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
 - PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE.
 - PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DE-WATERING #1061.
 - INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
 - REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
 - INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
 - IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
 - IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER.
 - BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE
 - OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
 - STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
 - SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE WORKING MUNICIPALITY. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
 - CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
 - PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
 - FOR NON-CANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES 4:1 OR GREATER (OR AS SHOWN ON THE PLAN), PROVIDE CLASS I TYPE TYPE A (WITH ACCELERATED DEGRADABLE NETTING) EROSION CONTROL MATTING. SELECT EROSION MATTING FROM WDOT'S PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CANNEL EROSION MAT #1052.
 - FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS (OR AS SHOWN ON THE PLANS), PROVIDE NORTH AMERICAN GREEN SC150 (OR APPROVED EQUAL) EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
 - MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
 - INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, WATTLES, SWALES, ETC.), OR AS DIRECTED BY WORKING MUNICIPALITY.



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

Consultant:
Harwood Engineering Consultants
255 North 21st Street | Milwaukee, WI 53233
414.933.1000

Project:
AdvocateAuroraHealth
AURORA HEALTH CENTER
- RACINE

Location:
2621 SOUTH GREEN BAY ROAD
RACINE, WI 53406

Key Plan:

Sheet:
EROSION CONTROL PLAN

Scale: 1" = 20'

North

Revisions:

No.	Date	Description

Date:
DECEMBER 16, 2019

Project No:
180080.00

Sheet No:

C1.20

Consultant:



Project:

AdvocateAuroraHealth
AURORA HEALTH CENTER
- RACINE

Location:
2621 SOUTH GREEN BAY ROAD
RACINE, WI 53406

Key Plan:

Sheet:

**CONSTRUCTION
DETAILS**

Scale:

Revisions:

No.	Date	Description

Date:

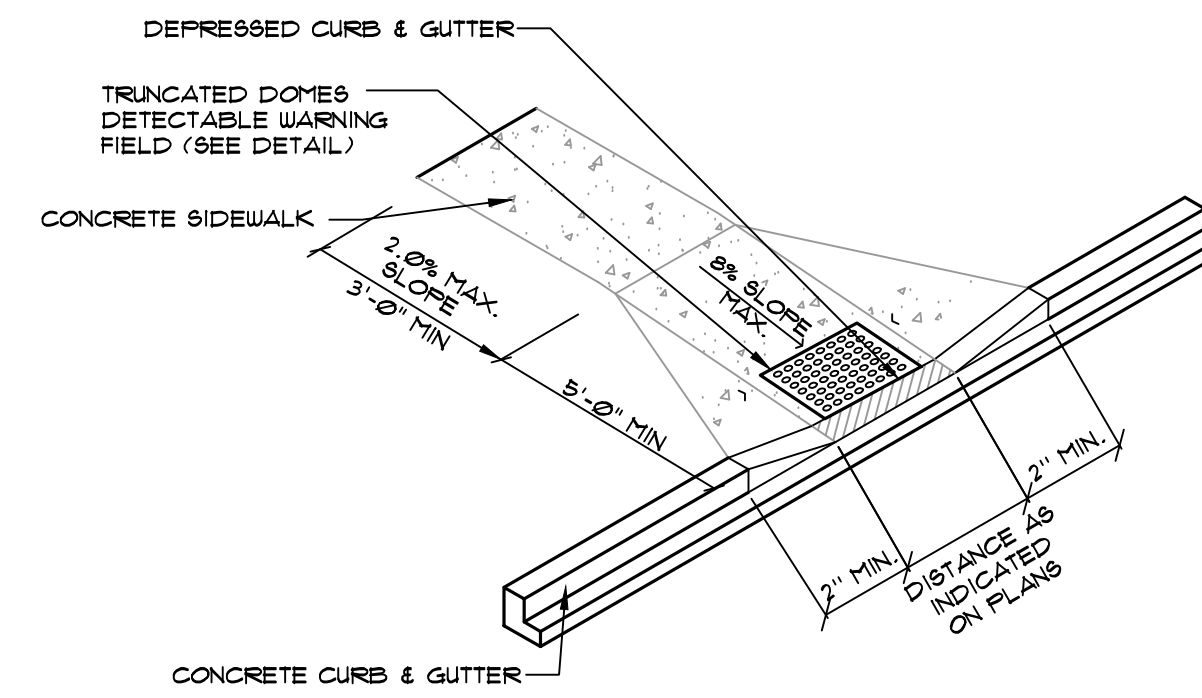
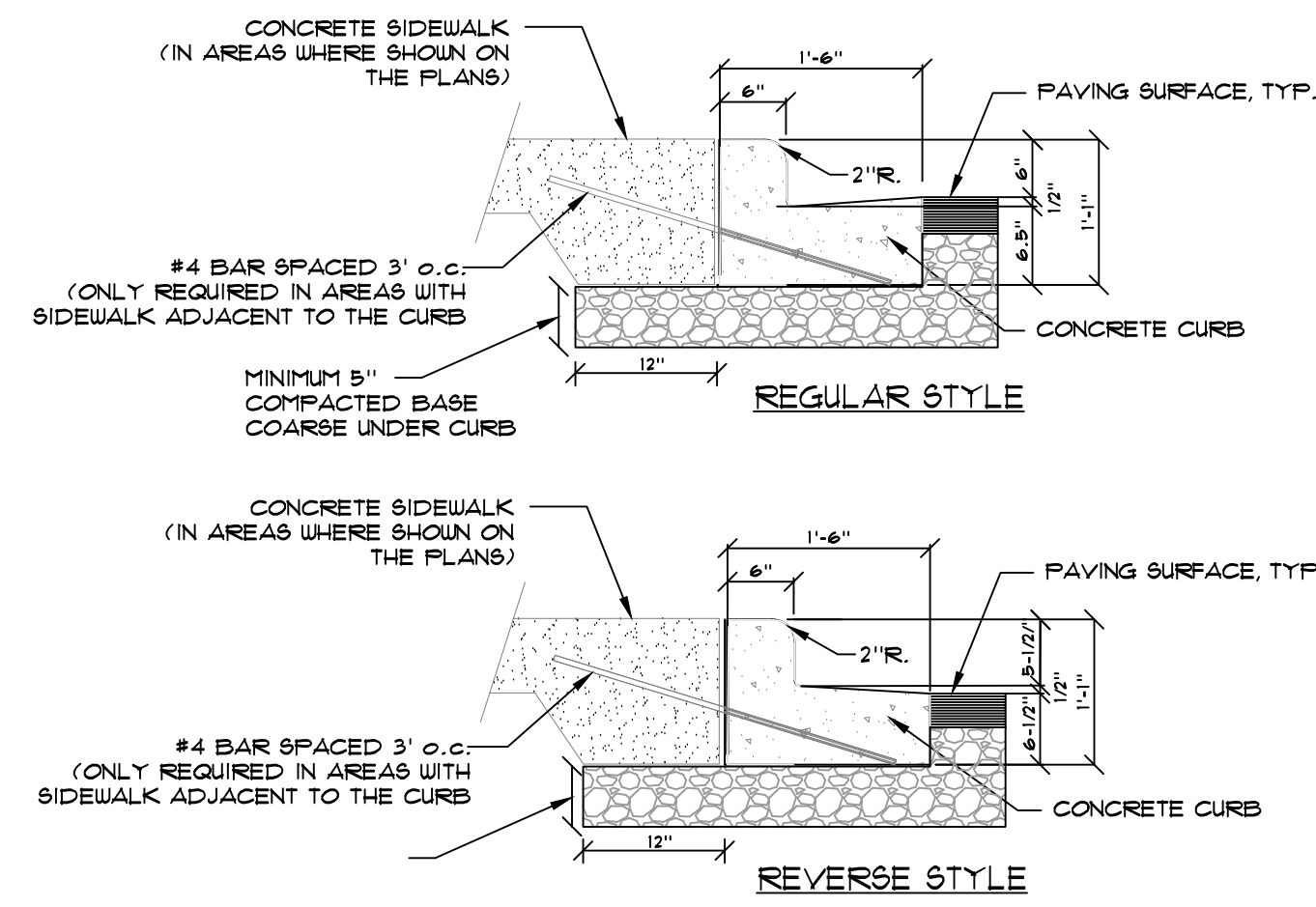
DECEMBER 16, 2019

