

2. Written Description of Project

The building located at 512 Main Street will be redeveloped into a full-service spa, to be known as Spa Verdant, which will offer Nordic bathing traditions and a curated treatment menu. Spa Verdant is expected to be open for 10 hours a day (either 9am-7pm or 10am-8pm), seven days a week and is currently projected to be completed in late 2Q or early 3Q 2026. Spa Verdant will be operated and maintained by Arch Amenities Group, an award-winning spa manager with nation-wide operational experience.

3. Site Plan

a. Please see attached drawings titled “State Submittal Set – Demolition and Floor Plans,” dated October 30, 2025.

b. Please see attached drawings titled “State Submittal Set – Demolition and Floor Plans,” dated October 30, 2025.

c. Not applicable. The building occupies the entire lot.

d. Please see attached drawings titled “State Submittal Set – Demolition and Floor Plans,” dated October 30, 2025.

e. Not applicable. Parking for this redevelopment will be located offsite.

f. Not applicable. Spa Verdant will put an agreement in place with Hotel Verdant to utilize its trash and recycling dumpsters.

g. Please see note under Item #6.

4. Landscape Plan

Not applicable. The building occupies the entire lot, so there is no landscaping plan.

5. Lighting Plan

a-c. Please see attached drawings named “512 Main Street – Exterior Lighting”

6. Signage Plan

a & b. The signage plan is still under development and will be submitted to the Planning, Heritage, and Design Commission for review at a future date.

7. Building/Site Elevations

a. Please see attached drawings and photos named “512 Main Street – Elevations.” Please note, two of the building’s walls are party walls/the exteriors are not visible, so they are not included in the drawings.

b. Per not 3f. above, there is not a trash enclosure planned for the property.

8. Building Material Samples

The materials used will match those existing; please let us know if samples are needed.

ABBREVIATIONS

@	At	EL	Elevation	NIC	Not In Contract
ADJ	Adjustable	ELEC	Electric	O.C.	On Center
AFF	Above Finished Floor	ELEV	Elevator	O.D.	Outside Diameter
AL	Aluminum	EQUIP	Equipment	PL	Pole
ACT	Acoustical Ceiling Tile	EXIST	Existing	PNT	Paint
ACP	Acoustical Ceiling Panel			PTD	Painted
BL	Brick Ledge	FD	Floor Drain	R.C.	Roof Conductor
BITUM	Bituminous	FE	Fire Extinguisher	R.D.	Roof Drain
BLDG	Building	FEC	Fire Extinguisher Cabinet w/ FE	REF	Refrigerator
BRG	Bearing	FIN	Finished	R.I.	Rough In
C	Conduit	FLR	Floor	R.O.	Rough Opening
CAB	Cabinet	FNDTN	Foundation		
CB	Catch Basin	FUT	Future		
CH	Coat Hook	GA	Gauge	SAN	Sanitary Sewer
CI	Cast Iron	GALV	Galvanized	SDS	Soap Dispenser
CJ	Control Joint	GB	Grab Bar	SH	Shelf
CKT	Circuit	GYP BRD	Gypsum Board	ST	Storm Sewer
CPT	Carpet Line	GWB	Gypsum Wall Board	STL	Steel
C/L	Center Line	HC	Handicapped	STR	Structural
CLG	Ceiling	HDR	Header	SS	Stainless Steel
CL	Closet	HM	Hollow Metal	SUSP	Suspended
CMU	Concrete Masonry Unit	HR	Hour	T/C	Top Of Concrete
COL	Column	HT	Height	TDS	Towel Dispenser
CONC	Concrete	HVAC	Heating, Ventilating & Air Conditioning	TEL	Telephone
CONN	Connection			T/S	Top Of Steel
CONTR	Contractor	IE	Invert Elevation	TLT	Toilet
CORR	Corridor	INSUL	Insulation	TYP	Typical
CRS	Course			T/W	Top Of Wall
CTR	Counter	LAV	Lavatory	UL	Underwriter's Laboratory
DS	Downspout	LL	Lower Level	UNO	Unless Noted Otherwise
DTL	Detail	MFG	Manufacturer	V.I.F.	Verify In Field
DWG	Drawing	MH	Manhole	W	With
		MO	Masonry Opening	WC	Water Closet
		MTD	Mounted	WM	Water Main
		MTG	Mounting	WWF	Welded Wire Fabric

SPA VERDANT

512 MAIN STREET
RACINE, WI 53403

DATE: 2025.10.30

STATE SUBMITTAL SET

Project No. 266524.01

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THE MAIN ATTRACTION, LLC

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AREA MAP



LOCATION MAP



266524.01
512 Main Street
Racine, Wisconsin 53403
DATE: October 30, 2025

T1.0

PROJECT

SPA VERDANT

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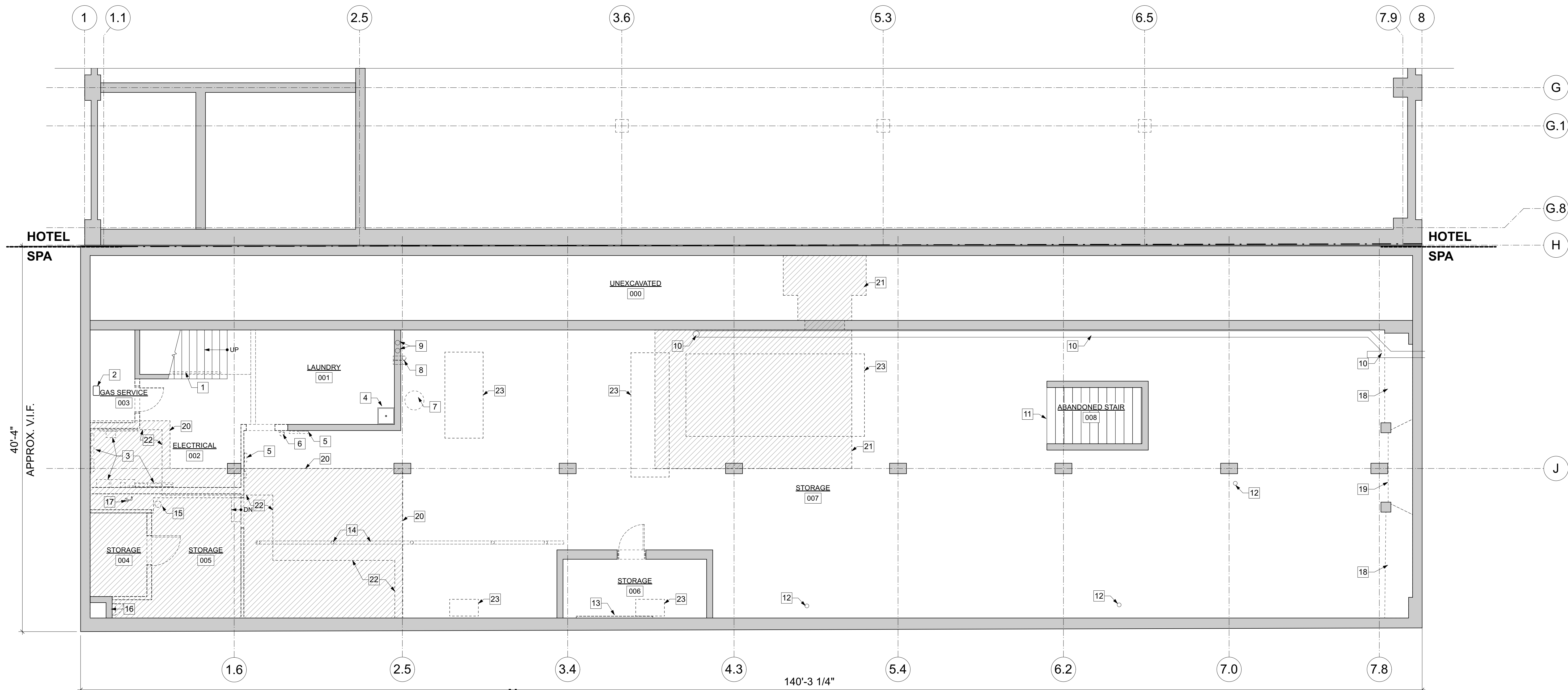
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1 BASEMENT FLOOR PLAN - DEMOLITION
AD1.0 SCALE: 3/16" = 1'-0"

