

Amendment Number One

to the

HOME Investment Partnership Program Grant Agreement

Between

City of Racine, Wisconsin, and St Paul Community and Economic Development Corporation

WHEREAS, on June 8, 2011, the city of Racine, Wisconsin, a municipal corporation, ("City") and St. Paul Community and Economic Development Corporation ("Developer") entered into and an agreement ("Agreement") for the development of single family home ("Project") using HOME Investment Partnership Program ("HOME") funds; and

WHEREAS, changes in circumstances and governing regulations require changes to the Agreement; and

WHEREAS, The City's Common Council authorized and directed the execution of the Amended Agreement by resolution no. 12-3290, adopted on August 21, 2012.

NOW, THEREFORE, the Agreement of June 8, 2011, is amended as follows:

A. Section 1. HOME Funds is deleted and replaced with the following:

1. HOME Funds.

City will make available up to, but not exceeding, \$176,000.00 of its HOME funds to Developer for construction of a new affordable, single-family home in the City of Racine as further described in Exhibit A, "Amended Scope of Services" and Exhibit B, "Amended Project Budget". Developer agrees that each line item in the budget, except salaries and benefits, may be adjusted by up to 10% over the term of this Agreement without prior approval as long as the total contract amount is not exceeded. Adjustments of more than 10% are subject to the City's prior written approval.

B. Section 3. Disbursement of HOME Funds is deleted and replaced with the following:

3. Disbursement of HOME Funds.

Funds will be distributed to Developer upon presentation of an itemized request for payment. If the items to be reimbursed include payments to subcontractors, the request shall include itemized invoices, and lien waivers. Developer agrees that City, or its designee, shall have the authority to inspect the project site and Developer's records prior to making any payments under this Agreement.

C. Section 6. Reversion of Assets is deleted and replaced with the following:

6. Reversion of Assets

a. City and Developer acknowledge that, on January 11, 2012, in preparation for the Project, the City transferred vacant property at 61 Riverside Drive, Racine, Wisconsin, (parcel ID # 0659200; "Property")

to the Developer at no cost to the Developer. Upon completion of the Project, the Developer shall transfer the improved Property back to the City at no cost to the City. Upon execution of this Agreement, Developer shall execute a warranty deed conveying the Property back to the City. The deed shall be held in escrow to be released to the City upon Developer's completion of the Project or upon expiration of this Agreement, whichever comes first.

b. The City's interest in the property and the Project shall be recorded as a lien against the property by the Developer. Developer shall also cause a copy of this Agreement to be recorded against the Property.

c. In the event that the Project for which the HOME funds were granted is not completed as required by Exhibit A, Developer shall immediately return to city any unused HOME funds and shall, at City's option, either:

1. Reimburse City for the difference between HOME funds returned to the City and the total amount of HOME funds dispersed to Developer; or
2. Grant City a lien against the property described in the Agreement, in an amount equal to the amount calculated in Paragraph 6 (c.1).

D. Section 7. Affordability and Income Targeting is deleted and replaced with the following:

7. Affordability and Income Targeting.

City agrees to sell the Project to a qualified home buyer. Developer agrees to assist the City with the marketing of the completed project to qualified home buyers, including compliance with the provisions of 24 CFR Part 92.254 *Qualification as affordable housing: Homeownership*. Developer agrees to record a deed restriction, covenant running with the land, or other mechanism acceptable to City to enforce the affordability requirement.

E. Section 24. Term of Agreement: the date "December 31, 2012" is deleted and replaced with "December 31, 2013".

F. The following sections 25, 26, and 27 are added to the Agreement:

25. Warranty. The Developer shall guarantee all work performed under Exhibit A, Amended Scope of Services, for a period of one year from the date of transfer of the property to the City pursuant to section 6 of this Amended Agreement, and shall remedy any defect due to faulty material or workmanship and pay for any damage to other work resulting therefrom which shall appear within the period of one year from the date of transfer. In addition, the Developer shall furnish the City with all manufacturers and suppliers written warranties covering materials and equipment furnished under this Amended Agreement. All warranties and material specifications shall be placed in the kitchen for the City and home buyer. This general guaranty shall not limit other remedies under the law.