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180080.00

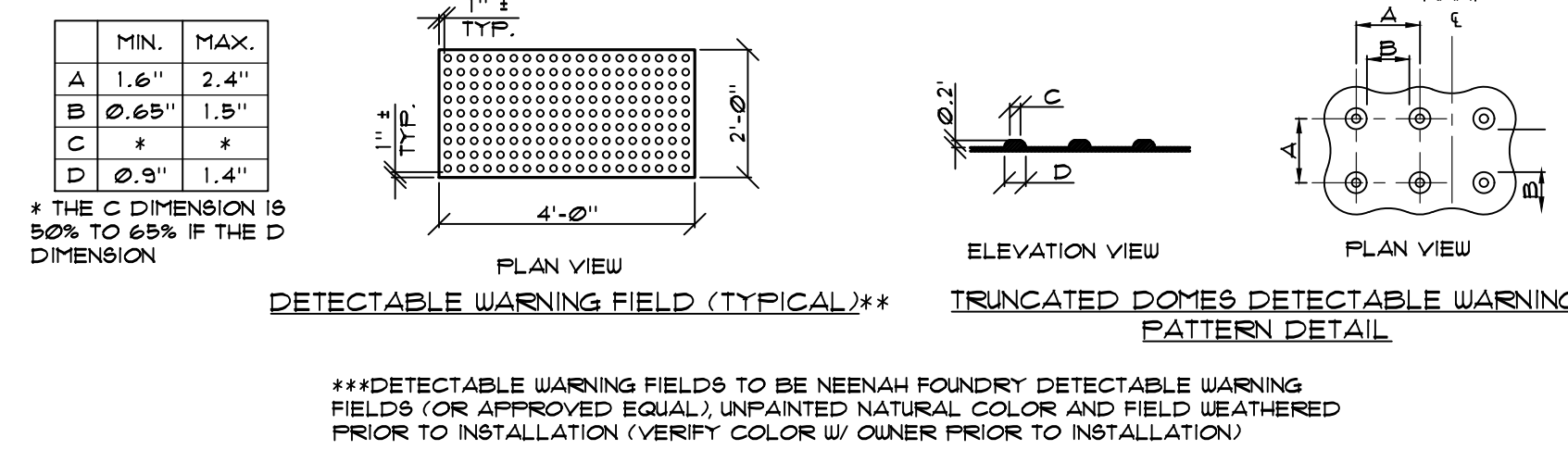
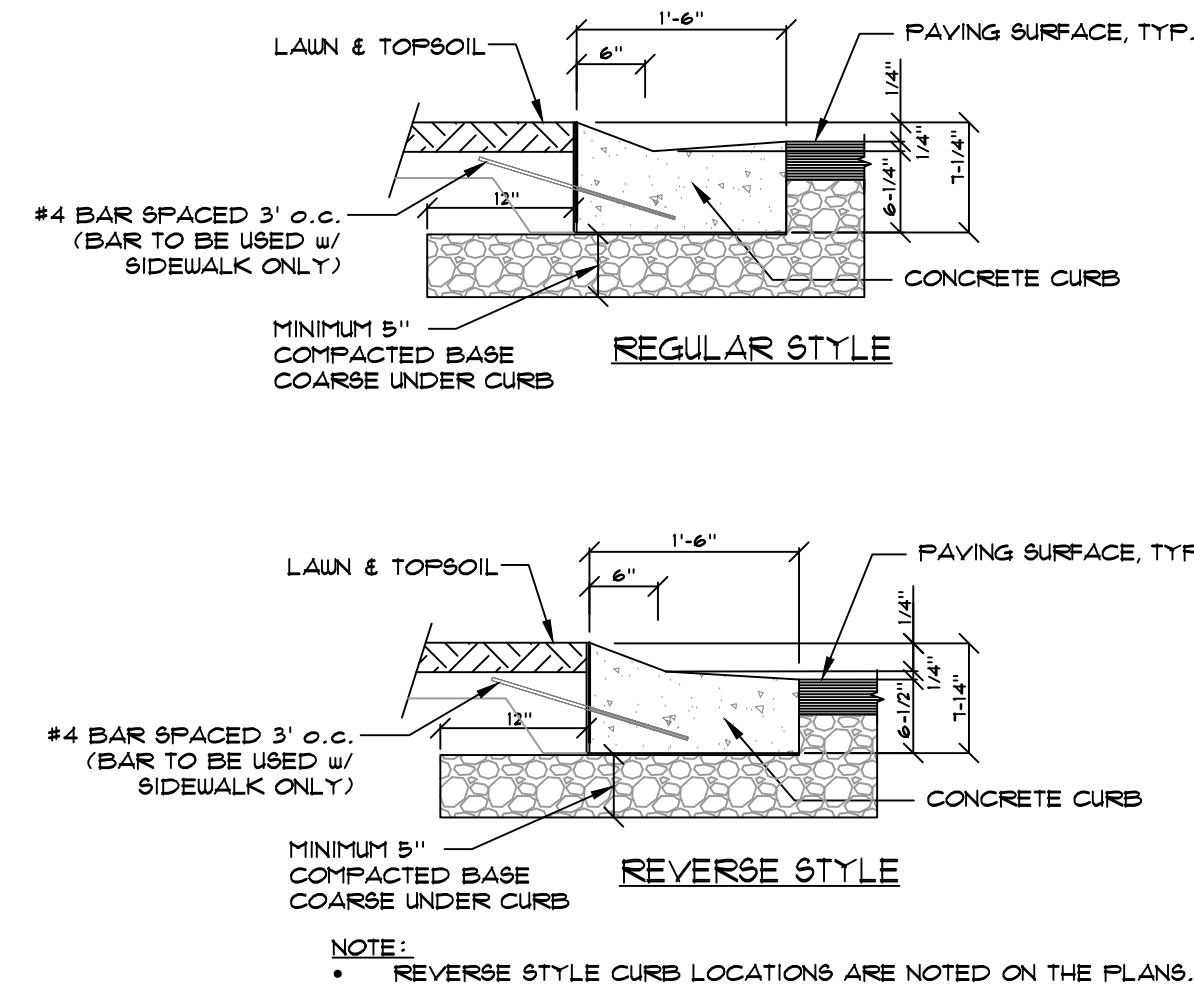
Sheet No:

C5.00



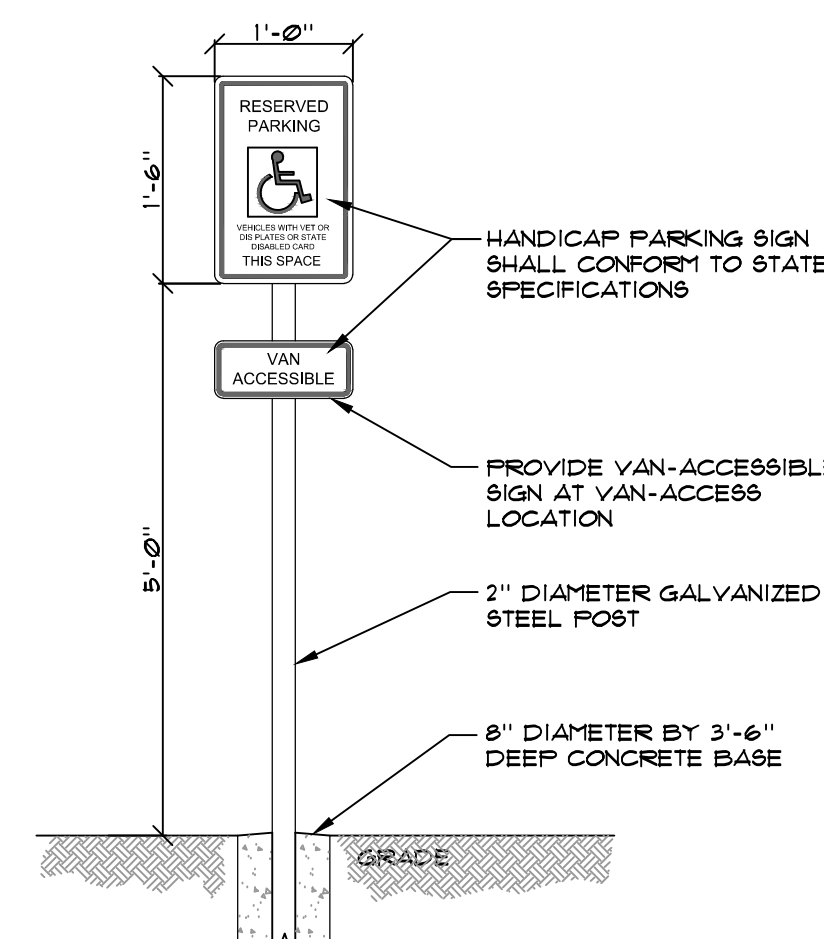
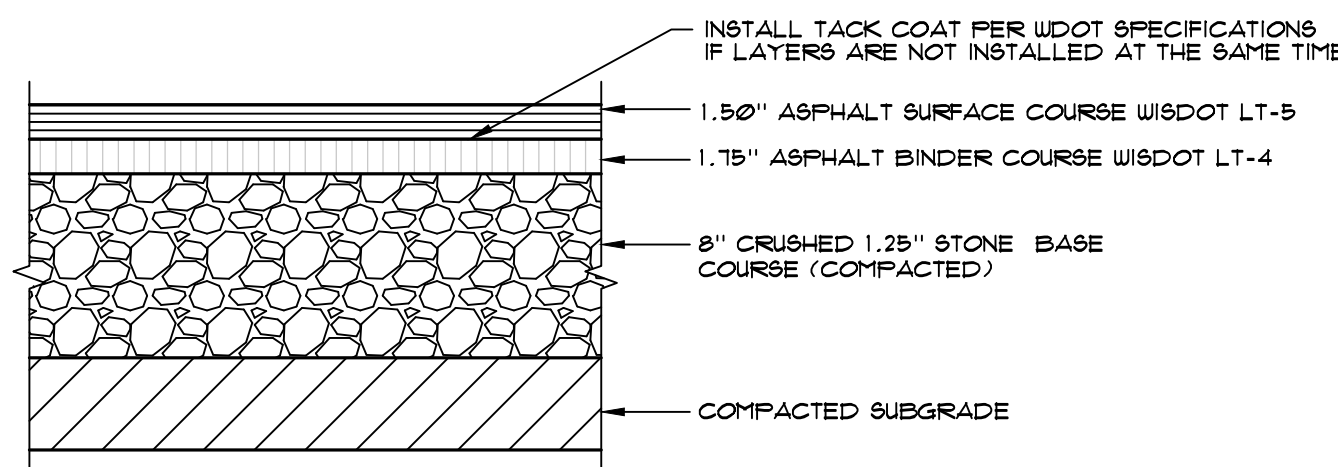
VERTICAL FACE CURB - 18" WIDE 504
NTS 11/19/10