GENERAL DEMOLITION NOTES:	DEMOLITION KEYED NOTES:	SYMBOL KEY
<p>A) THE MAJORITY OF DEMOLITION WORK WITHIN THE FIRST FLOOR HAS BEEN COMPLETED UNDER SEPARATE CONTRACT WITH THE OWNER. IT IS THE RESPONSIBILITY OF ALL PRIME CONTRACTORS (GENERAL, MECHANICAL, ELECTRICAL, PLUMBING), TO SURVEY THE REMAINING SITE CONDITIONS IN ORDER TO DETERMINE THE FULL EXTENT OF DEMOLITION WORK REQUIRED TO ACHIEVE THE FINAL DESIGN INTENT AND TO ASSIGN CONTRACTOR RESPONSIBILITY FOR ALL DEMOLITION WORK.</p> <p>B) UNLESS NOTED OTHERWISE, THE SCOPE OF DEMOLITION WORK WITHIN THE BASEMENT SHALL BE LIMITED TO ITEMS SPECIFICALLY IDENTIFIED BY DEMOLITION KEYED NOTES PLUS ALL OTHER DEMOLITION WORK NECESSARY TO ACCOMPLISH THE END CONDITION DESIGN INTENT, INCLUDING BUT NOT LIMITED TO: REMOVAL OF EXISTING CONCRETE FLOOR SLAB TO FACILITATE INSTALLATION OF FLOOR DRAINS AND PIPING, REMOVAL OF EXISTING PLASTER CEILINGS TO FACILITATE INSTALLATION OF MEP SYSTEMS ABOVE CEILINGS, ETC.</p> <p>C) WHERE DEMOLITION WOULD OTHERWISE LEAVE A "SCAR", CONTRACTOR SHALL PATCH ALL FINISHED SURFACES WHERE DEMOLITION WOULD OTHERWISE LEAVE A "SCAR" AND WHICH WILL REMAIN EXPOSED AT PROJECT COMPLETION. PATCH SHALL MATCH EXISTING FINISH UNLESS NOTED OTHERWISE.</p> <p>D) STRUCTURAL SUPPORT ELEMENTS SHALL NOT BE REMOVED UNLESS INDICATED TO BE REMOVED ON THE STRUCTURAL DRAWINGS.</p> <p>E) DRAWINGS DO NOT SHOW EXTENT OF SITE DEMOLITION / SITE RESTORATION REQUIRED TO EXECUTE SITE UTILITY WORK. CONTRACTOR IS RESPONSIBLE TO DETERMINE SCOPE OF WORK REQUIRED.</p>	<p>1 REMOVE PIPE RAILING, PATCH CONCRETE STAIR AND PREP TO RECEIVE NEW RAILING.</p> <p>2 REMOVE AND REPLACE EXISTING GAS SERVICE.</p> <p>3 REMOVE ELECTRICAL SERVICE PANELS, EQUIPMENT AND MOUNTING BOARDS.</p> <p>4 EXISTING LAUNDRY TUB AND ALL ASSOCIATED PLUMBING PIPING TO REMAIN.</p> <p>5 REMOVE DATA/COMMUNICATIONS/SECURITY AND/OR MUSIC SYSTEM EQUIPMENT AND ALL ASSOCIATED WIRING AND DEVICES.</p> <p>6 REMOVE AND RELOCATE EXISTING FIRE EXTINGUISHER. SEE BASEMENT FLOOR PLAN FOR NEW LOCATION.</p> <p>7 REMOVE ELECTRIC WATER HEATER AND ALL ASSOCIATED PLUMBING PIPING.</p> <p>8 DRYER VENT PIPING, REFER TO MECHANICAL DRAWINGS FOR SCOPE OF WORK.</p> <p>9 SANITARY WASTE AND VENT PIPING, REFER TO PLUMBING DRAWINGS FOR SCOPE OF WORK.</p> <p>10 STORM WATER PIPING SERVING ROOF DRAINS TO REMAIN, REFER TO PLUMBING DRAWINGS FOR SCOPE OF WORK.</p> <p>11 EXISTING ABANDONED STAIR TO REMAIN, INFILL OPENING IN FLOOR ABOVE.</p> <p>12 REMOVE PIPE PENETRATION THRU FLOOR, PATCH SLAB, REFER TO PLUMBING DRAWINGS FOR SCOPE OF WORK.</p> <p>13 REMOVE WOOD FURRING AND WALL PANELING.</p> <p>14 REMOVE STEEL PIPE COLUMNS AND WOOD BEAM.</p> <p>15 REMOVE FLOOR DRAIN, REFER TO PLUMBING DRAWINGS FOR SCOPE OF WORK.</p> <p>16 EXISTING MASONRY CHIMNEY TO REMAIN.</p>	<p>17 EXISTING WATER METER/SERVICE TO BE REMOVED. NEW WATER SERVICE TO BE INSTALLED AT NEW LOCATION. REFER TO PLUMBING DRAWINGS FOR SCOPE OF WORK.</p> <p>18 REMOVE WOOD FRAMING AND FLOOR DECK AT CEILING TO ALLOW EXTENSION OF FLOOR ABOVE.</p> <p>19 EXISTING CONCRETE STOOP ABOVE TO REMAIN.</p> <p>20 AREA OF FLOOR/CEILING/STRUCTURE ABOVE TO BE REMOVED TO FACILITATE CONSTRUCTION OF NEW RAMP, TUB AND COLD PLUNGE POOLS. REFER TO FIRST FLOOR DEMOLITION PLAN, CONSTRUCTION FLOOR PLANS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p>21 AREA OF FLOOR/CEILING/STRUCTURE ABOVE TO BE REMOVED TO FACILITATE CONSTRUCTION OF NEW RAMP. REFER TO FIRST FLOOR DEMOLITION PLAN, CONSTRUCTION FLOOR PLANS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p>22 REMOVE CONCRETE FLOOR SLAB BENEATH NEW POOLS (WITHIN NEW CMU WALLS - SEE BASEMENT FLOOR PLAN, AND STRUCTURAL DRAWINGS).</p> <p>23 REMOVE CONCRETE FLOOR SLAB TO FACILITATE CONSTRUCTION OF NEW CONCRETE FOOTINGS, SEE BASEMENT FLOOR PLAN AND STRUCTURAL DRAWINGS.</p>
		<p>EXISTING WALL</p> <p>DEMO WALL</p> <p>NEW WALL</p> <p>NEW OR EXISTING DOOR TO REMAIN</p> <p>DEMO DOOR</p> <p>000 DOOR TAG</p> <p>XXX ROOM NAME & NUMBER</p> <p>000</p> <p>8 STRUCTURAL GRID LINE</p> <p>0 A0.0 WALL OR BUILDING SECTION</p> <p>0 A0.0 WALL TYPE</p> <p>0 A0.0 INTERIOR ELEVATION TAG (SEE A7.0)</p> <p>1 WINDOW TAG</p> <p>1 GLASS ENCLOSURE TAG</p> <p>1 DEMOLITION KEYED NOTE</p> <p>1 NEW CONSTRUCTION KEYED NOTE</p>

REVISIONS

NO.	DATE	DESCRIPTION

DATE: 2025.10.30

PROJECT NUMBER: 266524.01

SHEET TITLE: BASEMENT FLOOR PLAN - DEMOLITION

SHEET NUMBER: AD1.0

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PROJECT

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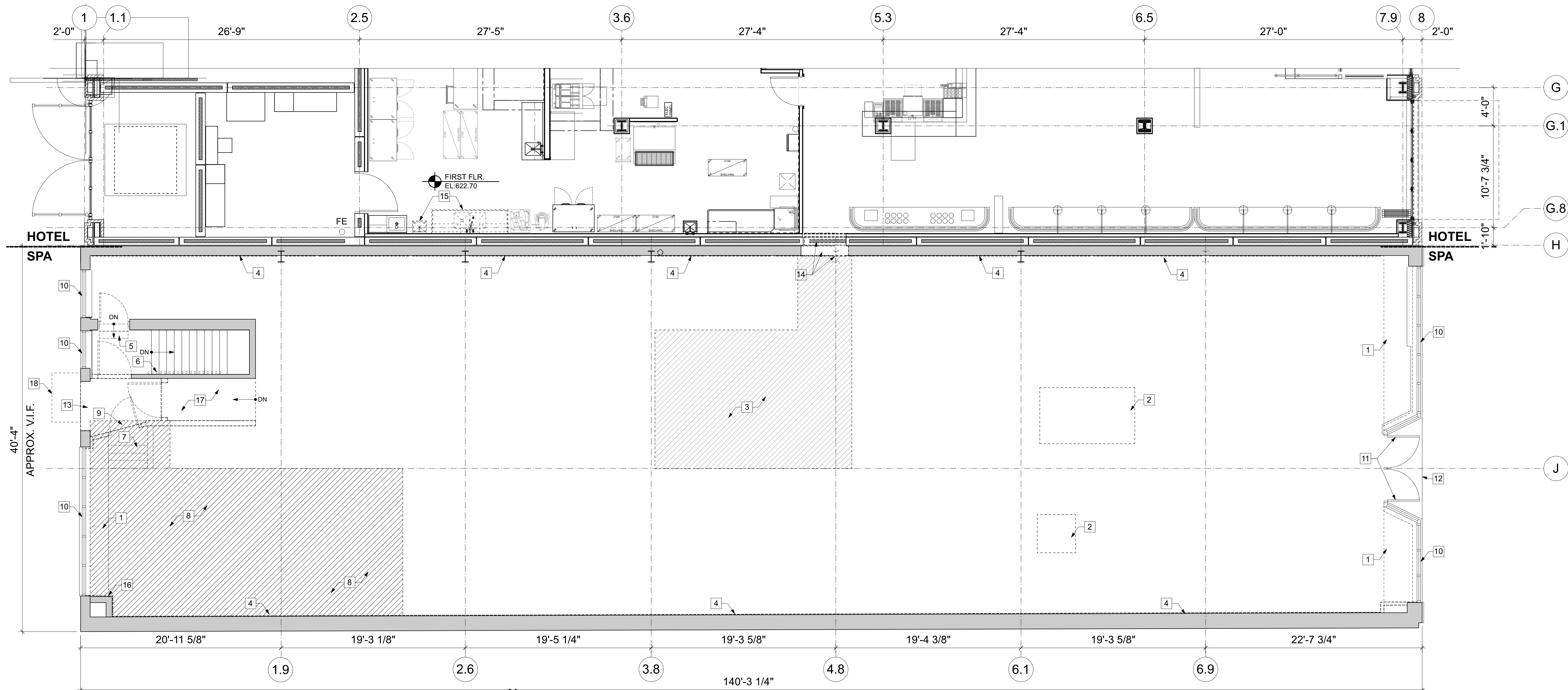
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1 FIRST FLOOR PLAN - DEMOLITION
AD1.1 SCALE: 3/16" = 1'-0"

GENERAL DEMOLITION NOTES:

A) THE MAJORITY OF DEMOLITION WORK WITHIN THE FIRST FLOOR HAS BEEN COMPLETED UNDER SEPARATE CONTRACT WITH THE OWNER. IT IS THE RESPONSIBILITY OF ALL PRIME CONTRACTORS (GENERAL, MECHANICAL, ELECTRICAL, PLUMBING), TO SURVEY THE REMAINING SITE CONDITIONS IN ORDER TO DETERMINE THE FULL EXTENT OF DEMOLITION WORK REQUIRED TO ACHIEVE THE FINAL DESIGN INTENT AND TO ASSIGN CONTRACTOR RESPONSIBILITY FOR ALL DEMOLITION WORK.

