



CITY OF RACINE DEPARTMENT OF CITY DEVELOPMENT STAFF REPORT

Meeting Date: 7/22/2020

To: Mayor and Planning, Heritage and Design Commission Members

From: City Development Department, Division of Planning and Redevelopment

Division Manager: Matt Sadowski – (262) 636-9152 matthew.sadowski@cityofracine.org

Case Manager: Matt Sadowski

Location: 2210 and 2300 Rapids Drive

Applicants: Bob Gleason.

Property Owner: 2210-2300 Rapids Drive LLC (Bob Gleason)

Request: Consideration of a minor change to a conditional use permit to consider signage, façade and site changes on the property. The subject property is within a Planned Development in a B-2 Community Shopping Zone District. The proposed changes are being reviewed by the Plan Commission as required in section [114-155](#) (b) of the Municipal Code.

BACKGROUND AND SUMMARY: The owner of the property seeks to update and remodel the existing building on the property with updated signage and a revised paint scheme for the building. An indoor farmer's market is planned for the former grocery store location; existing tenants in the center will remain. The interior of the building will be remodeled for use as a farmer's market. The proposed changes are determined to be a minor amendment to an existing conditional use permit, pursuant to section 114-155 of the Municipal Code.



Birdseye view of the property, indicated in red (image from Google Earth).

Due to the scale of the renderings and for readability, please view the proposed changes in the attachment section of the agenda, the file is called applicant submittal.

GENERAL INFORMATION

Parcel Number: [20419028](#) and [20419029](#)

Property Size: 11.9 acres

Comprehensive Plan Map Designation: Commercial

Consistency with Adopted Plans:

The [Racine Comprehensive Plan](#) states that:

- The plan should encourage the redevelopment of older areas and commercial areas.
- Promote redevelopment and infill in areas with existing infrastructure and services, enhancing existing residential, commercial, and industrial areas.
- Promote the expansion or stabilization of the current economic base and the creation of a range of employment opportunities.

Corridor or Special Design District?: N/A While not a formal design review district, there are adopted requirements for signage and building design as part of the planned development on the site.

Historic?: N/A

Current Zoning District: B-2 Community Shopping

Purpose of Zone District: The B2 community shopping district is intended to accommodate the needs of a much larger consumer population than is served by the neighborhood convenience district, thus a wider range of uses and structure sizes is permitted for both daily and occasional shopping.

Proposed Zoning: No change proposed

Existing Land Use: Retail shopping center

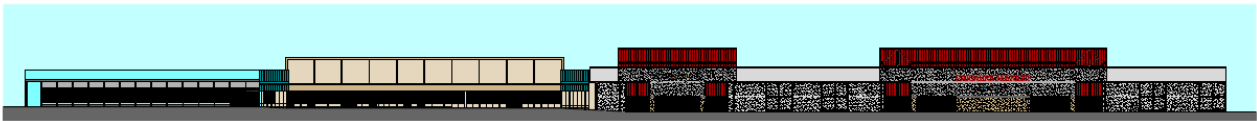
Surrounding Zoning and Land Uses:

North	R-5 General Residence	Multi-unit dwellings
East	R-3 Limited General Residence	Single unit detached dwellings
South	R-2 Single Family Residence	Horlick High School
West	R-2 Single Family Residence	Single unit detached dwellings

ANALYSIS:

Development Standards:

Building design standards (114-Secs. [735.5](#) & [736](#)): The building on this parcel complies with the requirements of 114.735.5.b.1; the contemplated changes also comply with the requirements of the ordinance.



SOUTH ELEVATION
SCALE 1" = 20'



WEST END
SCALE 1/2" = 10'



Landscaping, screening and yard requirements ([114- Article V](#): Article VII, Div. 6 [Development Standards](#) & 7 [Fences and Walls](#)): The development is existing and predates the requirements for the provision of bufferyards. No changes are planned to the features on the site, minor changes to signage and the façade are planned with this request.

Sign Regulations (114-[Article X](#)): The submitted signage complies with the requirements set forth in the Planned Development for the site in relation to sizing, materials and design.



Outdoor lighting, signs ([114-Sec. 742](#)): The lighting on the property conforms to the requirements of this section; the light is not focused onto adjacent properties. No changes to lighting are planned with this request.