HANDICAP RAMP 601
NTS 01/23/13

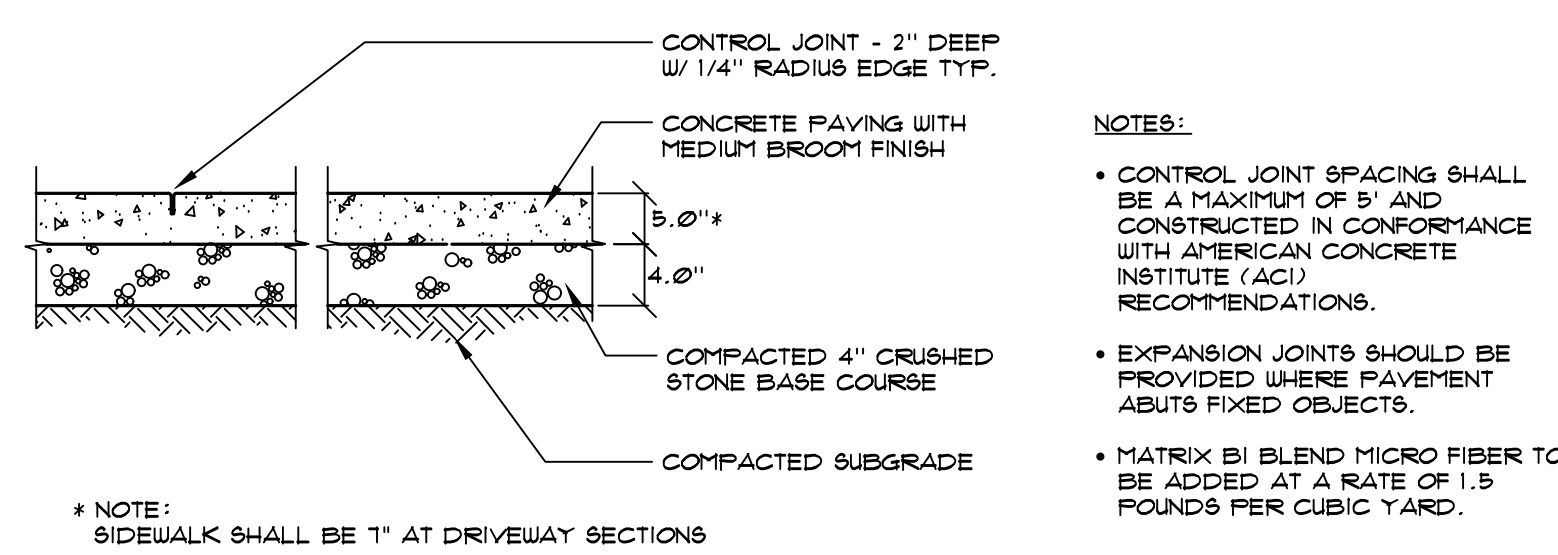


TRUNCATED DOMES 610
NTS 01/23/13

18" DEPRESSED CURB 508
NTS 01/23/13

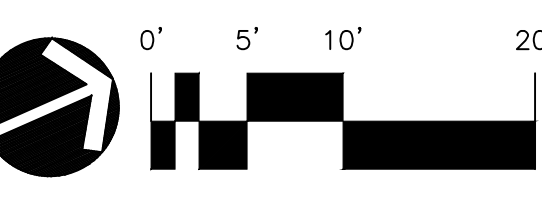
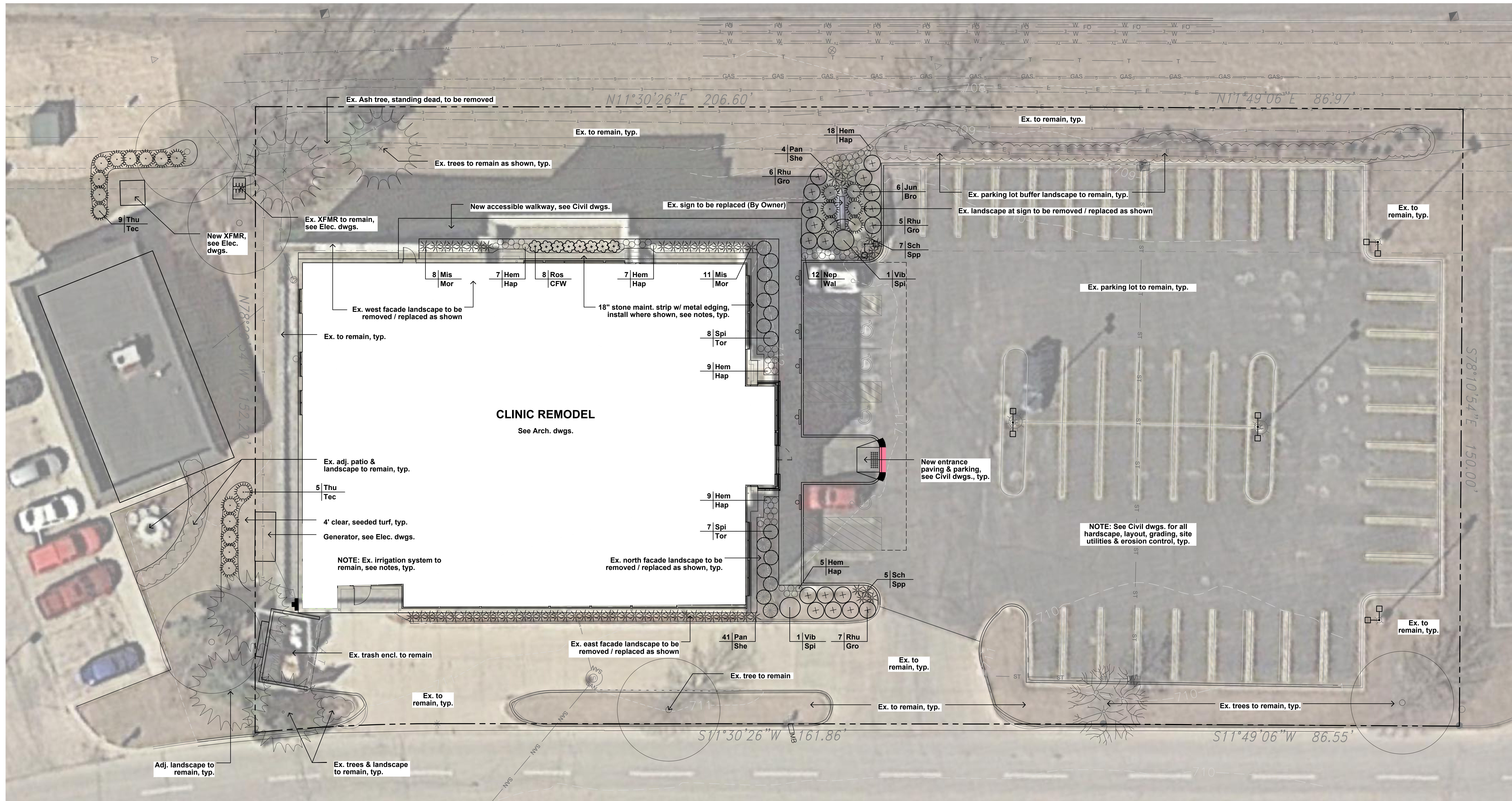


BITUMINOUS ASPHALT SECTION - REGULAR DUTY PAVEMENT 518
NTS 01/23/13



HANDICAP SIGN 604
NTS 01/23/13

CONCRETE SIDEWALK SECTION 524
NTS 01/23/13



Scale:
1"=10'-0" @ 42x30"

Revisions:

No.	Date	Description

Date:
DECEMBER 16, 2019

Project No:
180080.00

Sheet No:

L1.0

Consultant:



Project:

AdvocateAuroraHealth

AURORA HEALTH CENTER
 - RACINE

Location:
 2621 SOUTH GREEN BAY ROAD
 RACINE, WI 53406

Key Plan:

Plan Commission Submittal
 Not For Construction

Sheet:

LANDSCAPE DETAILS
 SCHEDULES & NOTES

Scale:

Revisions:

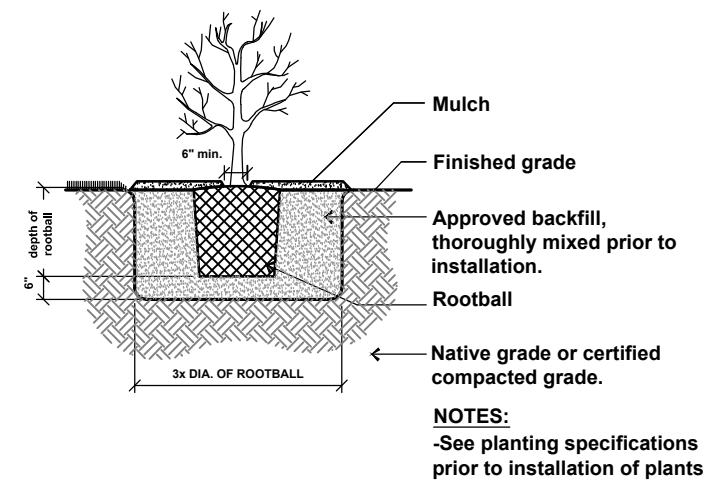
No.	Date	Description

Date:
 DECEMBER 16, 2019

Project No:
 180080.00

Sheet No:

L5.0



1 Shrub Planting Detail
 Not To Scale

General Notes

- All landscape installation & maintenance shall conform with all applicable local codes & ordinances, including (but not limited to) select portions of City of Racine Municipal Code, also select portions of the Construction & Operating Agreement at Regency Mall.
- See Site dwgs. for work limits, scope of construction, hardscape, dimensions &/or construction notes. See Civil dwgs. for all grading, stormwater management, site utilities, erosion control & access control. See Landscape dwgs. for landscape plans, site amenities, details, schedules, notes. See Architectural dwgs. for all building construction. See Electrical drawings for all power, circuiting, lighting.
- Contractor shall provide shop drawings and material submittals of **all** hardscape & landscape construction elements shown in plan set for Landscape Architect review prior to construction.
- Contractor shall provide samples for Landscape Architect's approval on all colors, finishes & materials prior to construction, including (but not limited to) topsoil, gravels, mulches, seed mixes et al.
- Caution: underground utilities are present on site. The Contractor shall verify location of all above- and below-grade utilities, both public & private, prior to commencement of site construction. If unanticipated above- or below-grade conditions are encountered, notify Client & Landscape Architect prior to proceeding. Coordinate with local public utility locating entity as needed.
- Contractor shall verify hardscape layout prior to construction. Contact Landscape Architect if discrepancies are found.
- Contractor shall limit construction traffic to within work limit lines. All adjacent damage shall be the responsibility of the contractor to restore. See Civil drawings for limits of disturbance.
- All written dimensions supersede scaled dimensions. All dimensions are taken from face of curb, wall or existing building foundations.
- All existing landscape shall remain as shown. All ex. trees to remain shall be protected. GC shall install snow fencing @ tree driplines or 15' R from trunks, whichever is farther. No earthwork, compaction, equipment storage, traffic or other disturbance shall occur in fenced zones for the duration of the project, except what is specifically outlined in the plans.