B) UNLESS NOTED OTHERWISE, THE SCOPE OF DEMOLITION WORK WITHIN THE BASEMENT SHALL BE LIMITED TO ITEMS SPECIFICALLY IDENTIFIED BY DEMOLITION KEYED NOTES PLUS ALL OTHER DEMOLITION WORK NECESSARY TO ACCOMPLISH THE END CONDITION DESIGN INTENT, INCLUDING BUT NOT LIMITED TO: REMOVAL OF EXISTING CONCRETE FLOOR SLAB TO FACILITATE INSTALLATION OF FLOOR DRAINS AND PIPING, REMOVAL OF EXISTING PLASTER CEILINGS TO FACILITATE INSTALLATION OF MEP SYSTEMS ABOVE CEILINGS, ETC.

C) WHERE DEMOLITION WOULD OTHERWISE LEAVE A "SCAR", CONTRACTOR SHALL PATCH ALL FINISHED SURFACES WHERE DEMOLITION WOULD OTHERWISE LEAVE A "SCAR" AND WHICH WILL REMAIN EXPOSED AT PROJECT COMPLETION. PATCH SHALL MATCH EXISTING FINISH UNLESS NOTED OTHERWISE.

D) STRUCTURAL SUPPORT ELEMENTS SHALL NOT BE REMOVED UNLESS INDICATED TO BE REMOVED ON THE STRUCTURAL DRAWINGS.

E) DRAWINGS DO NOT SHOW EXTENT OF SITE DEMOLITION / SITE RESTORATION REQUIRED TO EXECUTE SITE UTILITY WORK. CONTRACTOR IS RESPONSIBLE TO DETERMINE SCOPE OF WORK REQUIRED.

DEMOLITION KEYED NOTES:

1 REMOVE RAISED PLATFORM AT WINDOW SILL. SEE STRUCTURAL DRAWINGS FOR REFRAMING AND INFILL OF OPENINGS.

2 INFILL OPENING IN FLOOR. SEE STRUCTURAL DRAWINGS. FILL ALSO MISCELLANEOUS SMALL OPENINGS IN FLOOR LOCATED THROUGHOUT, FIELD VERIFY LOCATIONS.

3 REMOVE CONCRETE SUBFLOOR AND FLOOR FRAMING IN AREA OF NEW RAMP. (REFER TO CONSTRUCTION FLOOR PLAN AND STRUCTURAL DRAWINGS TO DETERMINE EXTENTS OF REMOVAL REQUIRED).

4 REMOVE ALL REMAINING GYPSUM BOARD, WALL FURRING, AND/OR PLASTER DOWN TO MASONRY SUBSTRATE. APPLIES THROUGHOUT ENTIRE WORK AREA. PLASTER APPLIED DIRECTLY TO THE MASONRY SUBSTRATE MAY REMAIN, ONLY TO THE EXTENT WHERE IT DOES NOT IMPACT DESIGN INTENT OF NEW CONSTRUCTION.

5 REMOVE CONCRETE STEPS, DOOR AND DOOR FRAME. PATCH LANDING AND INFILL DOOR OPENING.

6 REMOVE PIPE RAILING, PATCH CONCRETE STAIR AND PREP TO RECEIVE NEW RAILING.

7 REMOVE CONCRETE STAIRS.

8 REMOVE WOOD FLOORING, SUBSTRATE AND FLOOR FRAMING IN AREA OF NEW HOT TUB AND COLD PLUNGE POOL. (REFER TO CONSTRUCTION FLOOR PLAN AND STRUCTURAL DRAWINGS TO DETERMINE EXTENTS OF REMOVAL REQUIRED).

9 REMOVE ALUMINUM ENTRANCE DOOR, FRAME, AND HARDWARE, INCLUDING HEADER AND TRANSOM WINDOW ABOVE. SALVAGE AND REINSTALL AT WEST EXTERIOR ENTRY. (REFER TO CONSTRUCTION FLOOR PLAN).

10 EXISTING ALUMINUM STOREFRONT WINDOWS TO REMAIN. REMOVE WINDOW TREATMENTS AND/OR APPLIED FILMS WHERE PRESENT. INSPECT ALL FRAMES AND GLAZING SEALS. REPAIR FRAMES AND REPLACE SEALS AS NEEDED. REMOVE AND REPLACE ALL PERIMETER SEALANT JOINTS.

11 EXISTING ALUMINUM STOREFRONT DOORS TO REMAIN. REMOVE AND REPLACE HARDWARE, INCLUDING PUSH/PULLS, CLOSERS, KEYS, CYLINDERS, THRESHOLD, WEATHER STRIPPING AND SWEEPS. DOOR HINGES TO REMAIN.

12 EXISTING CONCRETE SLAB TO REMAIN. REPLACE PERIMETER SEALANT JOINT.

13 EXISTING CONCRETE SLAB TO REMAIN. GRIND SURFACE DOWN TO ACHIEVE LEVEL POLISHED CONCRETE SURFACE AT NEW ENTRY.

14 REMOVE EXISTING EXTERIOR MASONRY WALL, BOTTOM SECTION OF EXISTING STEEL COLUMN AND PRECAST CONCRETE WALL PANEL OF HOTEL, TO PROVIDE NEW DOOR OPENING INTO EXISTING HOTEL KITCHEN. (REFER TO NEW CONSTRUCTION FLOOR PLAN, PRECAST PANEL DRAWINGS AND STRUCTURAL DRAWINGS).

15 REMOVE KITCHEN EQUIPMENT CONFLICTING WITH NEW DOOR OPENING INTO SPA. (REFER TO KITCHEN CONSULTANT DRAWINGS).

16 EXISTING MASONRY CHIMNEY TO REMAIN.

17 EXISTING CONCRETE RAMP TO REMAIN. FORM AND POUR NEW CONCRETE STEPS AND LANDING ON TOP OF EXISTING RAMP.

18 REMOVE EXISTING CONCRETE SIDEWALK TO FACILITATE CONSTRUCTION ON NEW FROST WALLS AND CONCRETE STOOP.

SYMBOL KEY

	EXISTING WALL
	DEMO WALL
	NEW WALL
	NEW OR EXISTING DOOR TO REMAIN
	DEMO DOOR
	DOOR TAG
	ROOM NAME & NUMBER
	STRUCTURAL GRID LINE
	WALL OR BUILDING SECTION
	WALL TYPE
	INTERIOR ELEVATION TAG (SEE A7.0)
	WINDOW TAG
	GLASS ENCLOSURE TAG
	DEMOLITION KEYED NOTE
	NEW CONSTRUCTION KEYED NOTE