Work performed by City or City's subcontractor that adversely affects work may void any warranty identified herein.

26. Dispute Resolution. The following provisions apply should any unresolved dispute arise between the parties relating in any manner to this Agreement, including, but not limited to: the meaning of this Agreement; the enforceability of this Agreement; the rights or obligations of any party under this Agreement; the performance of any aspect of this Agreement or work, any disagreements regarding charges for extras, changes or credits, the reasonableness of a delay, or the extension of Agreement period.

- a. Mediation. If either City or Developer requests, in writing, that a dispute be resolved by mediation, the other party shall proceed to mediate the dispute. If mediation is requested, the mediation shall be conducted by a mutually agreed Mediator selected within five (5) days of the request for mediation. The parties agree, in the event the dispute proceeds to mediation, that they will make a good faith effort to resolve their dispute through the mediation process. The parties agree that they will abide by the policies and procedures of the Mediator. Proceeding to mediation does not waive or affect the obligation of the parties to resolve their dispute(s) by arbitration in the event mediation is not successful. Mediation request must be completed within thirty (30) days or is deemed waived.
- b. Arbitration. Any dispute which is either not referred to mediation or is not resolved through mediation (other than enforcement of any insured warranty plan), shall be resolved by arbitration. The arbitration shall be conducted by or through the American Arbitration Association. The decision of the arbitrators shall be binding, final and may be enforced in accordance with the applicable provisions of Chapter 788 of the Wisconsin Statutes. The filing of a lien claim shall not be considered an election by Developer to waive its rights under this provision. Any arbitration proceedings commenced pursuant to this provision shall be conducted in good faith in accordance with the rules adopted by the applicable arbitration body and the applicable provisions of Wisconsin law.

If either party refuses to submit a claim to arbitration or fails to abide by all of the rules adopted by the applicable arbitration body, the non-breaching party shall be entitled to recover all costs, including reasonable attorney's fees, incurred in seeking further action to enforce the terms of this Contract and-or to compel arbitration.

27. City Signatures: The signature of the City's Director of City Development, or designee, on behalf of City subsequent to the signing of this Agreement shall be sufficient for all purposes under the Agreement including change orders, if any.

G. Exhibits.

Exhibit A "Scope of Services" is deleted and replaced with "Amended Scope of Services" as attached to this Amendment. Exhibit B "Project Budget" is deleted and replaced with "Amended Project Budget" as attached to this Amendment.

IN WITNESS WHEREOF, the parties hereto have executed this Amendment Number One.

DEVELOPER: SAINT PAUL COMMUNITY AND ECONOMIC DEVELOPMENT CORPORATION

By: L.L. Kirby 11-13-12
Signature (date)
Lawrence L. Kirby
Print Name
President
Title

Witness: Jan M. Weber

CITY OF RACINE

By: John Dickert 11/26/12
John Dickert, Mayor (date)

Attest: Donna Deuster
Donna Deuster, Assistant City Clerk (date)

COUNTERSIGNED FOR CITY OF RACINE:

Provision has been made to pay the liabilities that will accrue under this Agreement.

David Brown
David Brown, City Finance Director (date)

APPROVED AS TO FORM:

Robert Weber
Robert Weber, City Attorney (date)

Exhibit A

Amended Scope of Services: St. Paul Community and Economic Development Corporation

Construction of a new, affordable single-family residence at 61 Riverside Drive, Racine, Wisconsin as per attached façade, floor plans, and specifications. Construction shall commence no later than October 29, 2012 and be completed no later than December 31, 2013.