Landscape Notes

- Rough grading & topsoil import/spreading shall be completed by others. The CM, GC, earthwork contractor and/or landscape contractor shall then jointly confirm that all topsoil is placed per the depths indicated in the landscape plans & specs. Finish grading, seed area / ornamental planting bed preparation shall be the landscape contractor's responsibility. Verify all existing site and grading conditions prior to construction.
- All areas disturbed by site construction shall be fine graded and restored with vegetative cover as shown. See plans for cover types & locations, see specifications for materials & installation.
- Contractor shall verify plant quantities shown on plan. Symbol quantities take precedence over plant keys except where noted in the plant schedule. As part of the submittal process, a material list shall be forwarded to the Landscape Architect identifying all species, sizes & plant sources to be used on the project.
- All plant materials shall conform to the schedule and shall meet quality requirements outlined in the ANLA "American Standard for Nursery Stock", ANSI Z60.1-2004. The Landscape Architect reserves the right to reject any substandard planting material. Such rejected material shall be removed from the project site immediately.
- All nursery tags / labels shall be left on plant materials until the Landscape Architect completes their inspection after the punch list. If there are questions on species or sizes, untagged materials shall be assumed to be deficient.
- All planting beds shall contain screened blended topsoil mix to a min. depth of 18". All lawn & seeded areas shall have min. 6". Suitable existing soil may be used & mixed if previously approved. Contractor shall be responsible for obtaining soil tests for stockpiled or imported topsoil. Soil testing results shall include (but are not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay.) Remove excessive clay, gravel & stones detrimental to healthy plant growth. Remove all debris greater than 1" diameter via appropriate means (i.e. on-site screening machine, power rake, etc.) Soil with excessive debris shall be removed from the site and replaced with imported topsoil conforming to spec.
- Contractor is responsible for ensuring that all tree pits & planting areas drain properly. Notify Landscape Architect if drainage or moisture problems are encountered while planting.
- Contractor shall backfill all trees, shrubs & evergreens with a mix of 1/3 plant starter mix & 2/3 remaining soil. Plant Starter Mix shall be blended by volume: 40% black organic topsoil, 25% black peat, 25% aged composted manure & 10% washed sand.
- All perennial and groundcover areas shall receive a 3" layer of plant starter mix and perennial starter fertilizer, rototilled into the top 6" of blended topsoil in beds.
- All perennial areas shall receive a 1-2" layer of shredded hardwood bark mulch. Groundcover beds do not receive a cover of shredded bark mulch. Do not allow mulch to touch stems or leaves of perennials! All woody planting areas shall receive a 3" layer. Unless otherwise shown in the plans, no landscape fabric or weed barrier is to be installed.
- Unless otherwise shown, all perennials & shrubs shall be planted in triangular arrangements. For plants not shown individually, refer to the spacing shown in the plant schedule.
- Bed edging shall be noted per plan. Shovel-cut edging shall be min. 6" depth, either hand- or machine-cut. Where required, metal edging shall be 3/16" x 4" alum. mill-finish. Permaloc "CleanLine" or "ProSlide", or approved equal.
- Stone mulch areas shall contain 2-3" of decorative stone installed over poly weed barrier. Stone shall be Mississippi washed @ min. 1" dia, or approved equal to match on-site stone. Coordinate final material selection with LA.
- Contractor shall provide positive drainage away from all structures for a minimum of 10'.
- Contractor shall be responsible for providing base bid comprehensive landscape establishment, maintenance and warranty care for one year after installation. Contractor shall submit a 12-mo. calendar for review/approval including all anticipated maintenance activities.

Seeding Notes & Mixes

- This work shall consist of preparing the seed beds and furnishing, sowing and mulching the required seed on the various seeded areas, as outlined in the site plans and specifications. All wet-tolerant seeding installation & maintenance shall conform with Wisconsin DNR Technical Document #1004.
- Rough grading, drainage work, topsoiling and fine grading shall be completed before sowing the seed mixes. The areas to be seeded shall be worked with plow chisels, discs & harrows, soil finishers and/or other appropriate equipment until a reasonably even and loose seedbed is obtained. Seed beds shall be prepared immediately in advance of the seeding. If proposed seed areas are weedy, contractor to apply herbicide or other weed control measures to eliminate weeds. Conform with seed supplier's specifications if required.
- Confirm that anticipated project schedule date(s) fall within the respective seed supplier's approved calendar prior to installation. Installations completed outside of acceptable seeding dates shall be the performed at the sole responsibility and expense of the contractor.
- Seeds shall be PLS and will be mixed in accordance w/ mfr's specifications. Provide invoices, bag-tags or mix analysis results for approval prior to installation.
- The seed mixtures shall be sown by means of equipment adapted to the purpose. Mechanical distribution of seed (i.e. Truax seed drill, Brillion seeder, cultipacker, slit-seeder, drop spreader or broadcast spreader) are the only accepted methods. Hand-broadcasting or hydroseeding shall not be allowed.
- No seeding shall occur if the wind exceeds 12 MPH.
- Coordinate erosion control and/or mulching with Civil dwgs. In sloped areas steeper than 4:1, erosion matting shall be installed by others; installation coordination will be required. In areas with slopes between 4:1 and 8:1, landscape contractor shall apply clean hay or straw mulch, free of debris and seeds, on all newly seeded areas. Mulch shall be uniformly spread over the designated area at a rate of 55 bales per acre or as indicated in the respective seed supplier's specifications. Mulch material shall be chopped and blown into the seeded area. Lightweight E.C. matting and/or hydromulch will be accepted as a no-cost alternate if approved by Landscape Architect. Upon establishment, all E.C. measures to be removed from lawn areas to prevent mower damage.
- See Civil dwgs for erosion control devices. Coordinate with erosion control contractor where required to ensure that topsoil, seeding and/or mat installations are properly coordinated.
- Contractor shall be responsible for obtaining soil tests, typ. If necessary, the soil testing agency shall identify soil amendments required for specified seed mixes and/or suggest alternate mixes if soils cannot be properly conditioned. The landscape contractor shall condition the soil as required to support the selected seed mixtures.
- Seed mixes are as follows. Mix or source substitutions shall be considered only if submitted for approval prior to 7 days before the close of bidding. All mixes to be installed & maintained per supplier's specifications. For all seeding other than Bluegrass & Low-Mow, contractor shall apply a cover crop of Canada Wild Rye (15-30 lbs per AC), Common Oats (20-30 lbs per AC) or Winter Wheat (12 lbs per AC) depending on season & preference. Discuss with LA prior to application.
 BLUEGRASS MIX:
 *Deluxe 50" mix shall be supplied by Reinders Inc., Kenosha WI, 262-857-3306. Apply @ 5 lbs per 1000 GSF.
- Contractor shall be responsible for providing comprehensive seed area establishment, maintenance and warranty care for the following seed areas. Contractor shall submit a 24-mo. calendar for review/approval including all anticipated maintenance activities.
 - Turfgrass: one year

Hardscape / Amenity Notes

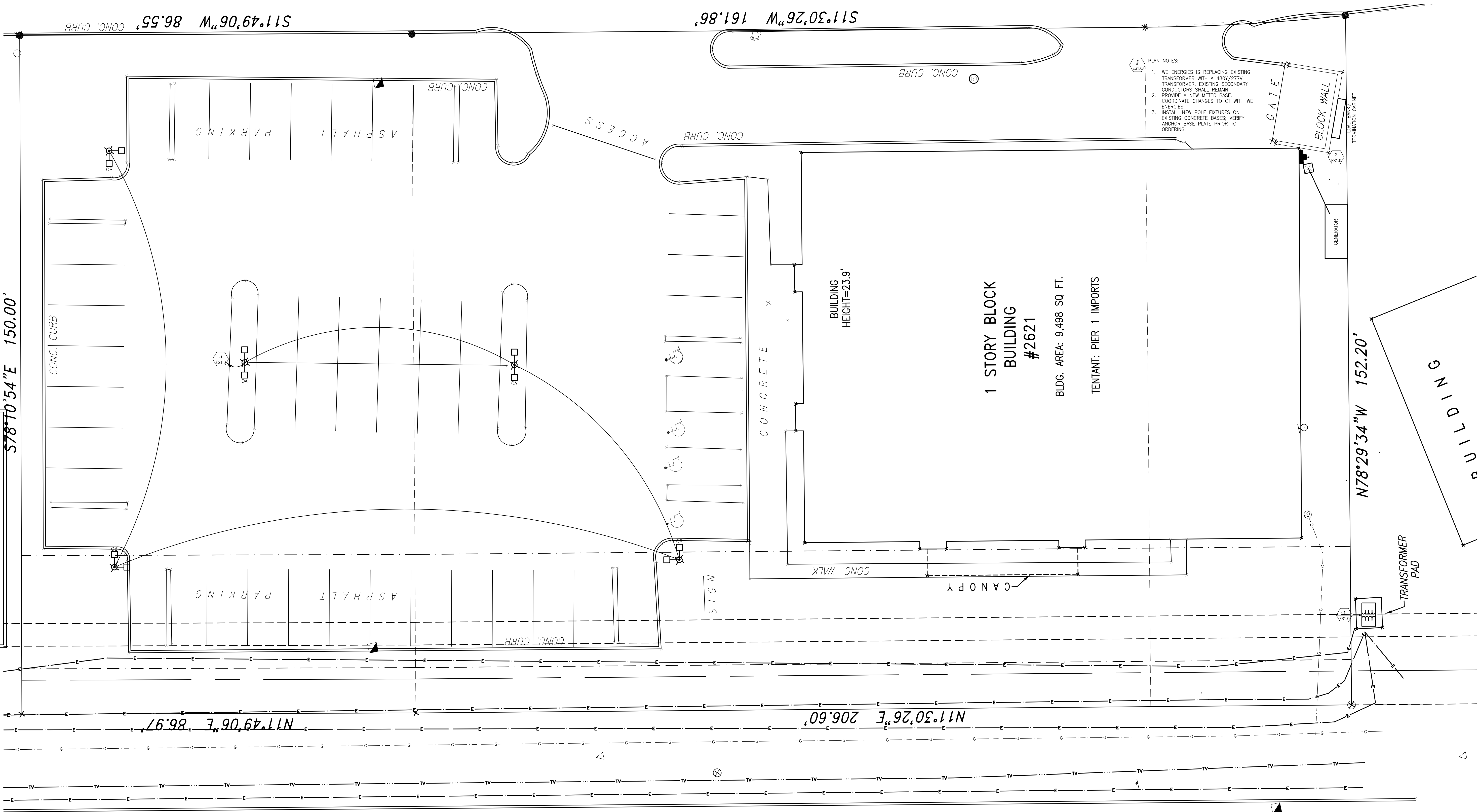
- Site furnishings: Shall by By Owner:
 - Qty. TBD bicycle racks, inverted U style. Locations TBD per Owner.
 - Qty. TBD public benches, 5-6' width, locations TBD per Owner.
 - Qty. TBD employee group seating, locations TBD per Owner.
 - Qty. TBD trash & recycling containers, locations TBD per Owner.
- Irrigation system: The existing irrigation system shall remain in place:
 - GC shall confirm if the system is function, and if not, to repair as required for regular operation.
 - Irrigation lines shall be adjusted as req. in beds where existing landscape is being replaced with new plantings.
 - The system shall be expanded to irrigate supplemental landscape added via this project (i.e. buffer plantings at the transformer & generator.)