REVISIONS

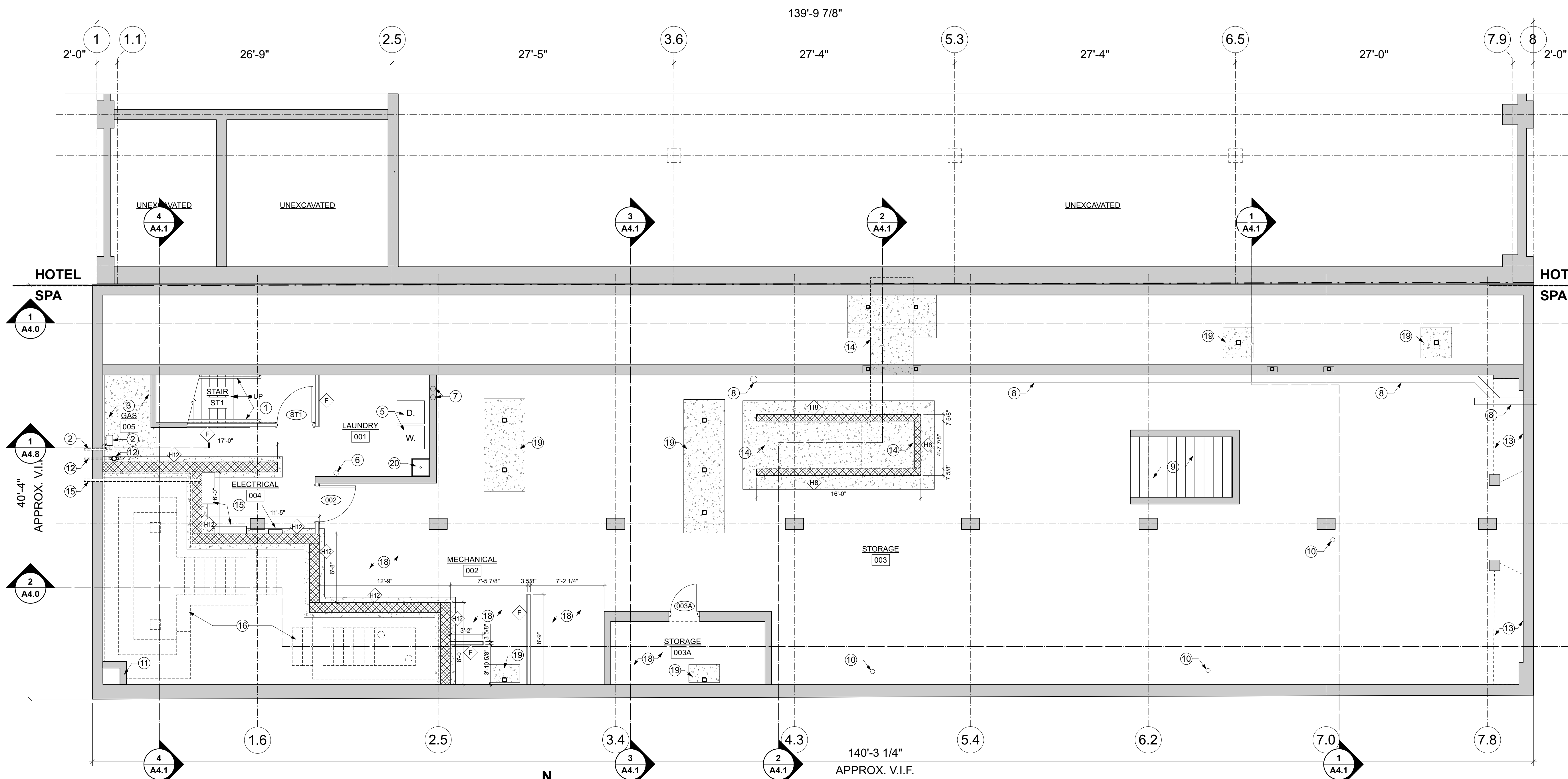
DATE
2025.10.30

PROJECT NUMBER
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SHEET TITLE

FIRST FLOOR PLAN - DEMOLITION

SHEET NUMBER
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1 BASEMENT FLOOR PLAN
A1.0 SCALE: 3/16" = 1'-0"

GENERAL CONSTRUCTION NOTES:	CONSTRUCTION KEYED NOTES:	SYMBOL KEY
<p>A) IT IS THE RESPONSIBILITY OF ALL PRIME CONTRACTORS (GENERAL, MECHANICAL, ELECTRICAL, PLUMBING), TO SURVEY EXISTING SITE CONDITIONS IN ORDER TO DETERMINE THE FULL EXTENT OF NEW CONSTRUCTION WORK REQUIRED TO ACHIEVE THE FINAL DESIGN INTENT.</p> <p>B) SPA EQUIPMENT, GENERAL CONTRACTOR AND MEP DESIGN/BUILD CONTRACTORS ARE RESPONSIBLE FOR FURNISHING AND MAKING FINAL CONNECTIONS OF MEP SYSTEM COMPONENTS. SERVING AND REQUIRED BY ALL SPA EQUIPMENT FURNISHED BY OTHERS. GENERAL CONTRACTOR AND MEP DESIGN/BUILD CONTRACTORS SHALL REVIEW SPA EQUIPMENT PRODUCT DATA AND INSTALLATION INSTRUCTIONS AND FULLY PREP SITE FOR INSTALLATION.</p>	<p>1 FURNISH AND INSTALL NEW 1 1/2" DIA. SCHEDULE 40 STEEL PIPE HANDRAIL, BOTH SIDES OF STAIR. MOUNT HANDRAIL 34" ABOVE STAIR NOSINGS. PROVIDE 1'-0" HANDRAIL EXTENSIONS AT TOP AND BOTTOM OF STAIR WITH RADIUS RETURNS TO SIDE WALLS. PROVIDE SUPPORT BRACKETS 4'-0" O.C. MAX., WITH ADEQUATE BLOCKING. PAINT ALL HANDRAIL COMPONENTS.</p> <p>2 NEW GAS SERVICE.</p> <p>3 PROVIDE NEW 4" THICK REINFORCED CONCRETE FLOOR SLAB ON COMPACTED GRANULAR FILL WITHIN GAS METER ROOM. (NO SLAB CURRENTLY EXISTS). REFER TO STRUCTURAL DRAWINGS AND SPECS FOR SLAB REQUIREMENTS.</p> <p>4 PROVIDE NEW ELECTRICAL SERVICE AND DISTRIBUTION PANELS. NEW SERVICE PANEL TO BE INSTALLED AT THE START OF CONSTRUCTION IN ORDER TO ALLOW CONSTRUCTION OF NEW WHIRLPOOL AND ASSOCIATED FOUNDATION WALLS.</p> <p>5 FURNISH AND INSTALL NEW RESIDENTIAL WASHER AND DRYER. EXISTING LAUNDRY TUB AND ALL ASSOCIATED PLUMBING PIPING TO REMAIN. VENT DRYER THROUGH ROOF.</p> <p>6 REINSTALL EXISTING FIRE EXTINGUISHER.</p> <p>7 SANITARY WASTE AND VENT PIPING. REFER TO PLUMBING DRAWINGS FOR SCOPE OF WORK.</p> <p>8 STORM WATER PIPING SERVING ROOF DRAINS. REFER TO PLUMBING DRAWINGS FOR SCOPE OF WORK.</p> <p>9 EXISTING ABANDONED STAIR TO REMAIN. INFILL OPENING IN FLOOR ABOVE.</p> <p>10 REMOVE PIPE PENETRATION THRU FLOOR. PATCH SLAB. REFER TO PLUMBING DRAWINGS FOR SCOPE OF WORK.</p> <p>11 EXISTING MASONRY CHIMNEY TO REMAIN. INFILL OPENINGS INTO CHIMNEY.</p>	<p>EXISTING WALL</p> <p>DEMO WALL</p> <p>NEW WALL</p> <p>NEW OR EXISTING DOOR TO REMAIN</p> <p>DEMO DOOR</p> <p>DOOR TAG</p> <p>ROOM NAME & NUMBER</p> <p>STRUCTURAL GRID LINE</p> <p>WALL OR BUILDING SECTION</p> <p>WALL TYPE</p> <p>INTERIOR ELEVATION TAG (SEE A7.0)</p> <p>WINDOW TAG</p> <p>GLASS ENCLOSURE TAG</p> <p>DEMOLITION KEYED NOTE</p> <p>NEW CONSTRUCTION KEYED NOTE</p>

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BASEMENT FLOOR PLAN

SHEET NUMBER

A1.0

SPA VERDANT

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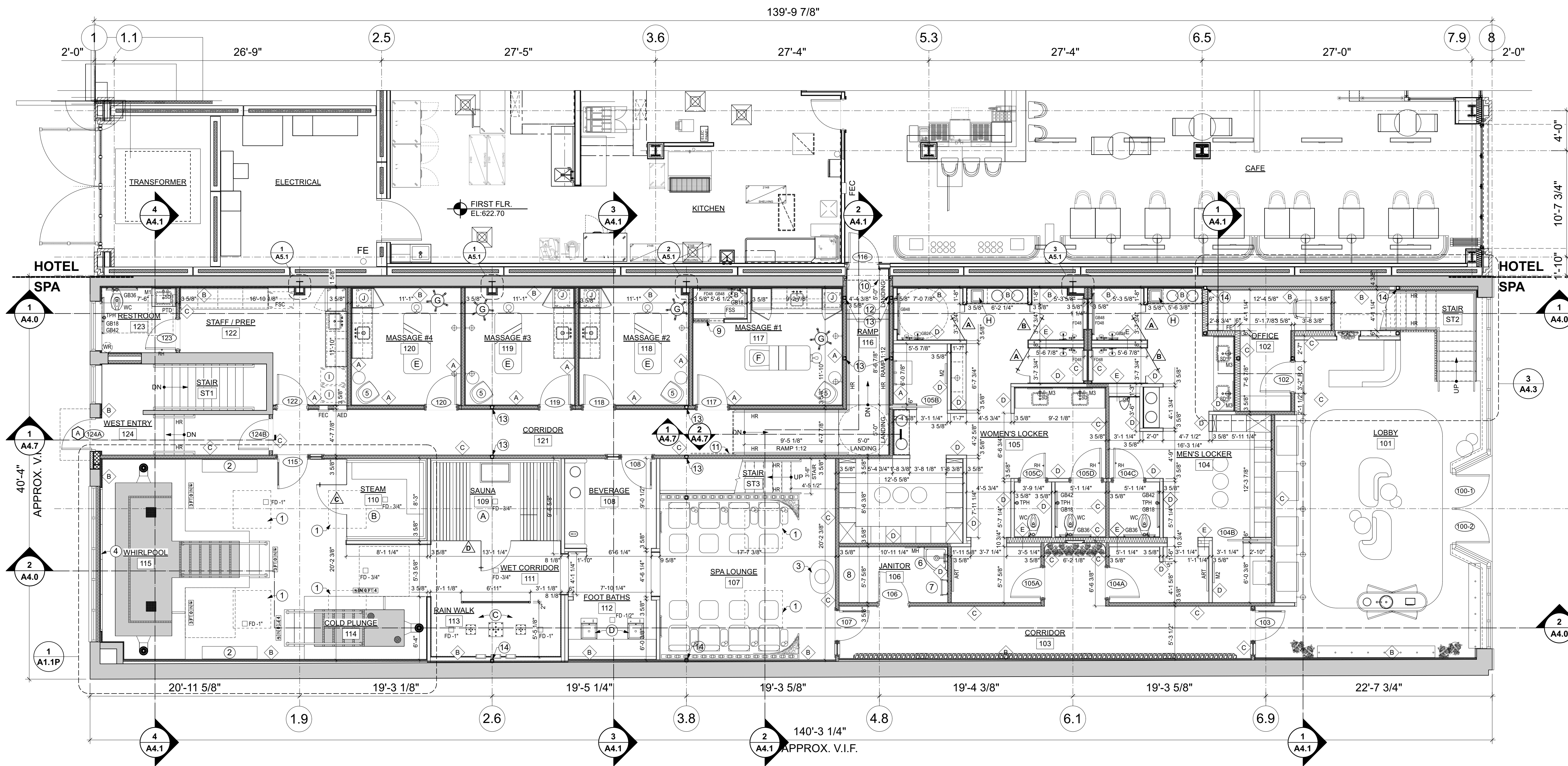
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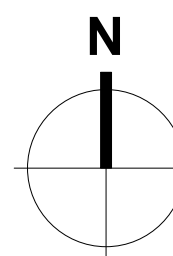
OAKHILL ENGINEERING LLC