**FINAL SPECIFICATION SHEET FOR NEW HOME AT
61 Riverside Drive**

**Lot 3, Riverview Park addition NO 2, according to the recorded plat thereof, Said land being in the
City of Racine, Wisconsin and Municipal Corporation.
Taxkey #06592000**

SITework/LANDSCAPE

- Driveway of 4" concrete over 4" compacted base with "broom" finish. *Driveways, like landscaping soils and materials are subject to erosion, especially in the event of flash flooding. It shall be the responsibility of the homeowner to add mulch/soils/seed/other for long term stabilization of base materials along and beneath driveway to prevent erosion.*
- Landscape and irrigation by Land Design included. Seed/water lawn.
: Developer *may* require additional landscape beyond master Landscape Plan as included herein. Any additional landscaping needs desired by Owner or developer shall be by separate agreement only.
- Site to be left free of construction debris and ready for further landscaping.
- Builder to provide for restoration of native vegetation with hay & seed at areas disturbed by utility lines and house construction. It shall be the responsibility of the Owner to provide irrigation/water as necessary to establish/grow native seeded areas.

UTILITIES

- Two hundred (200) amp meter power service from pole to house included. Purchaser to eventually be responsible for application for service.
- All central water and sewer service included. Purchaser to be responsible for application for service.
- Natural gas service as provided to lot by City of Racine. Purchaser to be responsible for application for service. See *Plumbing* section below for explanation of service lines to appliances.

EXTERIOR

- Exterior to be 3/8" x 8" x 16' lap smart sidewicker rocker siding as per plan. Before siding, house to be wrap in Tyvar house wrap. Outside corners at areas of siding to follow details per plan (no corner boards).
- Tyvar brand house wrap at exterior envelope of house with taped lap joints as necessary.
- Roof to be 24 gauge standing seam galvanized metal over 30 lb felt paper over 7/16" Tech Shield OSB decking with aluminum spacer clips.
All masonry to be counter-flashed with 26 gauge material. Roof to have continuous ridge vent as per plan. One integral box gutter constructed of galvanized metal at length of back porch as defined on plan.
- All gutters and downspouts included in contract built to design.
- All framing to conform to specs, industry standard and governing local building codes.

MECHANICAL

- Heating & Cooling: One zone at house. Equipment to be (major brand) gas furnace with conventional air conditioning, with Honeywell programmable thermostats, Honeywell media type air cleaners and R-6 insulated ductwork. Layout to be determined by HVAC contractor. Ten year warranty on compressor, five year warranty on parts and two year warranty on labor. Owner may experience mild surge/dimming due to size/tonnage of equipment depending on utility company transformer size & location.

ELECTRICAL

- All copper romex wiring at main dwelling.
- All fans and fixtures to be installed as per selection and floorplan layout. All standard can lights to be double insulated recessed cans with white baffle trim.
- Conduit in slab for floor plug(s) and island power.
- All GFI plugs included as per code requirements.
- Light switches to be ivory color Decora paddle type mechanism.
- All electrical switches and outlets to be in ivory color.

NETWORK WIRING SPECIALTIES

Prewire and/or trim out of controlled lighting, security system & keypads, satellite, TV, & phone by design. It is recommended that any additional networking and/or trim out desired be contracted with same company as a turnkey package.

OPTIONS: for explanation and other options see Harambee Community Center.

PLUMBING

- Water, sewer and gas service – see *Utilities* section above.
- Plumbing fixtures from Menards per selection.
- One (1) forty (40) gallon gas water heater.
- All in-slab house water supply lines to be of ½", ¾" & 1" Kitec brand pipes with brass fittings. Above slab lines to be of Kitec or soft & rigid type L copper with lead free solder.
- All gas lines run to cooktop, central heat, and water heater.
- All waste and vent lines to be of PVC pipe. All vent lines to be located at back side of roof where feasible.

STRUCTURAL

- Designed and inspection foundation by Jettie Cornett. 12 x 8 x 16 block foundation with ½" rebar and 10 gauge reinforcing mesh.
- Engineer designed and manufactured roof & floor truss system where applicable at Builder's discretion. 2x12 floor joist with 2 x 8 rafters
- 2 x door and window opening headers as required by code. 2 x 4 and 2 x 6 stud grade white wood framing, 16" on center.
- Wall and ceiling heights as per plan.
- Lateral wall bracing of 4 x 8 plywood, let-in steel bracing or let-in pine 1 x 4 on diagonal.
- Pressure treated base plate at all concrete flooring with air infiltration foam beneath at perimeter.
- Double 2 x 4/6 top plate throughout.
- 7/16" Tech Shield OSB (waferboard) radiant barrier roof decking with aluminum spacer clips.
- Perimeter plate secured to slab with bolts at 48" on center. Cut nail or power driven fastener system at interior walls.
- All framing to conform to industry standard and governing building codes.