Preliminary Plant Schedule

NOTE: Final species & quantities are TBD. Contractors shall be responsible for calculating all quantities, typ.

Symbol	Qty.	Botanical Name	Common Name	Installed Size	Root	Spacing	Notes
Large Shrubs							
Thu Tec		Thuja occidentalis 'Technit'	Technit Dwarf Arborvitae	5' Ht.	B/B	As Shown	
Deciduous Shrubs							
Rhu Gro		Rhus aromatica 'Gro Low'	Gro Low Fragrant Sumac	12-15" Ht.	2 Gal.	48" o.c.	
Ros CFW		Rosa 'Carefree Wonder'	Carefree Wonder Rose	15-18" Ht.	2 Gal.	36" o.c.	
Spi Tor		Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	15-18" Ht.	2 Gal.	42" o.c.	
Vib Spi		Viburnum carlesii 'Spiced Bouquet'	Spiced Bouquet Comp. Kiprice Viburnum	30-36" Ht.	7 Gal.	60" o.c.	
Evergreen Shrubs							
Jun Bro		Juniperus sabina 'Broadmoor'	Broadmoor Spreading Juniper	24" sprd.	7 Gal.	48-54" o.c.	
Perennials & Grasses							
Hem Hap		Hemerocallis 'Happy Returns'	Happy Returns Daylily	4.5"	Cont.	18-24" o.c.	
Mis Mor		Miscanthus 'Morning Light'	Morning Light Maidenhairgrass	1 Gal.	Cont.	30-36" o.c.	
Nep Wal		Nepeta 'Walker's Low'	Walker's Low Catmint	4.5"	Cont.	18" o.c.	
Pan She		Panicum 'Shenandoah'	Shenandoah Switchgrass	1 Gal.	Cont.	30-36" o.c.	
Sch Sco		Schizachyrium scoroparium	Little Bluestem	1 Gal.	Cont.	18" o.c.	Qty's per key, not symbol

No.	Date:	Description:



PLAN NOTES:
 1. WE ENERGIES IS REPLACING EXISTING TRANSFORMER WITH A 480V/277V TRANSFORMER. EXISTING SECONDARY CONDUCTORS SHALL REMAIN.
 2. PROVIDE A NEW METER BASE. COORDINATE CHANGES TO CT WITH WE ENERGIES.
 3. INSTALL NEW POLE FIXTURES ON EXISTING CONCRETE BASES; VERIFY ANCHOR BASE PLATE PRIOR TO ORDERING.

THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGE, LIABILITY OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE, ARISING FROM OR RESULTING FROM ANY NEGLIGENCE, OTHER THAN THAT OF THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS AND DATA WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.

4 ELECTRICAL SITE PLAN
 3/32" = 1'-0"

GREEN BAY ROAD (S.T.H. 31)
 140' PUBLIC R.O.W.



4 TYPES OA / OB
 NO SCALE

- TYPE OA - CREE ARE-EDG-4M-DA-06-E-UL-350-DIM10-20'H SQ. POLE SERIES
 - 14"Wx18"D Full Cutoff Luminaire, 2 @ 180Deg
 - Type IV Distribution
 - 7400 Lumens @ 66 Watts per Luminaire
 - 70CRI, 4000K
 - Dimmable
 - 20'H Round Pole on 3'H Conc. Base
- TYPE OB - CREE ARE-EDG-4M-DA-06-E-UL-350-DIM10-20'H SQ. POLE SERIES
 - 14"Wx18"D Full Cutoff Luminaire, 2 @ 90Deg
 - Type IV Distribution
 - 7400 Lumens @ 66 Watts per Luminaire
 - 70CRI, 4000K
 - Dimmable
 - 20'H Round Pole on 3'H Conc. Base

ALTA/ACSM LAND TITLE SURVEY

VICINITY MAP

CLIENT
BR of Wisconsin 15, LLC

SITE ADDRESS
2621 South Green Bay Road, City of Racine, Racine County, Wisconsin, 53406.

LEGAL DESCRIPTION

PARCEL I:
The Northerly 44.33 feet of Lot 5, Block 3, as measured along the Easterly right-of-way of State Trunk Highway 31, all of Lot 4, Block 3, and the Southerly 86.97 feet of Lot 3, Block 3, as measured along the Easterly right-of-way of State Trunk Highway 31, of the Regency Mall, being a subdivision of part of the Southwest 1/4 of Section 24, Town 3 North, Range 22 East, more particularly bounded and described as follows:

Commencing at the Southeast corner of the Southwest 1/4 of said Section 24; thence South 89° 28' 36" East along the South line of the Southeast 1/4 of said Section 24, 992.09 feet; thence North 01° 33' 26" West, 61.18 feet to a point on the Northerly right-of-way line of State Trunk Highway 11; thence North 88° 00' 16" West, 474.11 feet; thence North 86° 48' 46" West, 291.28 feet; thence North 87° 55' 25" West, 446.66 feet; thence North 89° 02' 04" West along the Northerly right-of-way line of State Trunk Highway 11, 1,902.81 feet; thence North 77° 46' 59" West, 116.17 feet to a point on the Easterly right-of-way line of State Trunk Highway 31; thence North 11° 30' 26" East along the Easterly right-of-way line of State Trunk Highway 31, 648.56 feet to the point of beginning of this description; thence continuing North 11° 30' 26" East along the Easterly right-of-way line of State Trunk Highway 31, 206.60 feet; thence North 11° 49' 06" East along the Easterly right-of-way line of State Trunk Highway 31, 86.97 feet; thence South 78° 10' 54" East 150.00 feet; thence South 11° 49' 06" West 86.55 feet; thence South 11° 30' 26" West 161.86 feet; thence along the arc of a 445 foot radius curve, concave to the East, having a chord length of 44.39 feet bearing South 08° 39' 54" West; thence North 78° 29' 34" West 152.20 feet to the point of beginning of this description. Said land being in the City of Racine, County of Racine, State of Wisconsin.

PARCEL II:
The non-exclusive easement for ingress to and egress from Parcel I to Green Bay Road, Durand Avenue, and the roadway adjacent to the Developer Additional Parcel all as set forth in the Easement, Restriction and Operation Agreement executed by Racine Joint Venture, J.C. Penney properties, Inc., Federated Department Stores, Inc. and the Chas. V. Weise Co. dated December 28, 1979 and recorded in the Office of the Register of Deeds for Racine County, Wisconsin on December 28, 1979, in Volume 1545 of Records, Page 235, as Document No. 1066872, as amended by the First Amendment to Easement, Restriction and Operation Agreement recorded on November 10, 1981 in Volume 1637 of Records, Page 270, as Document No. 1099190, as further amended by the Agreement of Assignment, Assumption and Indemnity recorded on March 28, 1985 in Volume 1747 of Records, Page 128, as Document No. 1165930, and as further amended by the Second Amendment to Easement, Restriction and Operation Agreement recorded on March 28, 1985 in Volume 1747 of Records, Page 145, as Document No. 1165931.

BASIS OF BEARINGS

Bearings are referenced to the East line of State Trunk Highway 31 which is assumed to bear North 11°30'26" East.

TITLE COMMITMENT

This survey was prepared based on Chicago Title Company Commitment No. 000372720, effective date of July 17, 2013 which lists the following easements and/or restrictions from schedule B-II:

- 6, 7 & 8 visible evidence shown, if any.
- 1 - 5, 9 & 22-25 not survey related.
10. Easement, Restriction and Operation Agreement executed by Racine Joint Venture, J.C. Penney properties, Inc., Federated Department Stores, Inc., and The Chas. V. Weise co., dated December 28, 1979 and recorded December 28, 1979, as Document No. 1066872, as amended by First Amendment recorded as Document No. 1099190. **Affects site by location.**
- Agreement of Assignment, Assumption and Indemnity executed by and between Federated Department Stores, Inc. and P.A. Bergner & Co. of Illinois, dated March 27, 1985 and recorded March 28, 1985, as Document No. 1165930, as amended by Second Amendment recorded as Document No. 1165931. **Affects site by location.**
11. Easement, Restriction and Maintenance Agreement executed by and between Racine Joint Venture and Dayton-Hudson Corporation, dated July 9, 1980 and recorded July 30, 1980, as Document No. 1076199. **Affects site by location.**
12. Agreement entered into by and between Federated Department Stores, Inc. and Racine County, dated September 8, 1972 and recorded September 8, 1972, as Document No. 907926. **Affects site by location.**
- Terms, Conditions and Provisions contained in Certificate executed by Racine County, dated September 27, 1973 and recorded September 28, 1973, as Document No. 928938. **Affects site by location.**
- Assignment, Assumption, Consent and Release entered into by and between Federated Department Stores, Inc., Racine Joint venture, and Racine County, dated August 22, 1977 and recorded September 1, 1977, as Document No. 1009557. **Affects site by location.**
- Amendment to Agreement entered into by and between Racine Joint Venture and Racine County, a Wisconsin Quasi-Municipal corporation, dated August 24, 1977 and recorded September 1, 1977, as Document No. 1009558. **Affects site by location.**
- Agreement entered into by and between Racine Joint venture and Racine County, a Wisconsin Quasi-Municipal corporation, dated December 14, 1979 and recorded December 28, 1979, as Document No. 1066868, and Supplemental Agreement recorded as Document No. 1097238. **Affects site by location.**
13. Conditions and Restrictions as contained in Award of Damages, executed by State of Wisconsin Department of Transportation to Racine County, a Quasi-Municipal corporation, dated July 6, 1971 and recorded November 4, 1971, as Document No. 891777. **Affects site by location.**
14. Utility Easement granted to Wisconsin Electric Power Company recorded as Document No. 1080257. **Affects site by location, shown.**
15. Utility Easement granted to Wisconsin Electric Power Company recorded as Document No. 1008628. **Location undeterminable.**
16. Utility Easement granted to Wisconsin Electric Power Company recorded as Document No. 1269208. **Affects site by location, shown.**
17. Utility Easement granted to Wisconsin Electric Power Company recorded as Document No. 1137321. **Document provided is not an easement. Appears to be wrong document.**
18. Utility Easement granted to Wisconsin Telephone Company recorded as Document No. 1104126. **Affects site by location, shown.**
19. Access Covenant executed by Federated Department Stores, Inc., to Racine Joint Venture, dated May 1, 1975 and recorded May 8, 1975, as Document No. 955530. **Affects site by location, shown on Vicinity Map.**
20. Various Easements and Restrictions as contained in Plat of Regency Mall recorded as Document No. 1113798. **Affects site by location, shown.**
21. Covenants, Conditions and Restrictions set forth in Construction and Operating Agreement recorded as Document No. 1629769. **Affects site by location.**

PARKING SPACES

There are 47 regular parking spaces and 4 handicapped parking spaces marked on this site.