75 Oak Hill Avenue, 2nd Floor
Seekonk, MA 02771
p. 401.574.0871



1 FIRST FLOOR PLAN

A1.1 SCALE: 3/16" = 1'-0"



GENERAL CONSTRUCTION NOTES:

- IT IS THE RESPONSIBILITY OF ALL PRIME CONTRACTORS (GENERAL, MECHANICAL, ELECTRICAL, PLUMBING), TO SURVEY EXISTING SITE CONDITIONS IN ORDER TO DETERMINE THE FULL EXTENT OF NEW CONSTRUCTION WORK REQUIRED TO ACHIEVE THE FINAL DESIGN INTENT.
- SPA EQUIPMENT: GENERAL CONTRACTOR AND MEP DESIGN/BUILD CONTRACTORS ARE RESPONSIBLE FOR FURNISHING AND MAKING FINAL CONNECTIONS OF MEP SYSTEM COMPONENTS SERVING AND REQUIRED BY ALL SPA EQUIPMENT FURNISHED BY OTHERS. GENERAL CONTRACTOR AND MEP DESIGN/BUILD CONTRACTORS SHALL REVIEW SPA EQUIPMENT PRODUCT DATA AND INSTALLATION INSTRUCTIONS AND FULLY PREP SITE FOR INSTALLATION.

CONSTRUCTION KEYED NOTES:

- SKYLIGHT ABOVE.
- BENCH - FFE
- GAS FIREPLACE VENTED THRU ROOF.
- VIDEO DISPLAY WALL
- CHAIR AND SIDE TABLE - FFE
- UTILITY SINK AND FAUCET. PROVIDE WHITE FIBERGLASS PANEL LINER, 36"W x 48"H AT BACK AND SIDE WALLS.
- ROOF ACCESS LADDER. DESIGNATED DESIGN. SUBMIT SHOP DRAWINGS FOR APPROVAL.
- 24" D. X 60" W. 96" H. NSF CHROME STATIONARY WIRE SHELVING W/ 6 SHELVES
- SHOWER ROD AND CURTAIN - REFER TO INTERIOR DESIGN DRAWINGS
- 1 HOUR FIRE SHUTTER
- GATE - AUTOMATIC CLOSING UPON ACTIVATION OF FIRE SHUTTER
- AUTOMATIC DOOR OPERATOR PUSH PLATE, KEY CARD ACTIVATED.
- STRUCTURAL STEEL COLUMN CONCEALED IN WALL. CENTER COLUMN ON STEEL STUD. REDUCE THICKNESS OF GYPSUM WALL BOARD TO BYPASS COLUMN.
- STRUCTURAL STEEL COLUMN CONCEALED IN WALL. HOLD COLUMN AS TIGHT AS POSSIBLE TO EXISTING WALL.

SPA EQUIPMENT KEY:

- (A) CUSTOM SAUNA ROOM PACKAGE
- (B) CUSTOM STEAM ROOM PACKAGE W/ STEAM ROOM SHOWER KIT
- (C) SHOWER TUNNEL SYSTEM
- (D) FOOTBATH SYSTEM
- (E) SPA TREATMENT TABLE
- (F) CONVERTIBLE TREATMENT TABLE
- (G) MESSAGE STOOL
- (H) SWIMSUIT WATER EXTRACTOR
- (I) LAUNDRY CART
- (J) ELEMENT TROLLEY

ACCESSORIES KEY:

- AED / AED CABINET
- ARTWORK
- EXPANSION JOINT - CEILING
- EXPANSION JOINT - FLOOR
- EXPANSION JOINT - WALL
- FIRE EXTINGUISHER
- FIRE EXTINGUISHER CABINET
- FOOD SERVICE CART
- FOLDING SHOWER SEAT
- 12" GRAB BAR
- 18" GRAB BAR
- 24" GRAB BAR
- 36" GRAB BAR
- 42" GRAB BAR
- 48" GRAB BAR
- HANDRAIL
- MIRROR 1
- MIRROR 2
- MIRROR 3
- MIRROR 4
- MOP HOLDER
- PAPER TOWEL DISPENSER
- ROBE HOOK
- TOILET PAPER HOLDER
- SOAP DISPENSER
- SHOWER SEAT
- WASTE RECEPTACLE

NOTES:
ALL ACCESSORIES ARE FURNISHED AND INSTALLED BY GC. UNLESS NOTED OTHERWISE.

(BA-#) - REFER TO PLUMBING ACCESSORIES SCHEDULE ON ID DRAWINGS FOR PRODUCT SPECIFICATION
(SEP) - FURNISHED BY SPA EQUIPMENT PACKAGE, INSTALLED BY GC

SYMBOL KEY

- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW OR EXISTING DOOR TO REMAIN
- DEMO DOOR
- DOOR TAG
- ROOM NAME & NUMBER
- STRUCTURAL GRID LINE
- WALL OR BUILDING SECTION
- WALL TYPE
- INTERIOR ELEVATION TAG (SEE A7.0)
- WINDOW TAG
- GLASS ENCLOSURE TAG
- DEMOLITION KEYED NOTE
- NEW CONSTRUCTION KEYED NOTE

REVISIONS

NO.	DESCRIPTION

DATE

2025.10.30

PROJECT NUMBER

266524.01

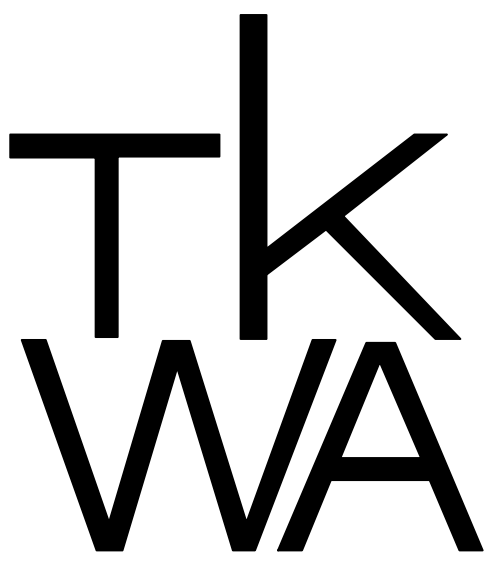
SHEET TITLE

FIRST FLOOR PLAN

FIRST FLOOR PLAN

SHEET NUMBER

A1.1



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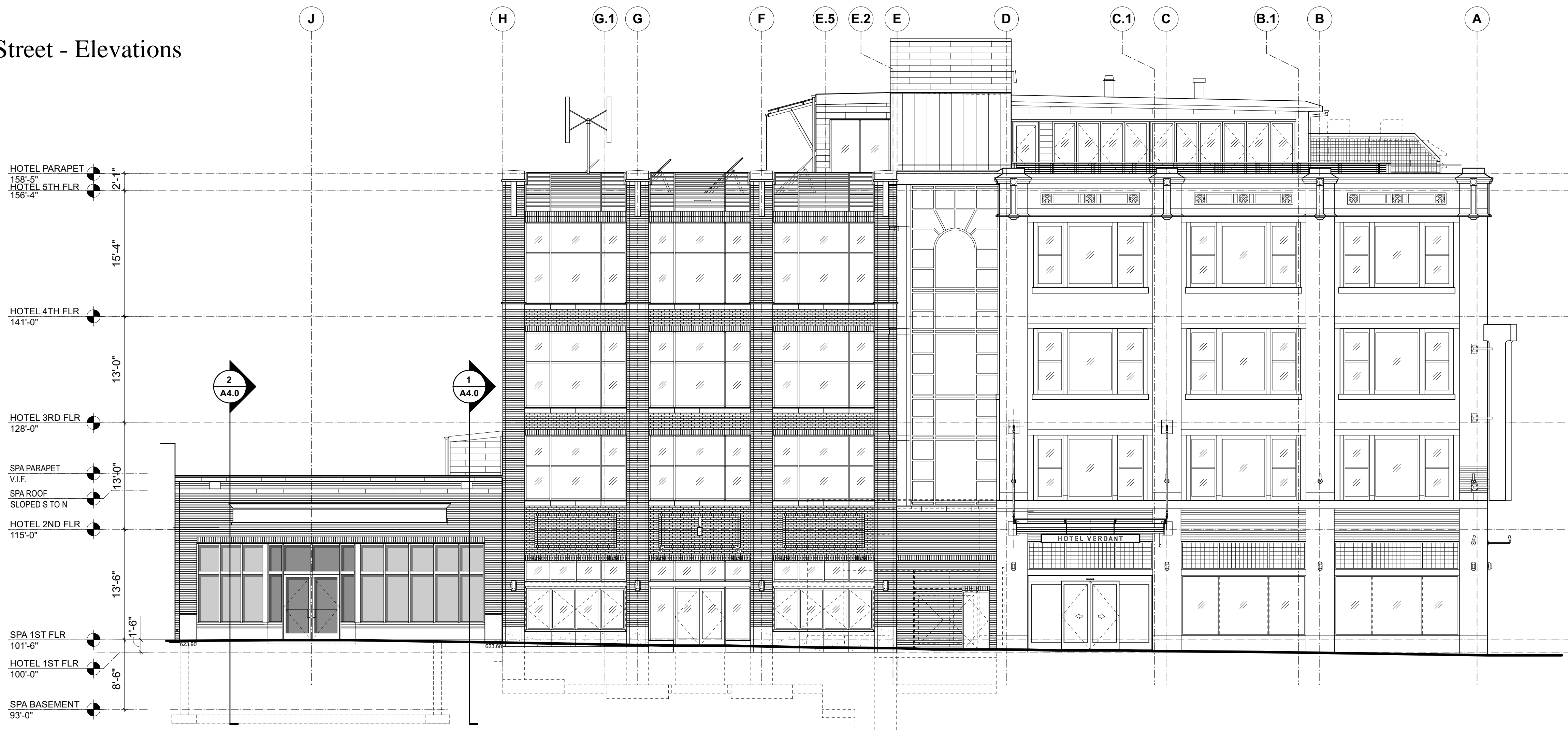
SHEET TITLE