THERMAL PROTECTION

- ½" foam sheathing, ½" gyplap sheathing, and/or OSB waferboard at all exterior walls.
- Perimeter plate to have air infiltration foam beneath.
- Typar brand house wrap at exterior envelope of house with taped lap joints as necessary.
- R-38 bat fiberglass insulation at all flat ceilings.
- R-22 fiberglass batt insulation at all sloped ceilings.
- R-19 bat fiberglass blanket (B.I.B.S.) insulation behind applied netting at all exterior walls.
- Anti-air infiltration package to include polycei foam sealant and caulk at exterior bottom plates, polycei foam in top plate penetrations, in exterior penetrations, behind electrical boxes and around door panels.
- Double pane insulated clad exterior Pozzi (Jeld-Wen) windows, divided lite as per plan, single/double hung/horizontal slider/fixed and awning/casement windows with screens throughout as per plan. "Low E 366".
- All exterior doors and mechanical closet doors to be clad exterior Pozzi door units with standard supply hardware in select finish.

GARAGE

- Two car garage as per plan.
- No insulation at garage walls or ceilings included.
- One (1) overhead flat panel insulated metal doors, each with ½ horse power overhead chain drive opener and remote controls. Doors to be trimmed with 3/8" thick x 3" wide composite woods glued and screwed to flat panel door to achieve carriage door affect. No windows at garage doors included.
- No specialty finishing or sealers at garage floor included.

CABINETRY, TRIM & MILLWORK

- Cabinets throughout to be custom built with Blum concealed compact hinges and self closing drawer glides. Box construction of cabinets throughout to be of cabinet grade plywood. All cabinets to have flat (reversed raised) panel doors.
- Master Bath cabinetry to be of reclaimed quarter sawn long leaf pine. Cabinetry throughout balance of house to be of paint grade materials. Upper cabinets will have ¾" adjustable shelves via 5MM drill system with 1" hardwood nosing and a total of two (2) shelves for all 36" or 42" cabinets. All wood tops less than 8' in length to be of ¾" plywood. Other wood tops over 8' to be of built up hardwoods. No specialty finishes or other decorative stenciling at cabinetry included. Supply and installation of file racks/hangers at file cabinet drawers as/if noted is not included.
- All trim & millwork throughout to be paint grade with exception of doors horizontal wall planks at Study.
- Doors: All interior doors to be 1 3/8" thick two (2) panel paint grade door units.
- Baseboard: All baseboards at main living areas (Gallery/Living Room/Dining Room/Kitchen) to be of 1 x 8 paint grade pine with beaded cap. All other baseboard throughout to be 1 x 6 paint grade pine.
- Casing: All door trim (legs and header) to be 1 x 4 paint grade pine.
- Crown: none.
- Chair: none.
- Wood Columns: none.
- Interior Steel Columns: Hot dipped galvanized steel pipe columns.
- Window Returns: Integral with wood window jamb.
- Window Stool: None.
- Shelving: 12" paintgrade MDF shelving at closets throughout.
- ½" paint grade shoe moulding at all ceramic/wood/concrete flooring.

TUB & SHOWER FINISHES

- Tile tub/showers and tub decks to be mudset on lath over "green board" sheetrock.
- Master Shower to include one shower seat and clear, frameless shower door with standard pull.
- Shared Bath shower to be equipped with curtain and rod..
- No water sealing of grout or natural stone/slate materials (non-ceramic) included.

COUNTERTOP FINISHES

- Kitchen countertops to be standard according to builder.
- Master vanity tops to be standard according to builder.
- Guest Bath vanity top to be standard.
- Shared bathroom vanity top to be standard according to builder..

INTERIOR PAINTING & WALLPAPER

- Wallpaper allowance of \$0.
- All walls and ceilings to have minimum of two coats of paint over primer. All interior latex drywall paint to be flat finish.
- All millwork and trim materials to receive primer coat and two finish coats of semi-gloss enamel.
- All paint materials to be Sherwin Williams or comparable.
- All stains to be (name brand.)