FLOOD NOTE

According to the flood insurance rate map of the County of Racine, Community Panel No. 55101C0228D, effective date of May 2, 2012, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

MUNICIPAL ZONING

Site is zoned: B-2 (Community Shopping)
Street, Rear & Side setback: none
Maximum building height: 60 feet
Off-street parking: Class No. 7 which requires 6 spaces per 1,000 sq. ft. of building area.
Therefore 54 spaces are required. (per Sec. 114-1188 of City of Racine Municipal Zoning Code.)

LAND AREA

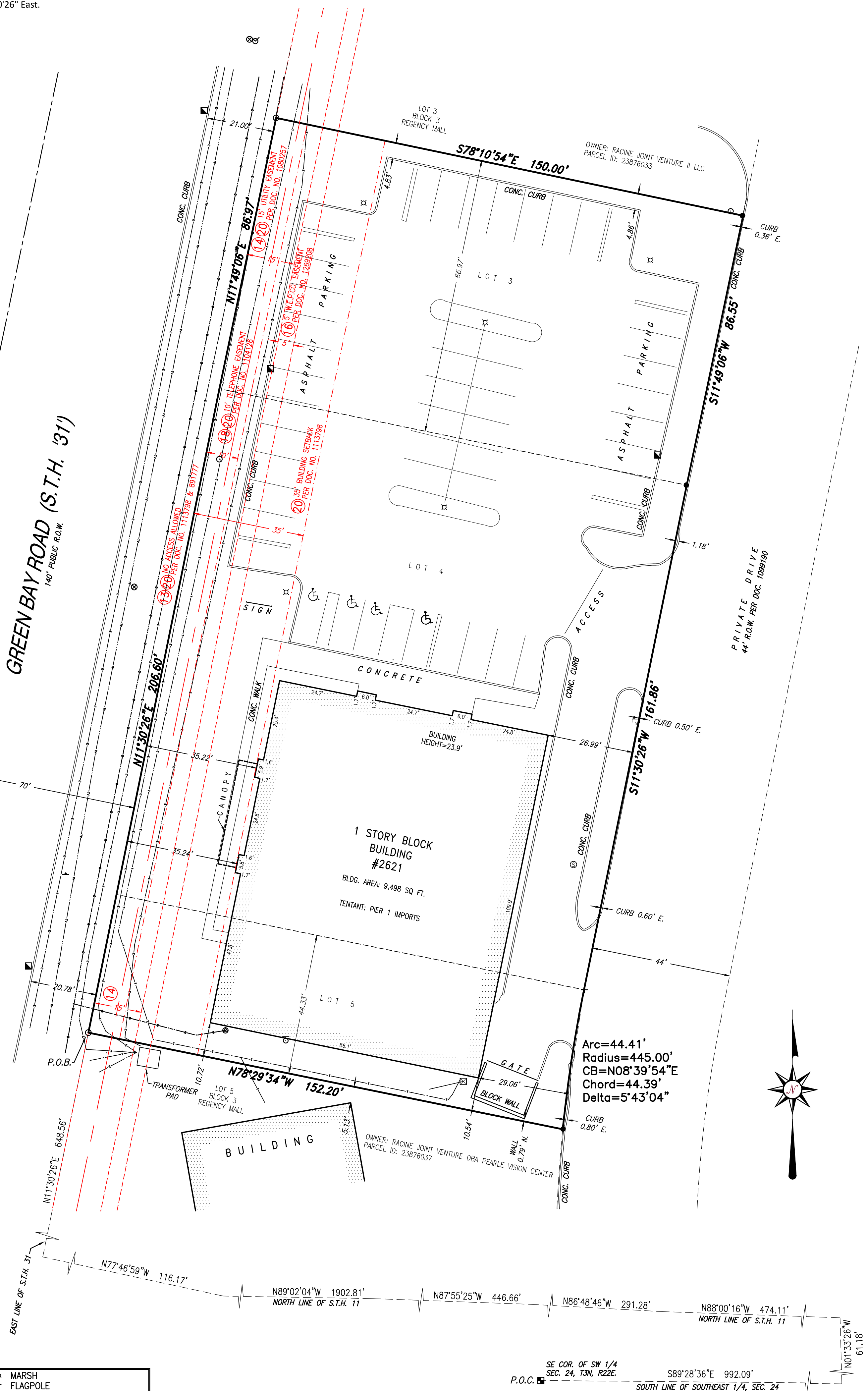
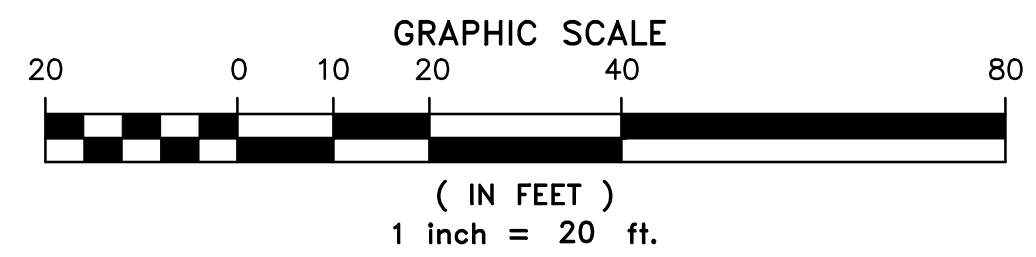
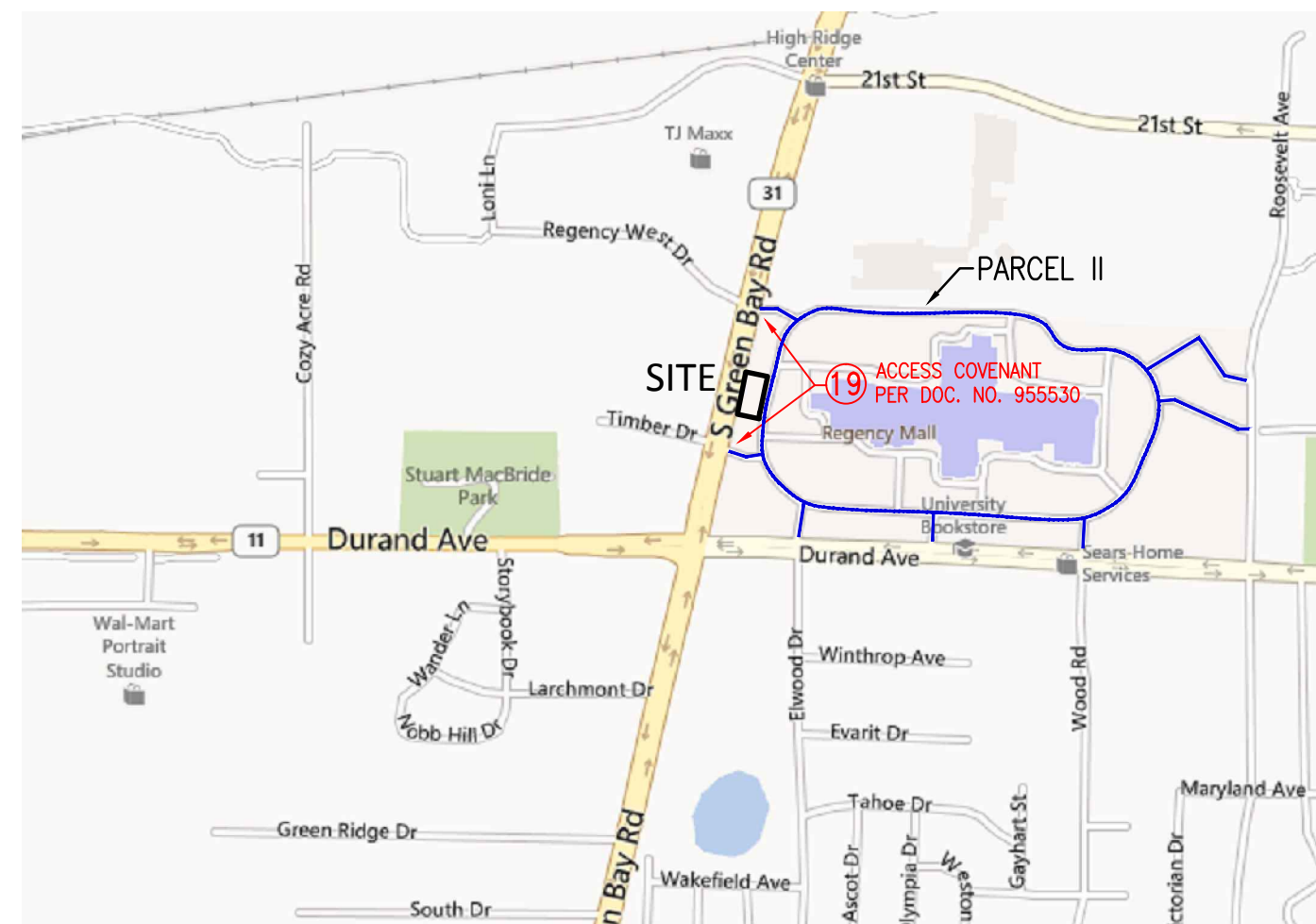
The Land Area of the subject property is 48,515 square feet or 1.1138 acres.

TABLE "A" ITEMS

- 10(a)(b). There was no observable evidence of division or party walls at the time of survey.
- 11(b). Utility lines are shown from visible surface evidence, municipal plans and from plans and markings provided by Diggers Hotline, the One-call Utility Marking System. This survey represents the underground utilities that participated with the request and were marked on the time of the survey. Additional utilities may exist, but were non-responsive to the request.
16. There is no visible evidence of earth moving, building construction or building additions within recent months.
17. There are no changes in street right of way lines either completed or proposed, and available from the controlling jurisdiction. Observable evidence of recent street or sidewalk construction or repairs if any, is shown.
18. There is no observable evidence of site use as a solid waste dump or sanitary landfill.
19. There is no evidence on site of delineated wetlands areas.
- 20(a). There are offsite easements or servitudes benefiting the survey property disclosed in furnished Title Commitment as shown hereon at the time of survey.