Rubbish and trash storage ([114-Article V](#) & [114-740](#)): The trash storage area on the property currently complies with the requirements of this section. The application does not contemplate any changes to the trash storage area.

Engineering, Utilities and Access:

Access ([114-1151](#)): Vehicular access to the site is provided from a driveways off Rapids Drive and Mount Pleasant Street. The site plan submitted by the applicant does not contemplate any changes to access.

Surface drainage ([114-739](#) & Consult Engineering Dept.): Remodeling of the building’s interior and these minor site changes are not expected to impact the surface drainage of this lot.

Sewage disposal and water supply ([114-821](#) & Consult Engineering and S/W Utility): All utilities are available for this site and the applicant proposal is not expected to impact the ability to serve this area.

Exceptions to ordinance: N/A

Additional Planning and Zoning Comments: The proposal is to remodel the existing store space and make some minor changes to the façade. These changes do not change the overall intent or concept of the development and are considered a minor amendment to the existing planned development on the site.

REQUIRED FINDINGS OF FACT:

CONDITIONAL USE FINDINGS (Sec. 114-154. – Standards.)

No Conditional Use shall be recommended by the Plan Commission unless it is found that that:

- 1) The establishment, maintenance, or operation of the conditional use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare.**

Staff Comments: The proposed minor amendment to this conditional use is not anticipated to endanger the public health, safety, morals or general welfare of the community of this area in general. The application to paint the upper portion of the façade and update the signage will not alter the operations or general function of this property.

- 2) The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

Staff Comments: The proposed amendment to the existing conditional use is not anticipated to be detrimental to the use and enjoyment of surrounding properties. The application contemplates updates to signage and paint scheme for the upper portion of the building façade. These changes are not expected to diminish or impair property values in the area; it is anticipated that these changes will enhance the aesthetics of the property to prepare the building for productive use once again.

- 3) The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

Staff Comments: The minor amendments to the site contemplated by the applicant are not anticipated to impede or alter the development patterns of this area. The applicant is complying with all requirements related to signage and construction for both the zoning ordinance and the Planned Development on the site. The applicant is also adhering to all other requirements which would be applicable to other uses permitted in this district.

- 4) Adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.**

Staff Comments: The site plan submitted by the applicant does not propose any changes to the access, utilities or drainage for the site. The use of this site and existing building is not expected to impact the provision of utilities for the property or general area.

- 5) Adequate measures have been or will be taken to provide ingress and egress so designated as to minimize traffic congestion in the public streets.**

Staff Comments: The site plan submitted by the applicant does not contemplate any changes to the ingress or egress from the site. It is not expected that additional traffic or changes in traffic patterns will occur as a result of this proposal.

- 6) The proposed conditional use is not contrary to the objectives of the current land use plan for the city.**

Staff Comments: The minor amendment is consistent with the objectives of the land use plan for the City. The land use plan designates this property as commercial; there are no planned changes in the operation or general function of the site as a result of this request.

- 7) **The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the plan commission.**

Staff Comments: The applicant submittal complies with the requirements of the zoning ordinance and the Planned Development for the mall property. There are no exceptions requested with this proposal, and the site complies with all development standards at this time.

POSSIBLE ACTIONS FOR THE PLANNING, HERITAGE AND DESIGN COMMISSION

1. Approve the request as submitted; or
2. Approve the request with conditions deemed necessary to mitigate any adverse impacts that could arise from the project; or
3. Deny the request; or
4. Defer the request to obtain more specific information about the request.

STAFF RECOMMENDATION: BASED ON THE FINDINGS OF FACT IN THIS REPORT, THAT THE REQUEST FROM BOB GLEASON, SEEKING A MINOR AMENDMENT TO AN EXISTING CONDITIONAL USE PERMIT AT 2210 AND 2300 RAPIDS DRIVE BE APPROVED, SUBJECT TO THE FOLLOWING CONDITIONS:

- a) That the plans presented to the Planning, Heritage, and Design Commission on July 22, 2020 be approved subject to the conditions contained herein.
- b) That all license requirements from the State of Wisconsin and City of Racine be obtained, complied with, and kept current at all times.
- c) That all codes and ordinances are complied with and required permits acquired.
- d) Any usage of the property as an indoor flea market is prohibited without obtaining a major amendment to the conditional use permit.
- e) That no minor changes be made from the conditions of this permit without approval of the Planning, Heritage, and Design Commission, and no major changes be made from the conditions of this permit without the approval of the Common Council.
- f) That this conditional use permit is subject to Planning, Heritage, and Design Commission review for compliance with the listed conditions.