- No hand painting of can light trims and HVAC registers included.

OTHER INTERIOR FINISHES & ALLOWANCES

- 1/2" sheetrock at all walls, 5/8" sheetrock at all ceilings. All walls & ceilings throughout to have a mild hand trowel finish. All sheetrock to be secured with screws. All outside corners at walls throughout to be rounded with 3/4" radius.
- All vanity mirrors to be framed.
- Hardware at all doors and cabinetry per selection.
- Appliances per selection. No washer/dryer included.

STAIRCASE

- Staircase to be framed with conventional #2 framing materials, and finished with reclaimed long leaf pine treads and risers. Wall rail to be of reclaimed long leaf pine in profile as selected.

FLOORING

- Carpeting as selected.
- Tile floors at Master Bath,.
- Wood inlays at Gallery & Great Room of reclaimed long leaf pine.

OTHER ALLOWANCES & GENERAL NOTES

- Architectural review included.

Existing home, finishes, specifications and selections are to be considered complete as found on site as of November 01, 2011. Original plans and specifications for construction have been altered per Builder selection throughout the course of construction and therefore may not necessarily reflect final alterations. All leftover materials (ex: miscellaneous lumber, stone, trim materials, etc.) are the property of Jettie Cornett unless otherwise agreed to by separate agreement between parties. On items such as tile an appropriate amount of extras will be left in case of future repairs.

Limestone is a natural product and will inevitably have various consistencies and inconsistencies in shade, color and texture accordingly due to mining, pit location and subsurface strata. Builder and mason shall not be obligated to removal of individual stones within a wall(s) due to slight and expected irregularities.

International Energy Conservation Code: Completed home is in compliance the governing International Energy Conservation Code (ICC) at the time of construction.