LEGEND

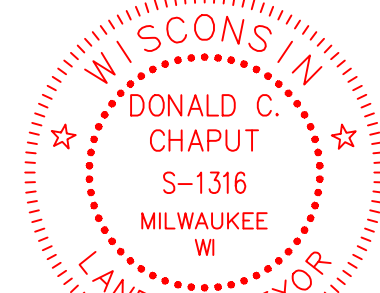
● INDICATES FOUND 1" IRON PIPE	⋈ POST INDICATOR VALVE	▲ MARSH
○ INDICATES SET 1" IRON PIPE	⋈ LIGHT POLE	▲ FLAGPOLE
⊕ INDICATES FOUND CHISELED CROSS	⋈ SPOT/YARD LIGHT	▲ PARKING METER
⊙ SANITARY MANHOLE	⋈ UTILITY POLE	▲ SIGN
⊙ SANITARY CLEANOUT OR VENT	⋈ GUY POLE	▲ MAILBOX
⊙ M.I.S. MANHOLE	⋈ GUY WIRE	▲ RAILROAD CROSSING SIGNAL
⊙ UNKNOWN MANHOLE	⋈ ELECTRIC MANHOLE	▲ HANDICAP SPACE
⊙ STORM MANHOLE	⋈ ELECTRIC PEDESTAL	▲ CONIFEROUS TREE
⊙ INLET (ROUND)	⋈ ELECTRIC METER	▲ DECIDUOUS TREE
⊙ INLET (SQUARE)	⋈ TELEPHONE MANHOLE	— SANITARY SEWER
⊙ STORM SEWER END SECTION	⋈ TELEPHONE PEDESTAL	— STORM SEWER
⋈ GAS VALVE	⋈ CABLE PEDESTAL	— WATERLINE
⋈ GAS METER	⋈ CONTROL BOX	— MARKED GAS MAIN
⋈ WATER VALVE	⋈ FIBER OPTIC SIGN	— MARKED ELECTRIC
⋈ HYDRANT	⋈ TRAFFIC LIGHT	— OVERHEAD WIRES
⋈ WATER MANHOLE	⋈ COMMUNICATION MANHOLE	— MARKED TELEPHONE
⋈ WATER SERVICE CURB STOP	⋈ BOLLARD	— MARKED CABLE TV LINE
⋈ WELL HEAD	⋈ SOIL BORING/MONITORING WELL	— MARKED FIBER OPTIC
⋈ STAND PIPE	⋈ WATER SURFACE	— FENCE
⋈ WALL INDICATOR VALVE	⋈ WETLANDS FLAG	



TO: BR of Wisconsin 15, LLC
Protective Life Insurance Company and/or its subsidiaries
Chicago Title Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b), 7(c), 8, 9, 10, 11(b), 13, 16, 17, 18, 19, 20, 21 and 22 of Table A thereof. The field work was completed on July 29, 2013.

Date of Map: August 19, 2013
Revised: August 27, 2013

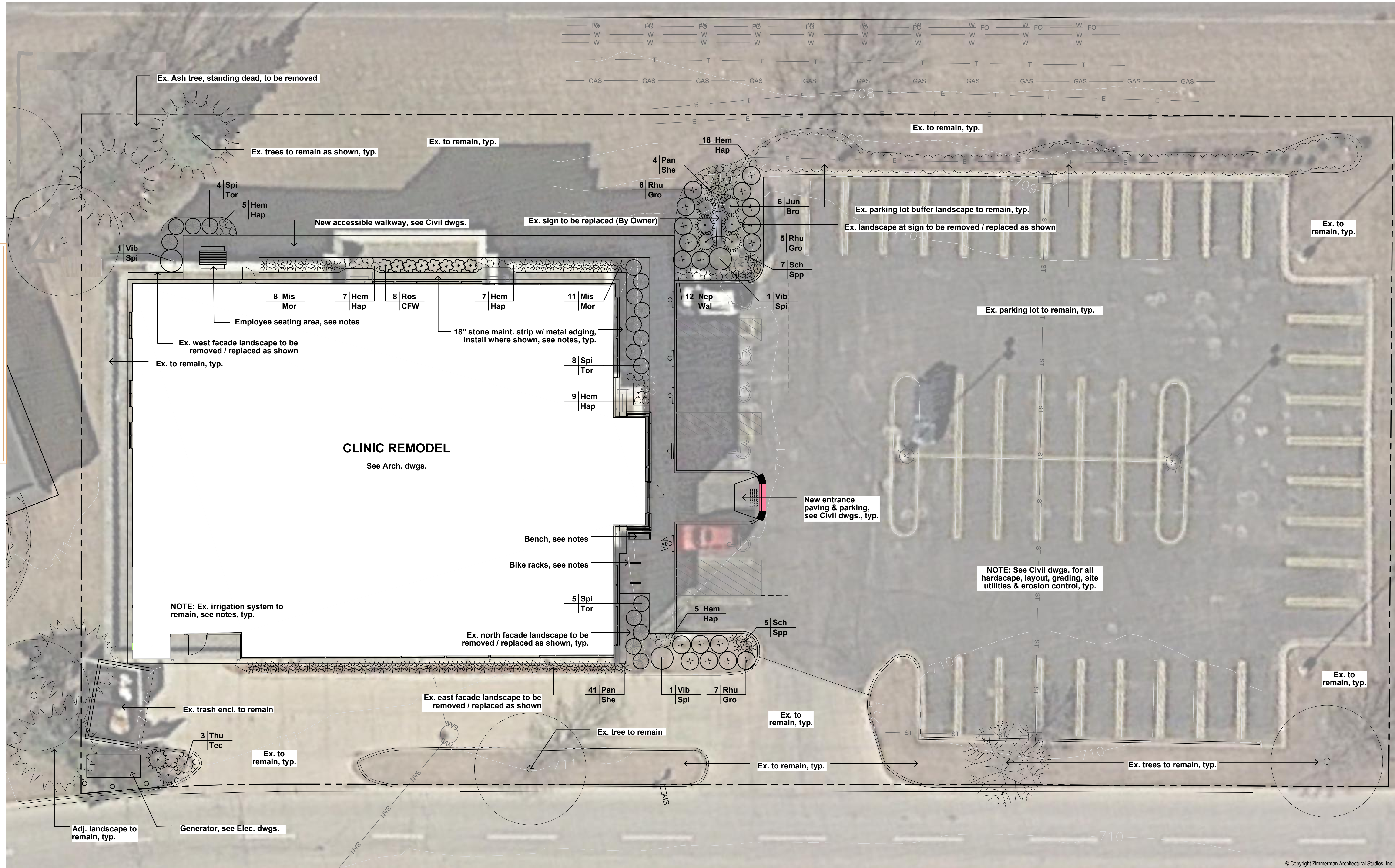


Donald C. Chaput
Registered Land Surveyor
Registration Number S-1316

CHAPUT LAND SURVEYS LLC
234 W. FLORIDA STREET
MILWAUKEE, WI 53204
414-224-8068
www.chaputlandsurveys.com

Drawing No. 1559 - tjn

THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGE, LIABILITY, OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS AND DATA WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.



No.	Date	Description

SIGN SPECIFICATIONS

[A] - ILLUMINATED LOGO

Lighting: LED
 Voltage: [TBD]
 Description: Face-Lit [Acrylic]
 Face Color: White [2447] Translucent Acrylic with Teal Green 3630-246 [OPAQUE] vinyl
 Return Color: Paint Akzo Teal SIGN60784
 Trimcap Color: White
 Installation: Flush to wall

[B] - ILLUMINATED LETTERS

Lighting: LED
 Voltage: [TBD]
 Description: Face-Lit [Acrylic]
 Face Color: White [2447] Acrylic
 Return Color: Paint Akzo Teal SIGN60784
 Trimcap Color: White
 Installation: Flush to wall



remove & replace existing letters [east elevation]

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Project

Aurora Health Center

Racine, Wisconsin

Scale: 3/8"=1'

Original Page Size: 11" x 17"

Notes

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Revisions

REV	DESCRIPTION	BY	DATE
.			

Rep.: Matt Kaminski

Drawn By: Sarah Biagioni Orig. Date: 12/19/19

Sign Loc. No. east

LL-01

Lit Letters

Sign. Type

87586

OPP - Project - Job No.

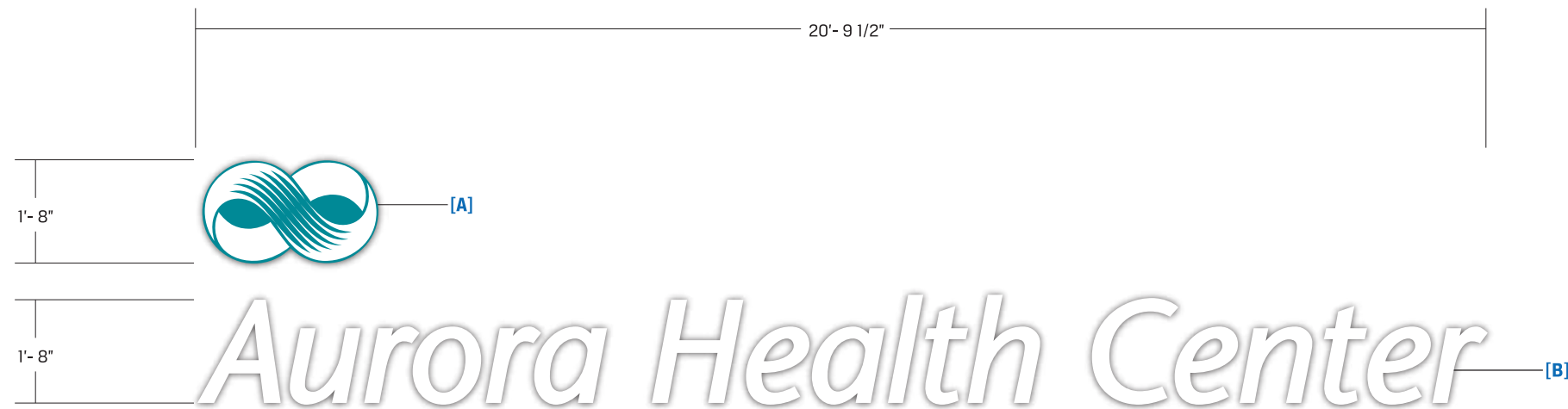
C01

Design

[Translucent] White background



[Opaque] Teal



SIGN SPECIFICATIONS

[A] - ILLUMINATED LOGO

Lighting: LED
 Voltage: [TBD]
 Description: Face-Lit [Acrylic]
 Face Color: White [2447] Translucent Acrylic
 with Teal Green 3630-246 [OPAQUE] vinyl
 Return Color: Paint Akzo Teal SIGN60784
 Trimcap Color: White
 Installation: Flush to wall