**Exterior
 Elevations -
 Overall**

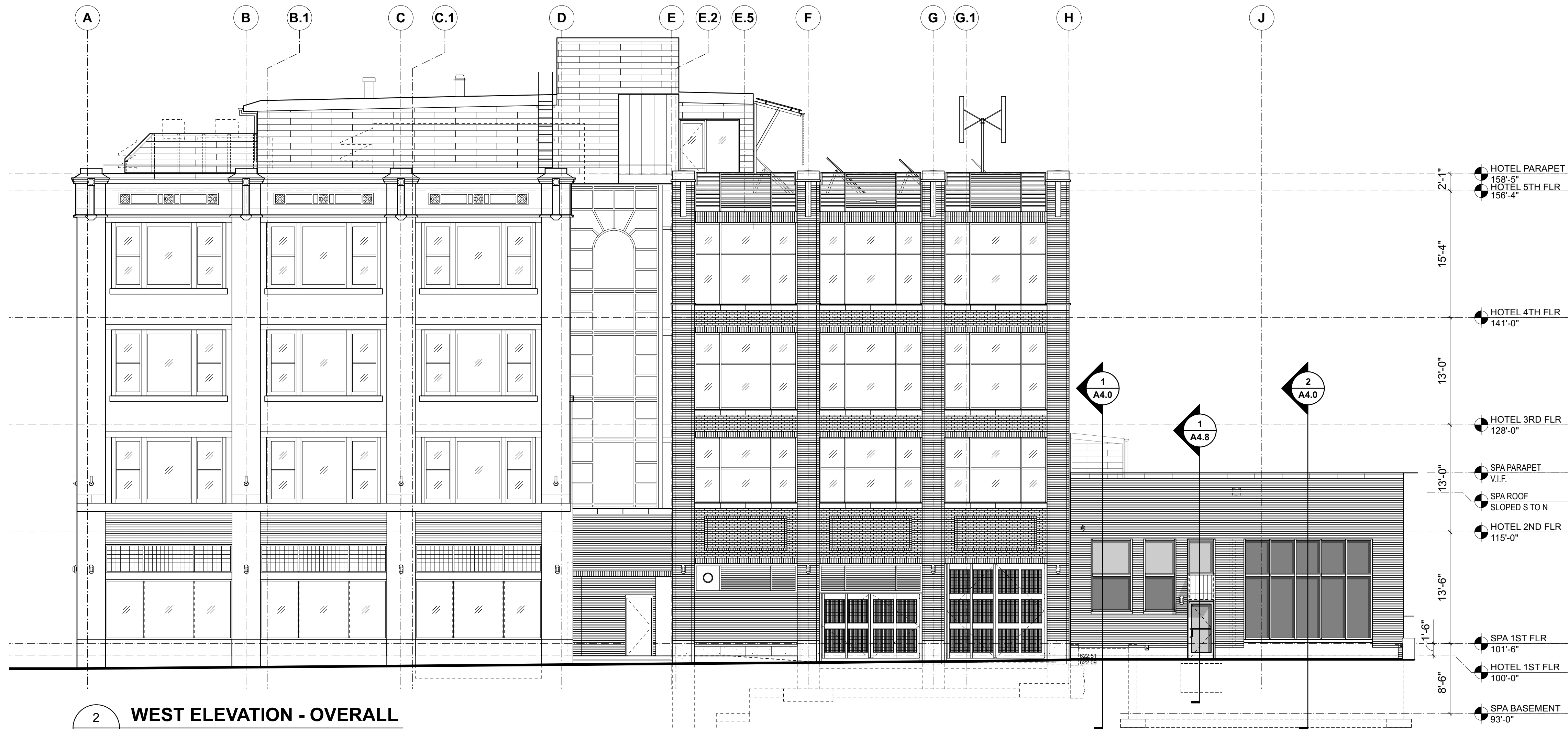
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A3.0

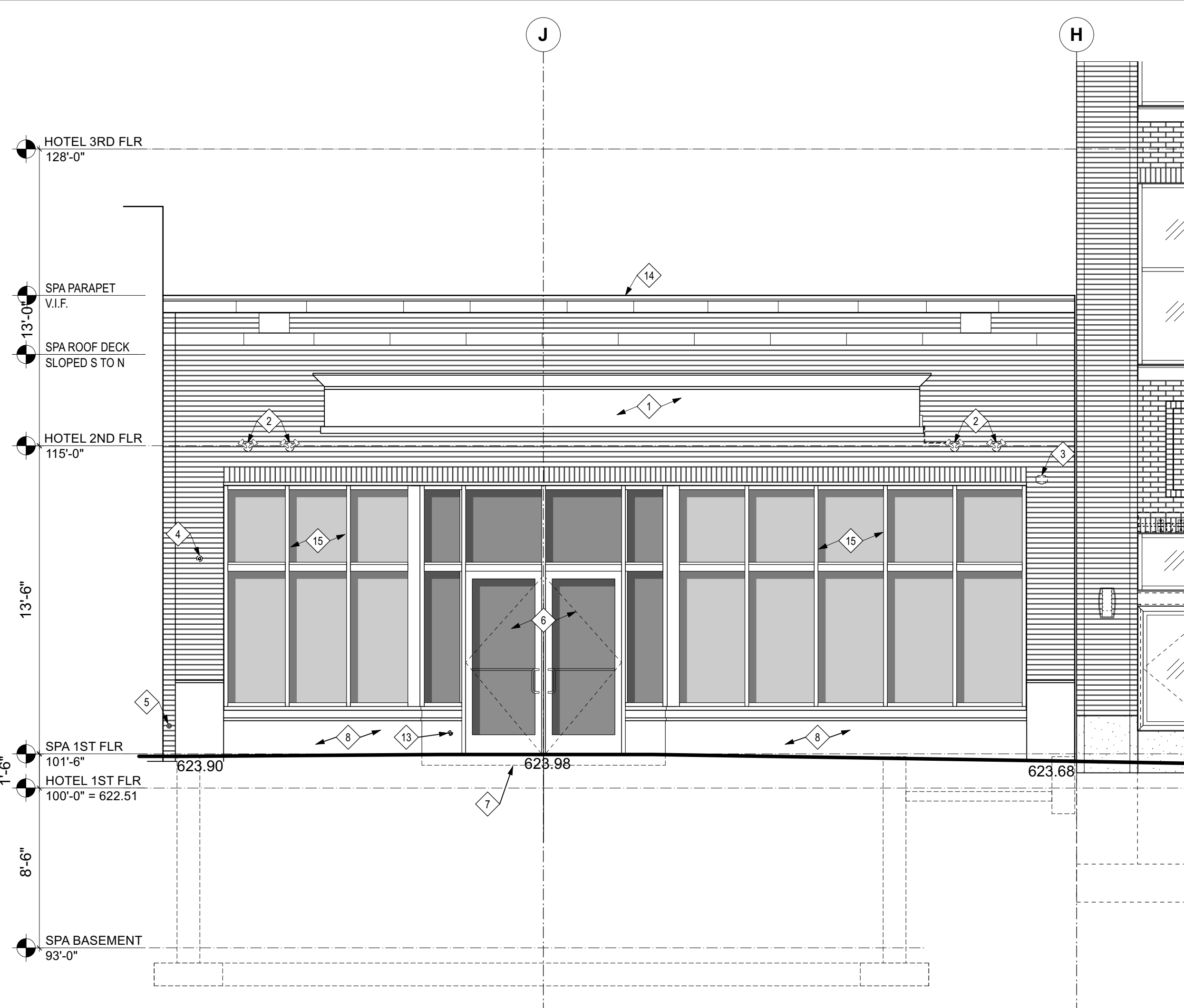
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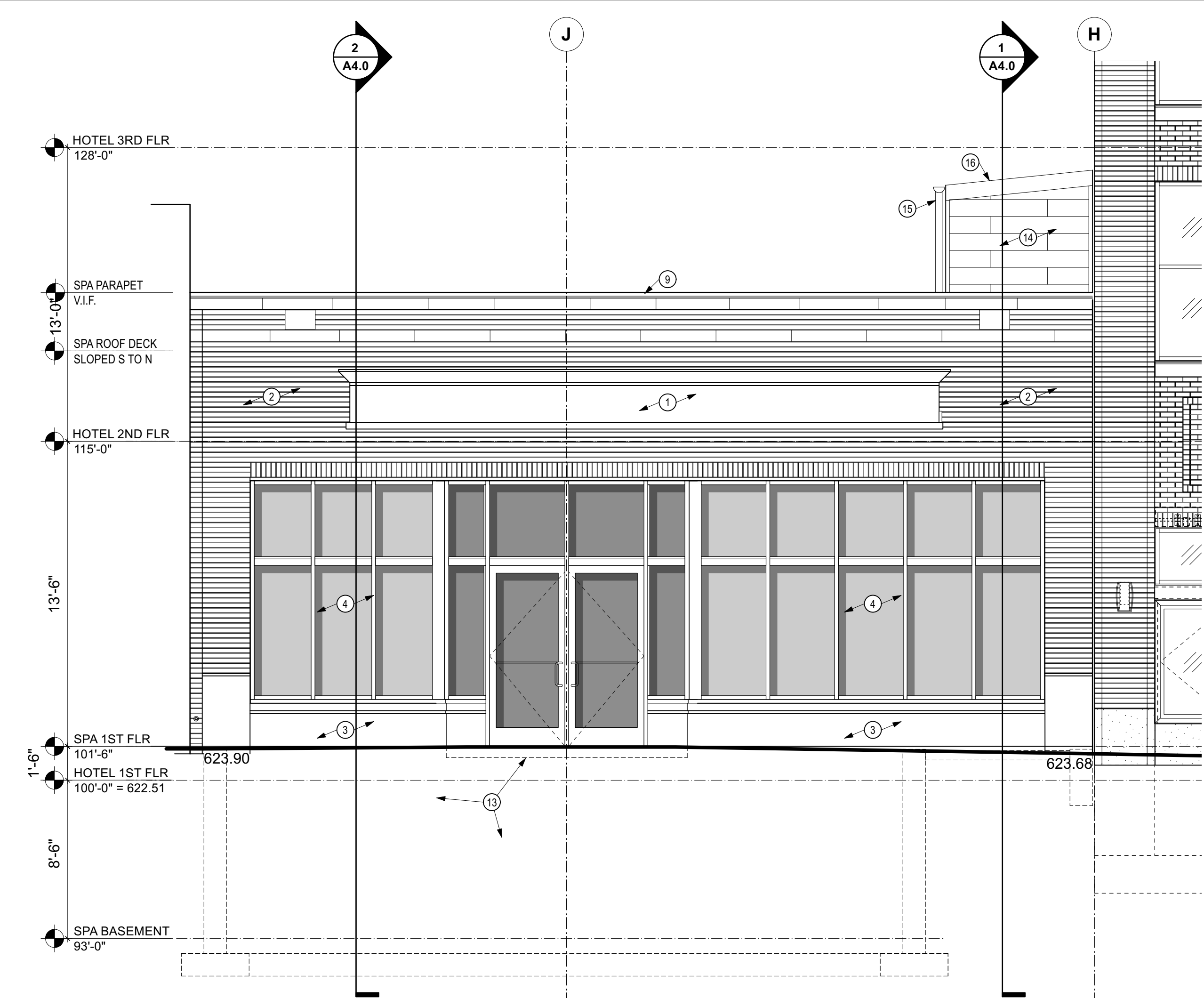
1 EAST ELEVATION - OVERALL
 A3.0 SCALE: 1/8" = 1'-0"