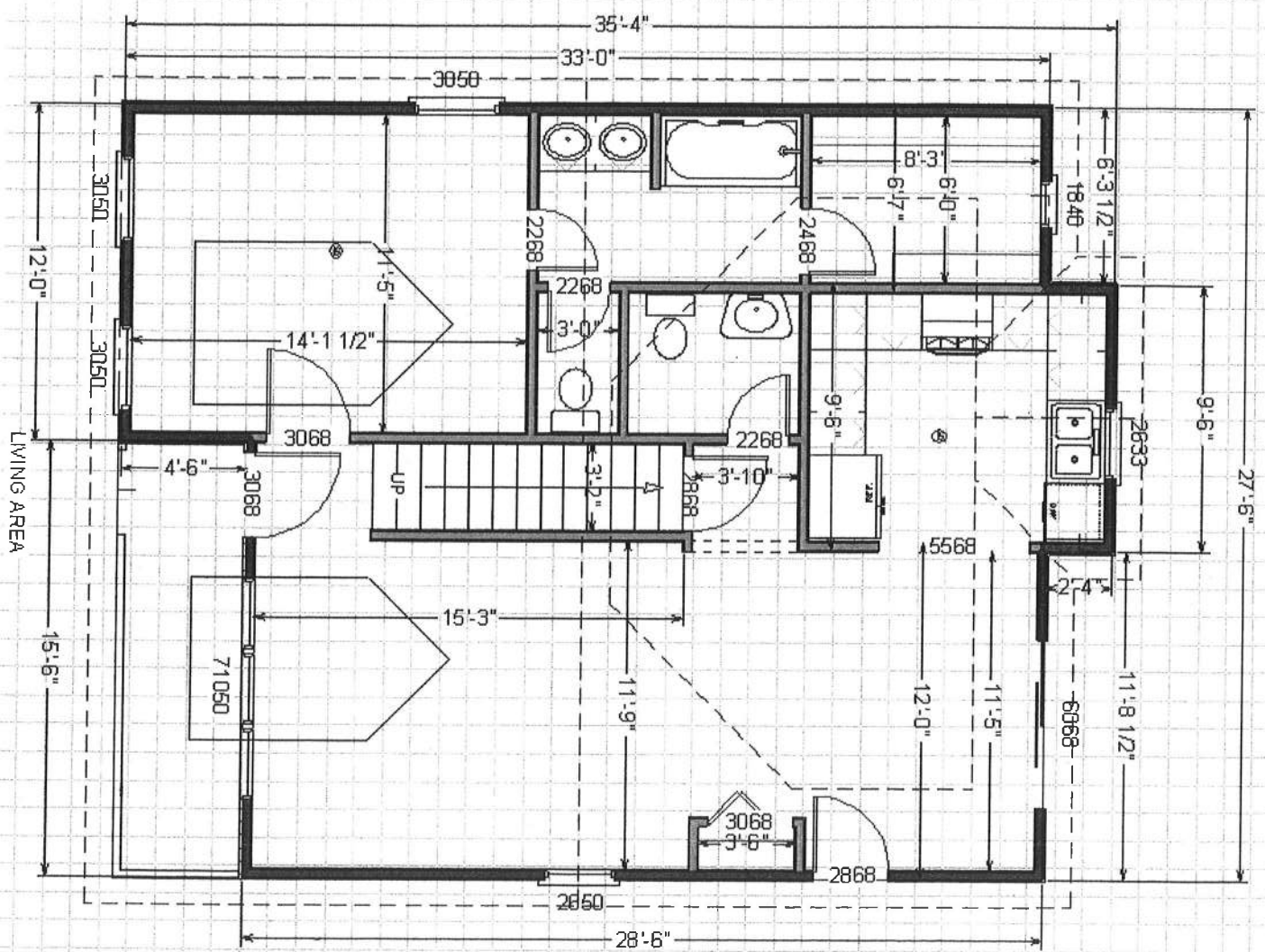
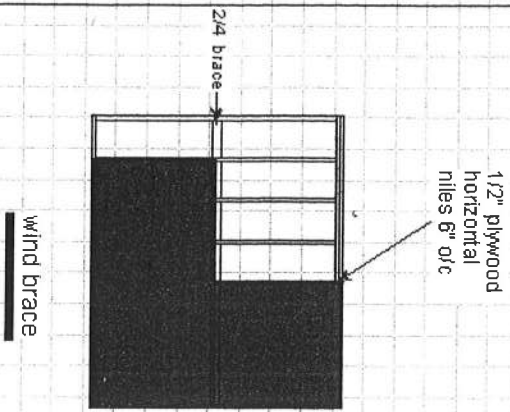
\$100 Per Square Foot