[B] - ILLUMINATED LETTERS

Lighting: LED
 Voltage: [TBD]
 Description: Face-Lit [Acrylic]
 Face Color: White [2447] Acrylic
 Return Color: Paint Akzo Teal SIGN60784
 Trimcap Color: White
 Installation: Flush to wall

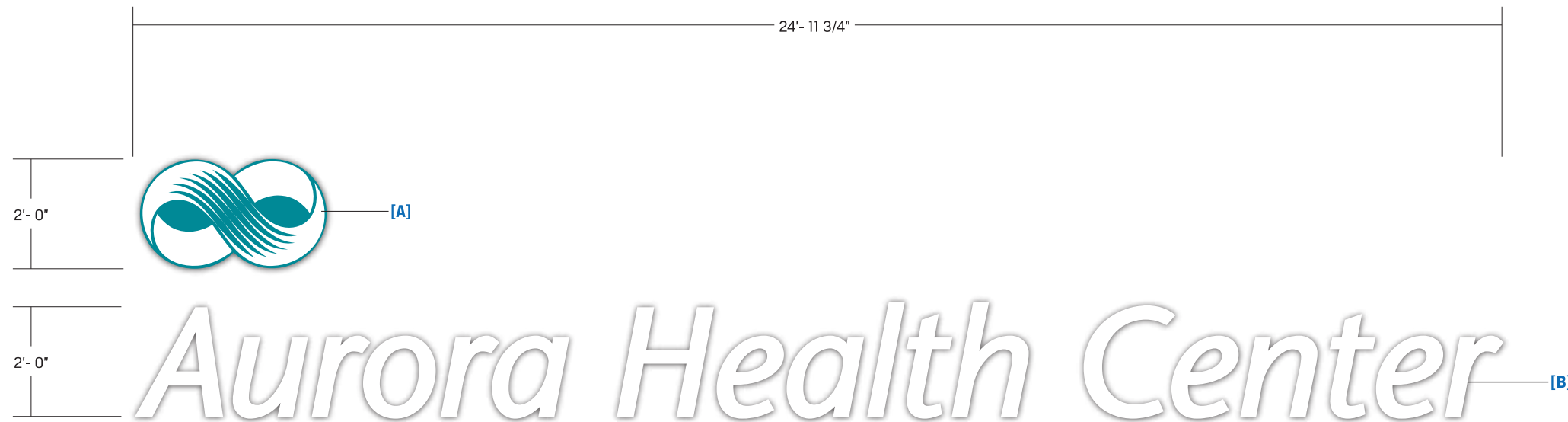


remove & replace existing letters [north elevation]

[Translucent] White background



[Opaque] Teal



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Project

Aurora Health Center

Racine, Wisconsin

Scale: 3/8"=1'

Original Page Size: 11" x 17"

Notes

Revisions

REV	DESCRIPTION	BY	DATE
.			

Rep.: Matt Kaminski

Drawn By: Sarah Biagioni Orig. Date: 12/19/19

Sign Loc. No. **north**

LL-01

Lit Letters

Sign. Type

87586

OPP - Project - Job No.

CO1

Design

SIGN SPECIFICATIONS

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Project

Aurora Health Center

Racine, Wisconsin

Scale: 3/8"=1'

Original Page Size: 11" x 17"

Notes

Revisions

REV	DESCRIPTION	BY	DATE

Rep.: Matt Kaminski

Drawn By: Sarah Biagioni Orig. Date: 12/19/19

Sign Loc. No. west

LL-01

Lit Letters

Sign. Type

87586

OPP - Project - Job No.

C01

Design



remove & replace existing letters [west elevation]

[A] - ILLUMINATED LOGO

Lighting: LED

Voltage: [TBD]

Description: Face-Lit [Acrylic]

Face Color: White [2447] Translucent Acrylic

with Teal Green 3630-246 [OPAQUE] vinyl

Return Color: Paint Akzo Teal SIGN60784

Trimcap Color: White

Installation: Flush to wall

[B] - ILLUMINATED LETTERS

Lighting: LED

Voltage: [TBD]

Description: Face-Lit [Acrylic]

Face Color: White [2447] Acrylic

Return Color: Paint Akzo Teal SIGN60784

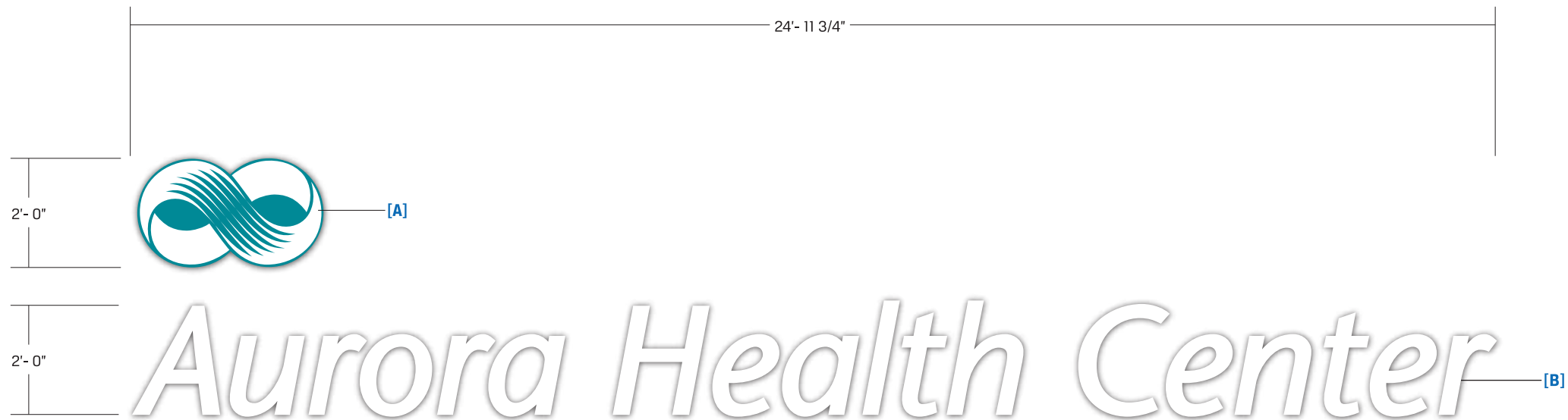
Trimcap Color: White

Installation: Flush to wall

[Translucent] White background



[Opaque] Teal



SIGN SPECIFICATIONS

[A] - CABINET

Lighting: White LED
 Voltage: [TBD]
 Material: Aluminum
 Face Color: Paint Akzo Teal SIGN60784
 Cabinet Color: Paint Akzo Teal SIGN60784
 Installation: New Structure

[B] - GRAPHICS

Material: Back-up
 Color: White 7328 Acrylic

[C] - GRAPHICS

Material: Back-up White 7328 Acrylic w/ first surface Silver Grey 3630-51 w/ letters removed. Mask & spray side retainers to match 3630-51 Silver Grey.

[D] - LED DISPLAY

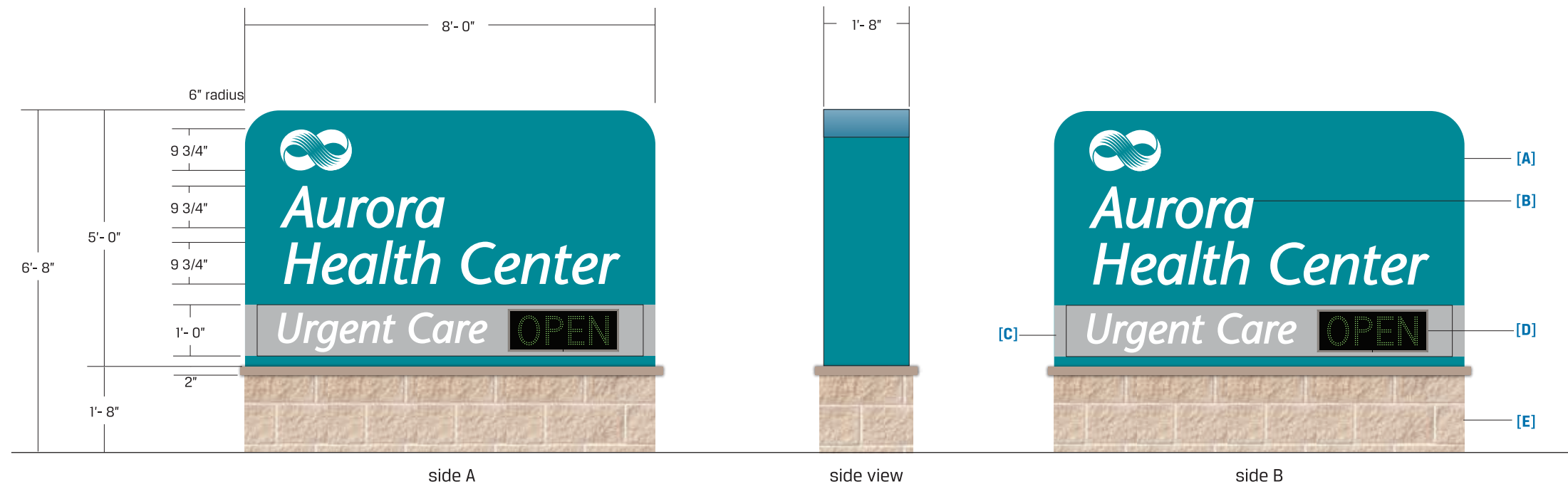
Direct View TCL Series
 TCL1026G-180DS
 10"h x 26"w x 2.5" d

[E] - BASE

Material: Masonry block to match building



remove & replace existing sign



● PRIMARY MONUMENT

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Project

Aurora Health Center

Racine, Wisconsin

Scale: 3/8"=1'

Original Page Size: 11" x 17"

Notes

Revisions

REV	DESCRIPTION	BY	DATE

Rep.: Matt Kaminski

Drawn By: Sarah Biagioni Orig. Date: 12/19/19

Sign Loc. No. .

MON-01

D/F Monument Sign
 Sign. Type

87586

OPP - Project - Job No.

CO1

Design