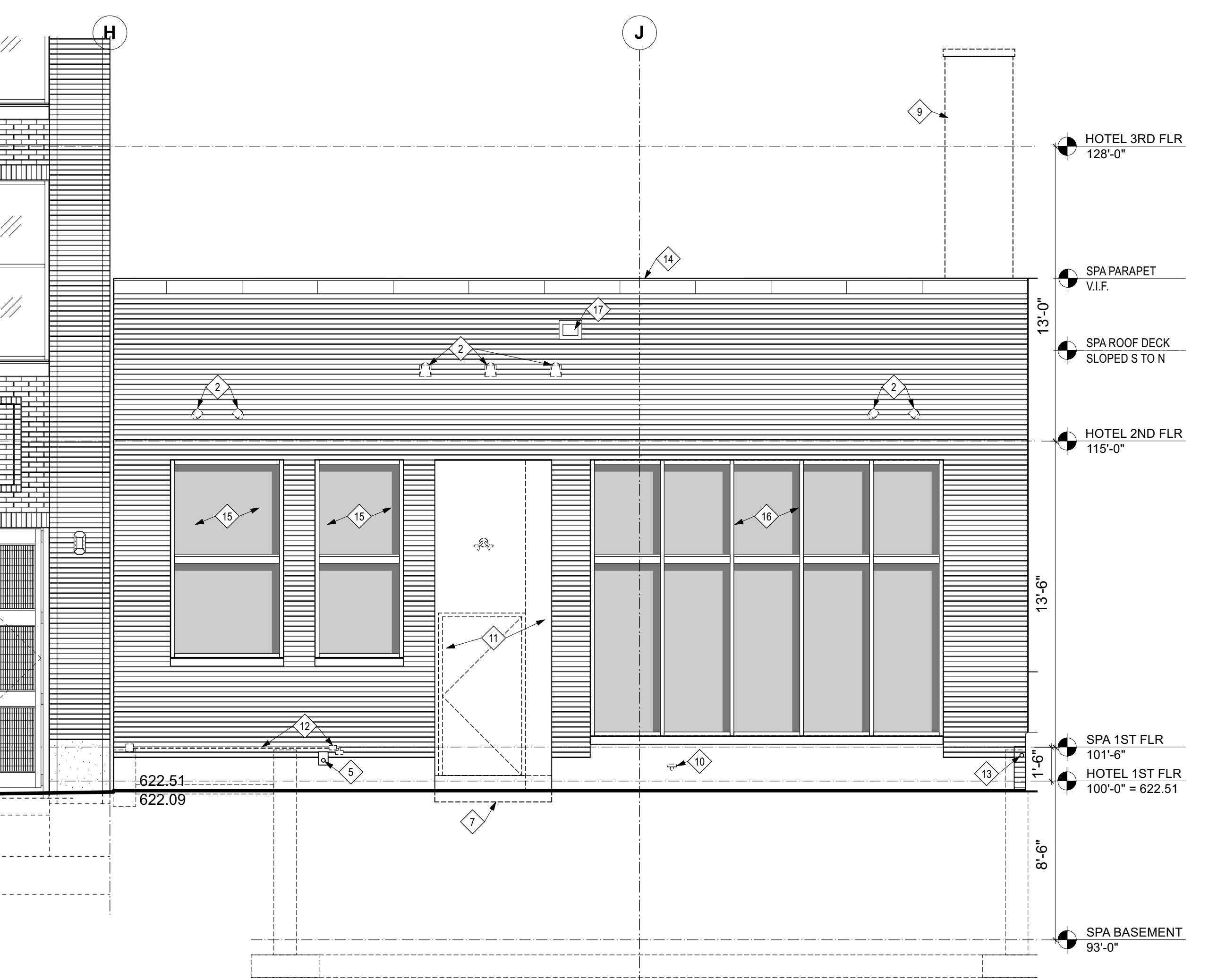
2 WEST ELEVATION - OVERALL
 A3.0 SCALE: 1/8" = 1'-0"



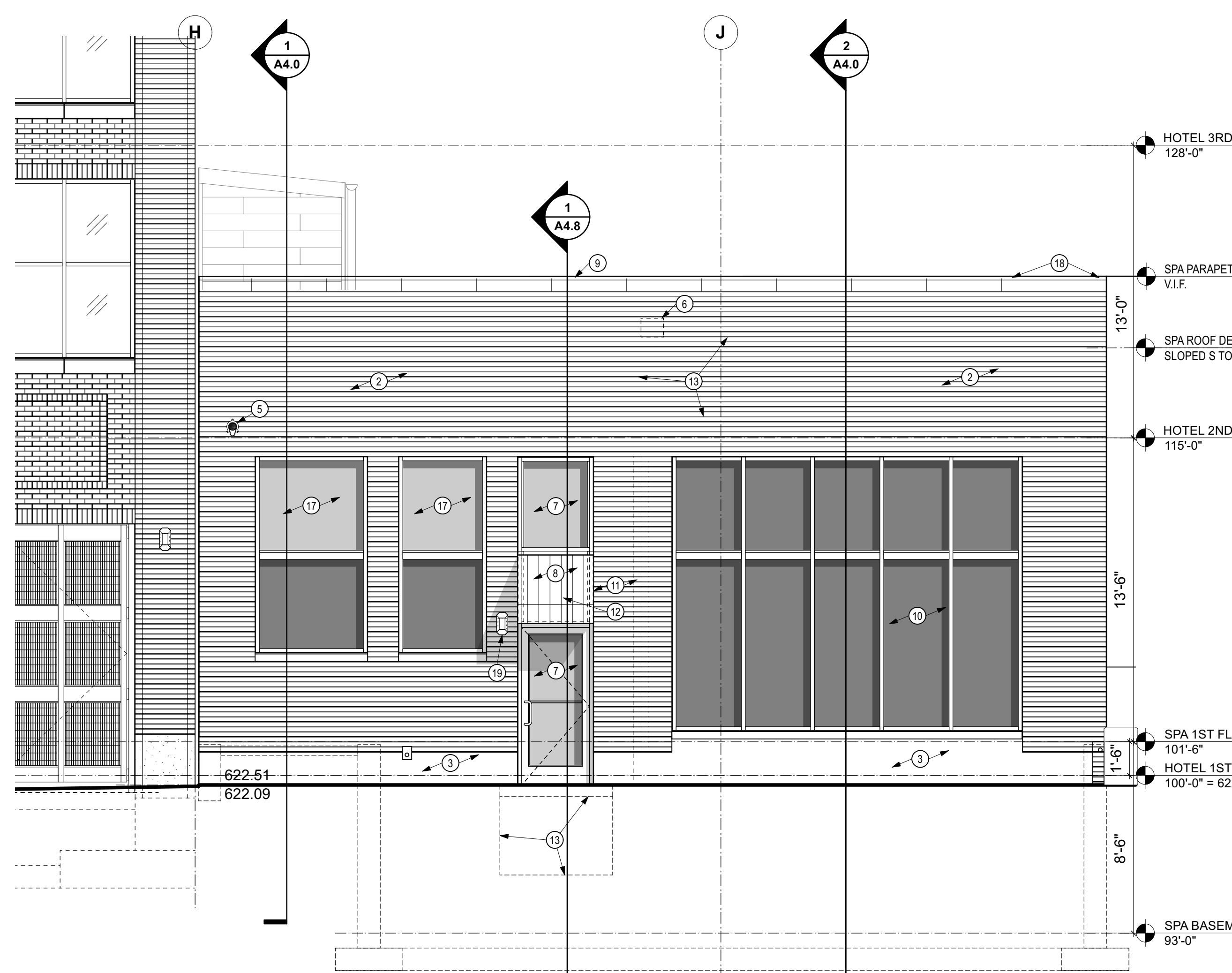
1 EAST ELEVATION - DEMOLITION
A3.1 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION - NEW CONSTRUCTION
A3.1 SCALE: 1/4" = 1'-0"