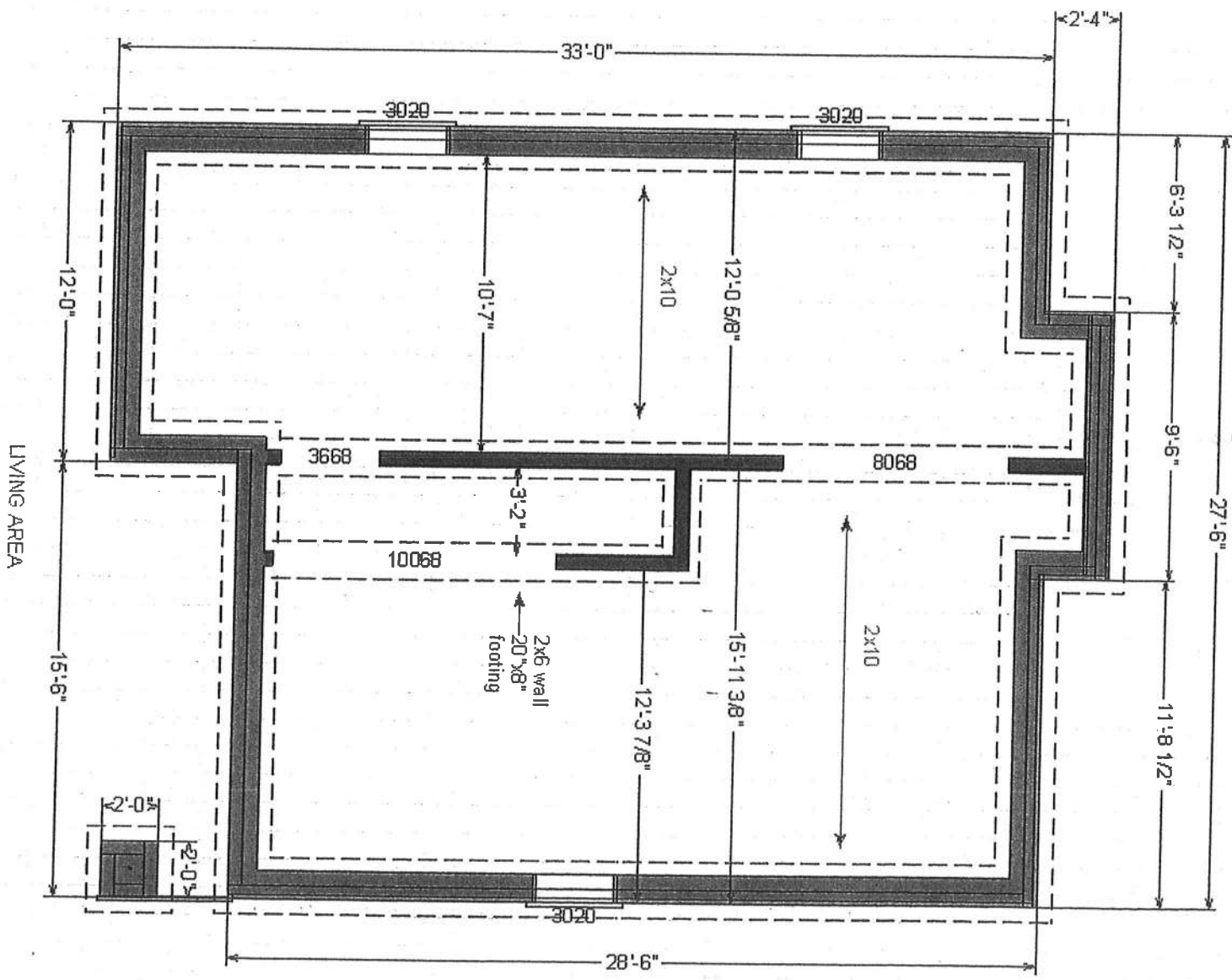
\$15K Garage/Driveway (Additional)

Costs (Labor/Materials/Profit) above \$100K HOME Allocation will be secured by Faith Builds Community