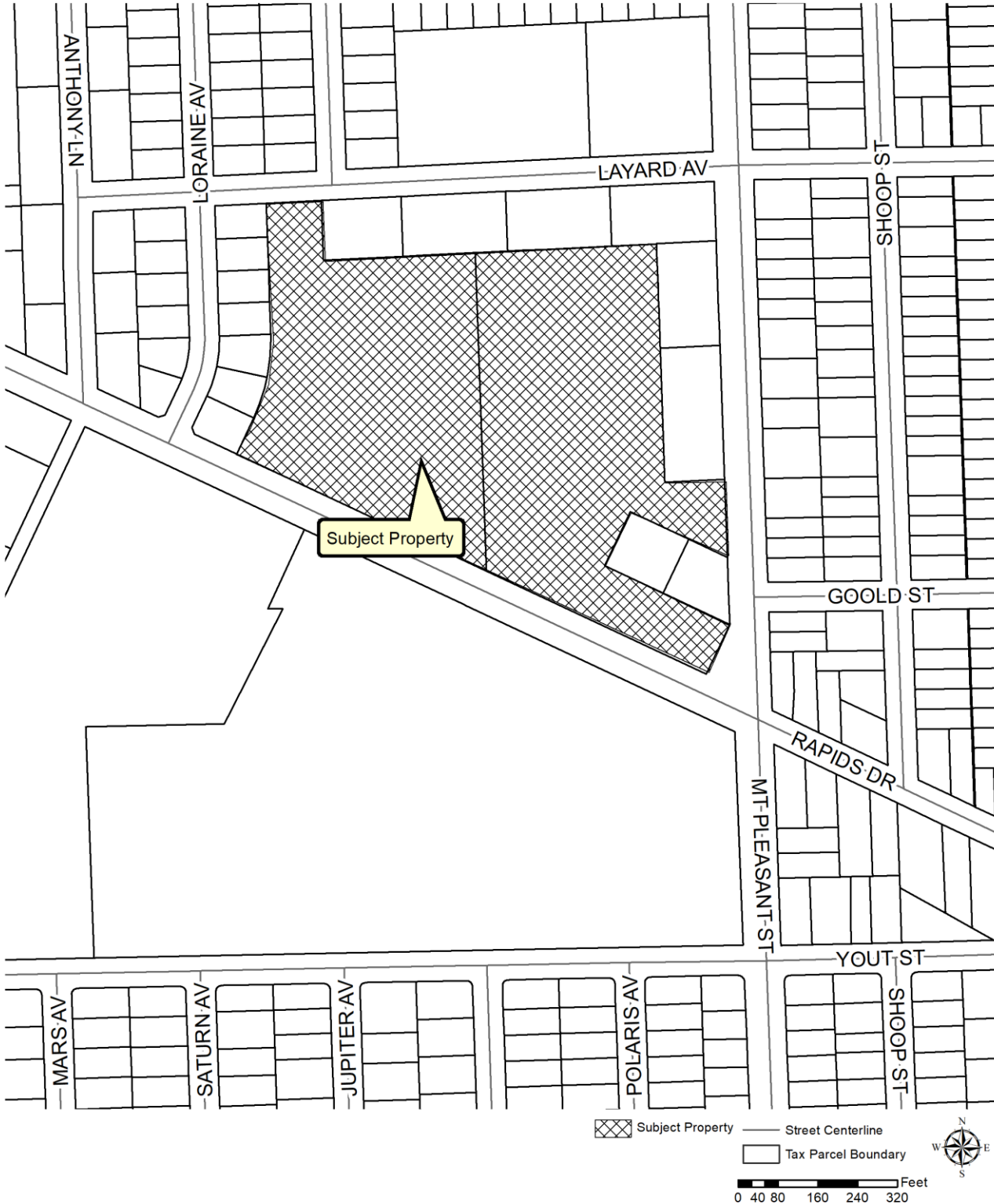
ATTACHMENTS:

- 1) Property map indicating the subject property;

- 2) Aerial Photo indicating the subject property;
- 3) Zoning Map indicating the subject property;
- 4) Land Use Map from Comprehensive Plan, indicating the subject property;
- 5) Site photos of the property and general area; and
- 6) Submittal documents (view in legistar).