3 WEST ELEVATION - DEMOLITION
A3.1 SCALE: 1/4" = 1'-0"



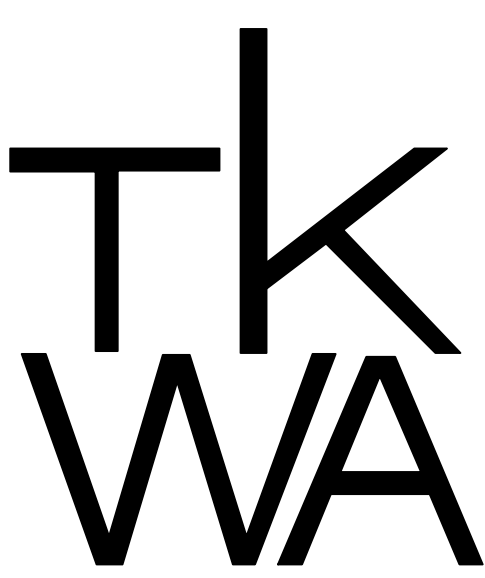
4 WEST ELEVATION - NEW CONSTRUCTION
A3.1 SCALE: 1/4" = 1'-0"

ELEVATION KEYED NOTES - DEMOLITION:

- 1 EXISTING POWERED SIGN PANEL TO REMAIN.
- 2 REMOVE LIGHT FIXTURES.
- 3 REMOVE SECURITY CAMERA.
- 4 REMOVE FLAGPOLE SUPPORT BRACKET.
- 5 EXISTING HOSE BIBB TO REMAIN. REPAIR AS REQUIRED.
- 6 EXISTING RECESSED ALUMINUM ENTRANCE DOORS, SIDELIGHTS, TRANSOM WINDOWS TO REMAIN. REMOVE APPLIED FILMS AT TRANSOM WINDOWS. PATCH AND REPAIR INTERIOR SIDE OF ALUMINUM FRAMING MEMBERS DUE TO DEMOLITION OF INTERIOR VESTIBULE. REMOVE AND REPLACE WEATHERSTRIPPING AND SWEEPS AT DOORS.
- 7 EXISTING CONCRETE BASE WALL AT RECESSED ENTRANCE TO REMAIN. REMOVE AND REPLACE PERIMETER SEALANT JOINTS.
- 8 EXISTING CONCRETE BASE WALL TO REMAIN. PATCH CRACKS IN WALL BY INJECTING SIKAFLEX CRACK FLEX SEALANT, OR APPROVED EQUAL. (FIELD INSPECT WALL TO DETERMINE EXTENT OF CRACK REPAIR NEEDED). PREP WALL FOR NEW WATERPROOF COATING. REMOVE AND REPLACE SEALANT JOINT AT BASE OF WALL.
- 9 REMOVE MASONRY CHIMNEY DOWN TO LEVEL OF EXISTING METAL COPING.
- 10 REMOVE PIPE PENETRATION THROUGH FOUNDATION WALL.
- 11 REMOVE EXTERIOR DOORS AND WALLS WITHIN ALCOVE.
- 12 REMOVE SURFACE MOUNTED ELECTRICAL BOXES AND CONDUIT.
- 13 REMOVE HOSE BIBB.
- 14 EXISTING METAL COPING AT EAST AND WEST PARAPET WALLS TO REMAIN. CLEAN AND PREP FOR REPAINTING.
- 15 ALUMINUM WINDOW TO REMAIN. REMOVE APPLIED FILMS AND/OR WINDOW TREATMENTS AT TRANSOM WINDOWS.
- 16 EXISTING ALUMINUM WINDOW FRAMING AND GLASS TO REMAIN. INSPECT SEALS AND REPLACE AS NECESSARY. REMOVE AND REPLACE INTERIOR AND EXTERIOR PERIMETER SEALANT JOINTS.
- 17 REMOVE THRU WALL SCUPPER, PATCH BRICK MASONRY.

ELEVATION KEYED NOTES - NEW CONSTRUCTION:

- 1 EXISTING POWERED SIGN PANEL TO REMAIN. NEW SIGNAGE BY OWNER'S SEPARATE CONTRACTOR, NOT IN PROJECT SCOPE.
- 2 PREP AND PAINT EXTERIOR MASONRY (ABOVE CONCRETE BASE).
- 3 GRIND, PARGE AND PAINT EXISTING CONCRETE BASE USING MODAC F-100 SOLVENT ACRYLIC EXTERIOR WATERPROOF COATING. MATCH CUSTOM COLOR USED BELOW FIRST FLOOR WINDOWS OF HOTEL VERDANT ORIGINAL BUILDING.
- 4 CLEAN EXISTING ALUMINUM WINDOW FRAMES AND GLASS. INSPECT SEALS AND REPLACE AS NECESSARY. REMOVE AND REPLACE INTERIOR AND EXTERIOR PERIMETER SEALANT JOINTS. PREP AND REPAINT FRAMES, MATTE BLACK.
- 5 ROOF DRAIN OVERFLOW, JAY R. SMITH MFG. CO., CAST BRONZE NOZZLE AND FLANGE W/ BIRD SCREEN, NPT THREADED, SIZE TO MATCH ROOF DRAIN LEADER.
- 6 PATCH BRICK MASONRY WHERE EXISTING SCUPPER REMOVED.
- 7 NEW ALUMINUM ENTRANCE DOOR AND TRANSOMS ABOVE. MATCH APPEARANCE OF REPAINTED EXISTING ALUMINUM FRAMING AND INSULATED VISION GLASS.
- 8 NEW FIXED FABRIC AWNING.
- 9 CLEAN AND REPAINT EXISTING METAL COPING.
- 10 EXISTING ALUMINUM WINDOW FRAMING AND GLASS TO REMAIN. INSPECT SEALS AND REPLACE AS NECESSARY. REMOVE AND REPLACE INTERIOR AND EXTERIOR PERIMETER SEALANT JOINTS. PROVIDE FILM ON EXTERIOR SIDE OF INSULATED GLASS PANE. CONSTRUCT STEEL STUD WALL BEHIND WINDOW. SEE SECTIONS AND DETAILS.
- 11 EXTEND EXISTING BRICK COLUMN TO NEW ALUMINUM ENTRANCE WIDTH. PROVIDE SAWTOOTH TIE-IN AND MATCH TEXTURE, COURSING AND JOINTS OF EXISTING BRICK.
- 12 NEW WALL SCONCE LIGHT FIXTURE BEHIND FABRIC AWNING. SEE LIGHT FIXTURE SCHEDULE.
- 13 NEW CONCRETE STOOP AND EXTERIOR SLAB SHOWN DASHED. SEE STRUCTURAL DRAWINGS.
- 14 METAL WALL PANELS AND FASCIA. MATCH COLOR, PROFILE, SPACING AND GAUGE OF WALL PANELS AND FASCIA USED AT STAIR ENCLOSURE - FIFTH FLOOR OF ADJACENT HOTEL VERDANT.
- 15 ALUMINUM GUTTER AND DOWNSPOUTS. MATCH COLOR, PROFILE AND GAUGE OF GUTTERS AND DOWNSPOUTS USED AT STAIR ENCLOSURE - FIFTH FLOOR OF ADJACENT HOTEL VERDANT.
- 16 STANDING SEAM METAL ROOFING. MATCH COLOR, PROFILE AND GAUGE OF METAL ROOF USED AT STAIR ENCLOSURE - FIFTH FLOOR OF ADJACENT HOTEL VERDANT.
- 17 CLEAN EXISTING ALUMINUM WINDOW FRAMES AND GLASS. INSPECT SEALS AND REPLACE AS NECESSARY. REMOVE AND REPLACE INTERIOR AND EXTERIOR PERIMETER SEALANT JOINTS. PROVIDE FILM ON EXTERIOR SIDE OF GLASS. LOWER LITE ONLY UPPER LIGHT TO REMAIN CLEAR INSULATED VISION GLASS.
- 18 WHERE EXISTING MASONRY CHIMNEY HAS BEEN REMOVED DOWN TO PARAPET HEIGHT, PROVIDE TREATED PLYWOOD CAP AND SHEET METAL CAP (EFFECTIVELY EXTENDING METAL COPING TO SOUTHWEST BUILDING CORNER. SHEET METAL CHIMNEY CAP TO BE SLOPED TO DRAIN TO BUILDING TPO ROOF.
- 19 NEW EXTERIOR WALL SCONCE. SEE LIGHTING DRAWINGS.



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SHEET TITLE

Exterior Elevations - Enlarged

SHEET NUMBER

A3.1



PERFORMANCE
FOODSERVICE

ANCE





PHONE
5340

REMEDIES

LAKEVIEWPHARM