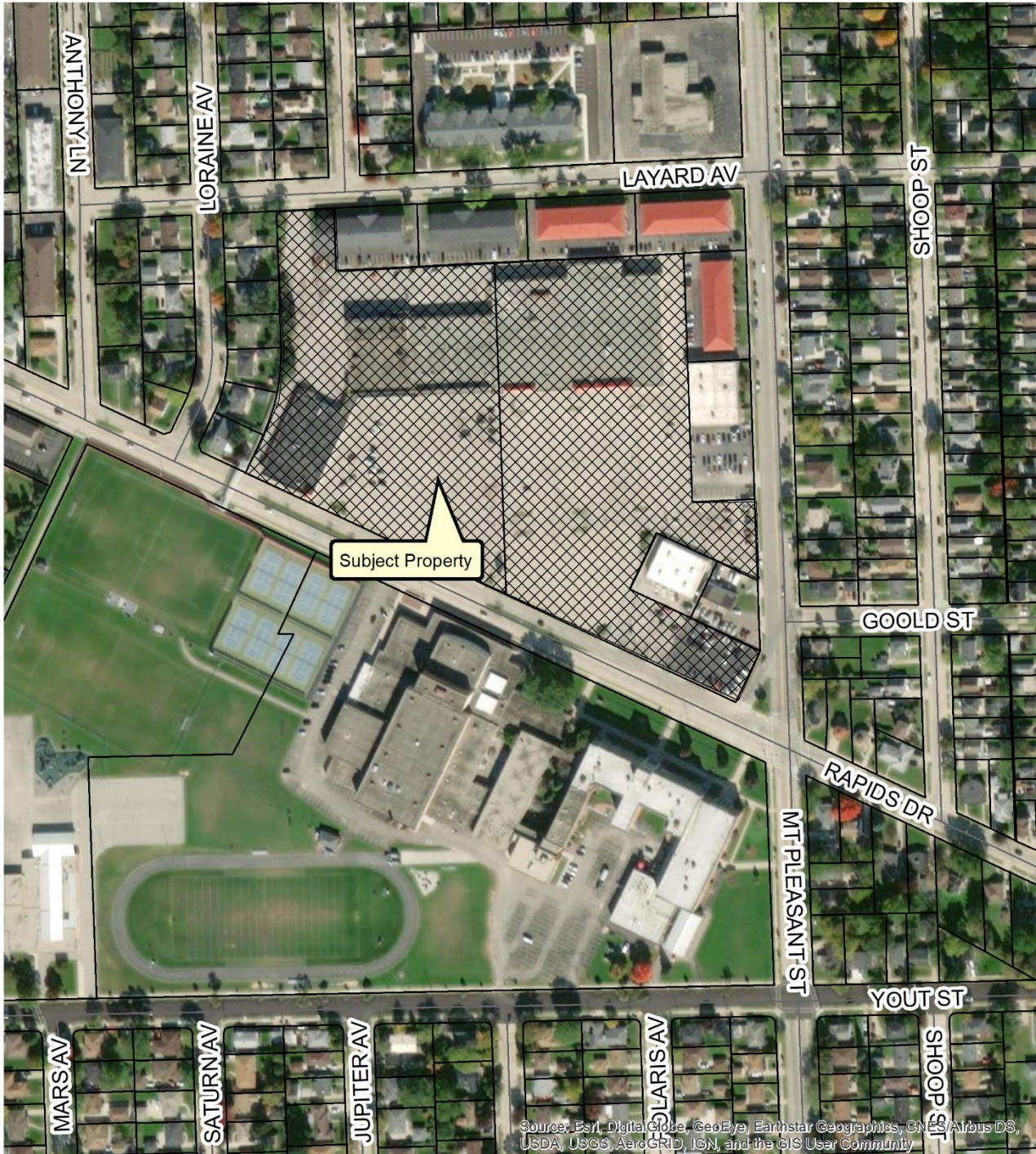


Conditional Use Amendment -Rapids Plaza

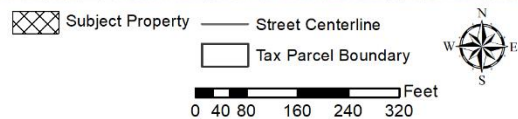




Conditional Use Amendment -Rapids Plaza

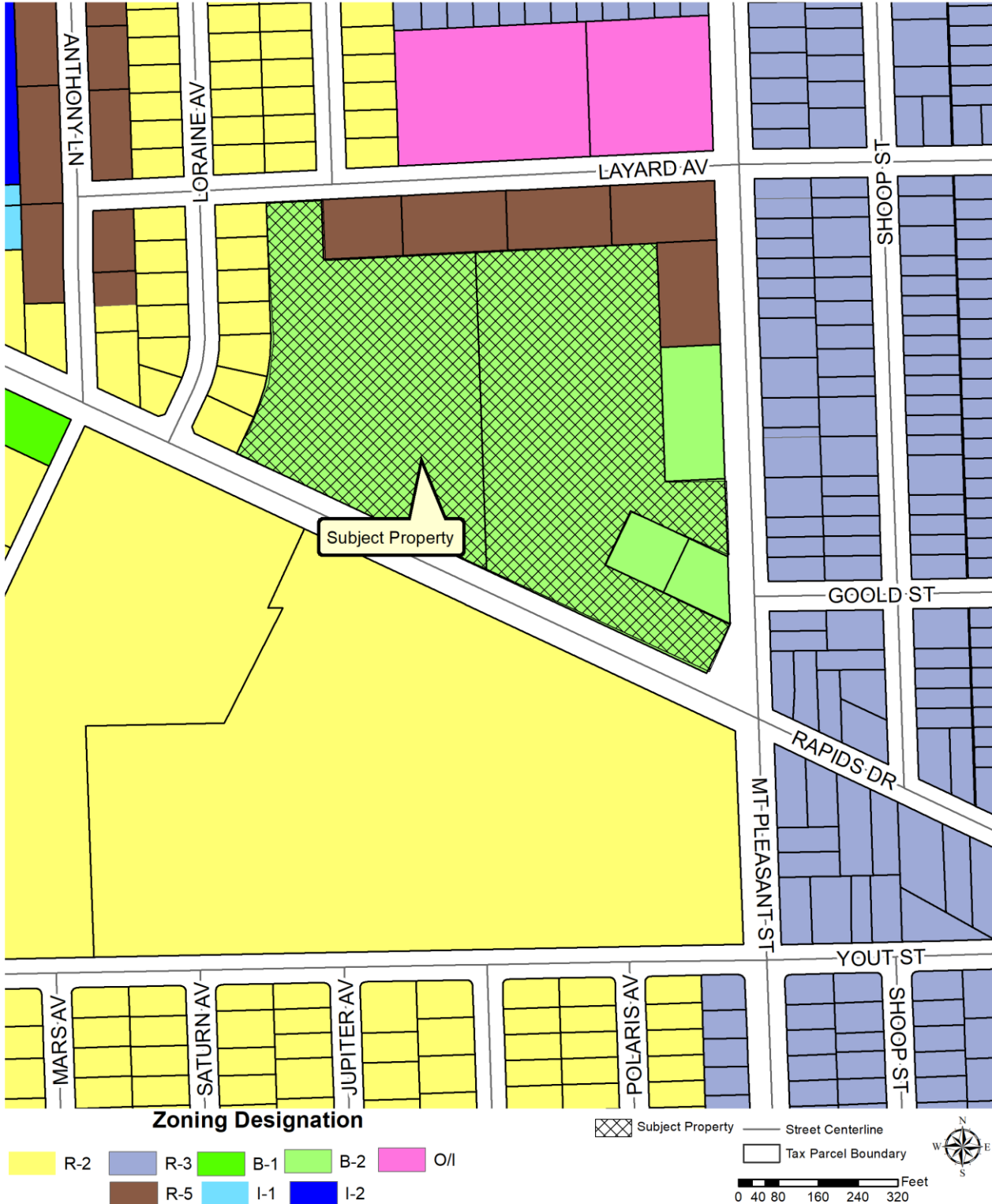


Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



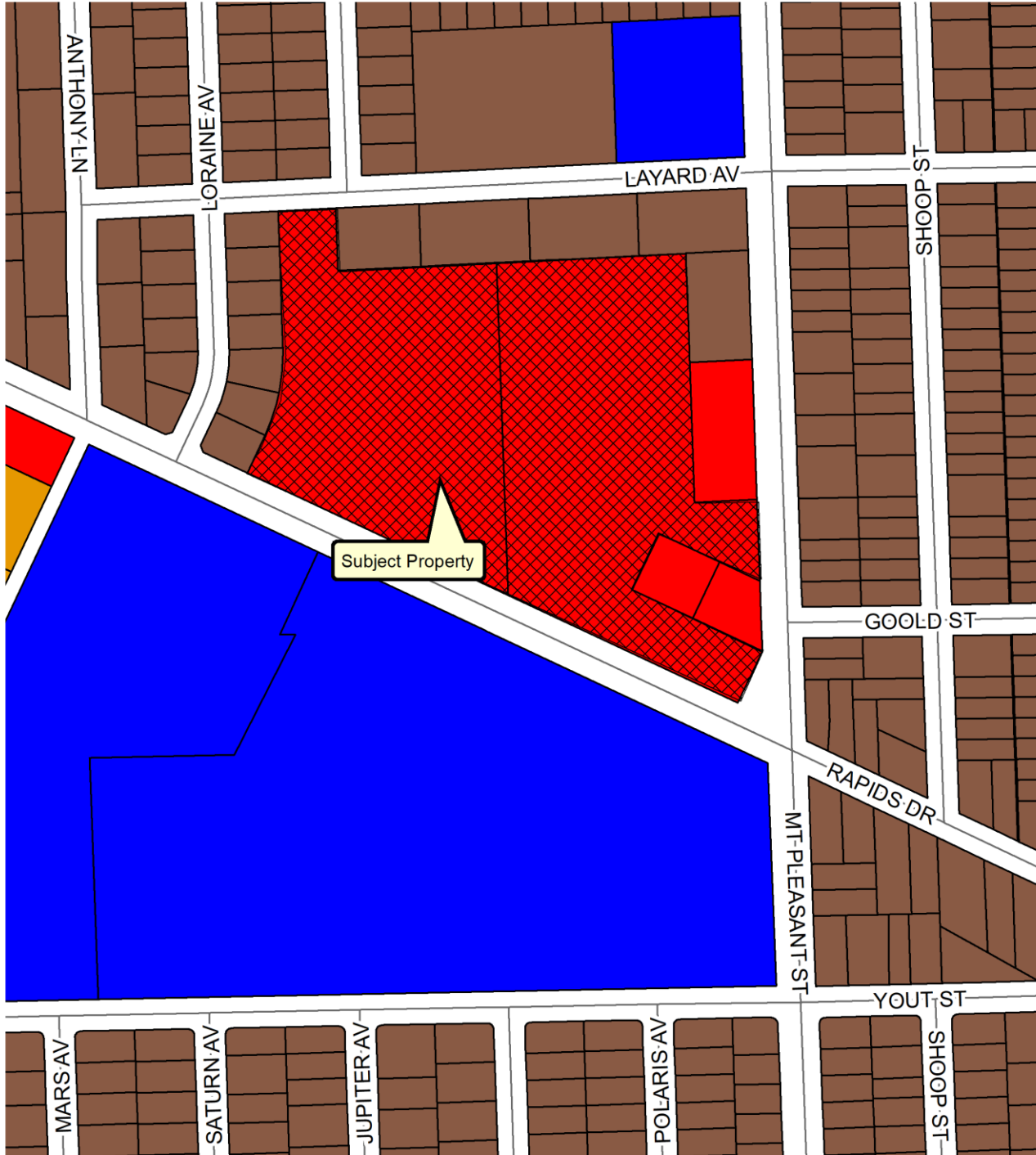


Conditional Use Amendment -Rapids Plaza





Conditional Use Amendment -Rapids Plaza



Land Use Designation

- Commercial
- Governmental and Institutional
- Medium Density Residential
- High Density Residential

Subject Property

Street Centerline

Tax Parcel Boundary

Site Photos



Looking north at former grocery store location on the property



Looking north at other storefronts within the center



Looking west at the remainder of the storefronts in the center



Looking south at Horlick High School from center parking lot



Looking North at space which would be utilized for the indoor market