BR 11/12/12
160
BR 11/12/12

Wisconsin Division of Safety and Buildings Wisconsin Stats. 101.63, 101.73	WISCONSIN UNIFORM BUILDING PERMIT APPLICATION <small>Instructions on back of second ply. The information you provide may be used by other government agency programs [(Privacy Law, s. 15.04 (1)(m))]</small>	Application No. B12-1567 Parcel No. 06592000
PERMIT REQUESTED <input checked="" type="checkbox"/> Constr. <input checked="" type="checkbox"/> HVAC <input checked="" type="checkbox"/> Electric <input checked="" type="checkbox"/> Plumbing <input type="checkbox"/> Erosion Control <input type="checkbox"/> Other:		
Owner's Name Faith Built	Mailing Address 1120 Grand Ave Racine WI 53403	Tel. 262-632-6820
Contractor Name & Type Jerry Cornett	Lic/Cert# 991104	Mailing Address 8317 Sunhoel Street WI 53171
Dwelling Contractor (Constr.) Jerry Cornett		Tel. & Fax 262-412-7060 262-412-3828
Dwelling Contr. Qualifier Jerry Cornett	991106	The Dwelling Contr. Qualifier shall be an owner, CEO, COB or employee of the Dwelling Contr. 262-412-3828
HVAC Karel Brooks	1214889	6426 West Congress Milwaukee WI 53214 414-467-4164
Electrical Steve Lambert	862698	2058 N. Greenbay Rd Manitowish WI 53405 262-794-4970
Plumbing Steve Ratwell	669279 1109660	4930 unicer Rd Racine WI 53405 262 939-0721
PROJECT LOCATION	Lot area 3 Sq.ft. <input type="checkbox"/> One acre or more of soil will be disturbed <input type="checkbox"/> Town <input type="checkbox"/> Village <input checked="" type="checkbox"/> City of Racine	_____ 1/4, _____ 1/4, of Section _____, T _____ N, R _____ E/W
Building Address River Side Dr Racine WI, 53404	Subdivision Name River View Park	Lot No. 3 Block No. _____
Zoning District(s)	Zoning Permit No.	Setbacks: Front 12.55 ft. Rear 51.16 ft. Left 5 ft. Right 12.05 ft.
1. PROJECT	3. OCCUPANCY	6. ELECTRIC
<input checked="" type="checkbox"/> New <input type="checkbox"/> Repair <input type="checkbox"/> Alteration <input type="checkbox"/> Raze <input type="checkbox"/> Addition <input type="checkbox"/> Move <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Two Family <input type="checkbox"/> Garage <input type="checkbox"/> Other:	Entrance Panel Amps: _____ <input type="checkbox"/> Underground <input type="checkbox"/> Overhead
2. AREA INVOLVED (sq ft)	4. CONST. TYPE	7. WALLS
Unit 1 Unit 2 Total	<input checked="" type="checkbox"/> Site-Built <input type="checkbox"/> Mfd. per WI UDC <input type="checkbox"/> Mfd. per US HUD	<input checked="" type="checkbox"/> Wood Frame <input type="checkbox"/> Steel <input type="checkbox"/> ICF <input type="checkbox"/> Timber/Pole <input type="checkbox"/> Other:
Unfin. Bsmt 859 859	5. STORIES	10. SEWER
Living Area 1396 1396	<input type="checkbox"/> 1-Story <input checked="" type="checkbox"/> 2-Story <input type="checkbox"/> Other: <input checked="" type="checkbox"/> Plus Basement	<input checked="" type="checkbox"/> Municipal <input type="checkbox"/> Sanitary Permit# _____
Garage	8. USE	11. WATER
Deck	<input type="checkbox"/> Seasonal <input checked="" type="checkbox"/> Permanent <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> Municipal <input type="checkbox"/> On-Site Well
Totals 2255 2255		12. ENERGY SOURCE
		Fuel Nat Gas LP Oil Elec Solid Solar Space Htg <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Water Htg <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
		13. HEAT LOSS
		40,573 BTU/HR Total Calculated Envelope and Infiltration Losses (available from "Total Building Heating Load" on Rescheck report)
		14. EST. BUILDING COST w/o LAND
		\$ 80,000
I understand that I am subject to all applicable codes, laws, statutes and ordinances, including those described on the reverse side of the last ply of this form; am subject to any conditions of this permit; understand that the issuance of this permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If one acre or more of soil will be disturbed, I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and the owner shall sign the statement on the back of the permit if not signing below. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done. <input type="checkbox"/> I vouch that I am or will be an owner-occupant of this dwelling for which I am applying for an erosion control or construction permit without a Dwelling Contractor Certification and have read the cautionary statement regarding contractor responsibility on the reverse side of the last ply of this form.		
APPLICANT (Print:) Jerry Cornett Sign: <u><i>Jerry Cornett</i></u> DATE 5/14/2012		
APPROVAL CONDITIONS This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. <input type="checkbox"/> See attached for conditions of approval.		
ISSUING JURISDICTION <input type="checkbox"/> Town of <input type="checkbox"/> Village of <input checked="" type="checkbox"/> City of <input type="checkbox"/> County of <input type="checkbox"/> State → Racine State-Contracted Inspection Agency#: _____ Municipality Number of Dwelling Location 51-276		
FEES: Plan Review \$ 339.00 Inspection \$ 909.00 Wis. Permit Seal \$ 35.00 Other Erosion Control \$ 160.00 30.00 Total \$ 1,467.00		
PERMIT(S) ISSUED <input checked="" type="checkbox"/> Construction <input type="checkbox"/> HVAC <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input checked="" type="checkbox"/> Erosion Control		
WIS PERMIT SEAL # _____ PERMIT ISSUED BY: Name Albert J. Kesterman Date 5-21-12 Tel. 262-636-9162 Cert No. 251304		





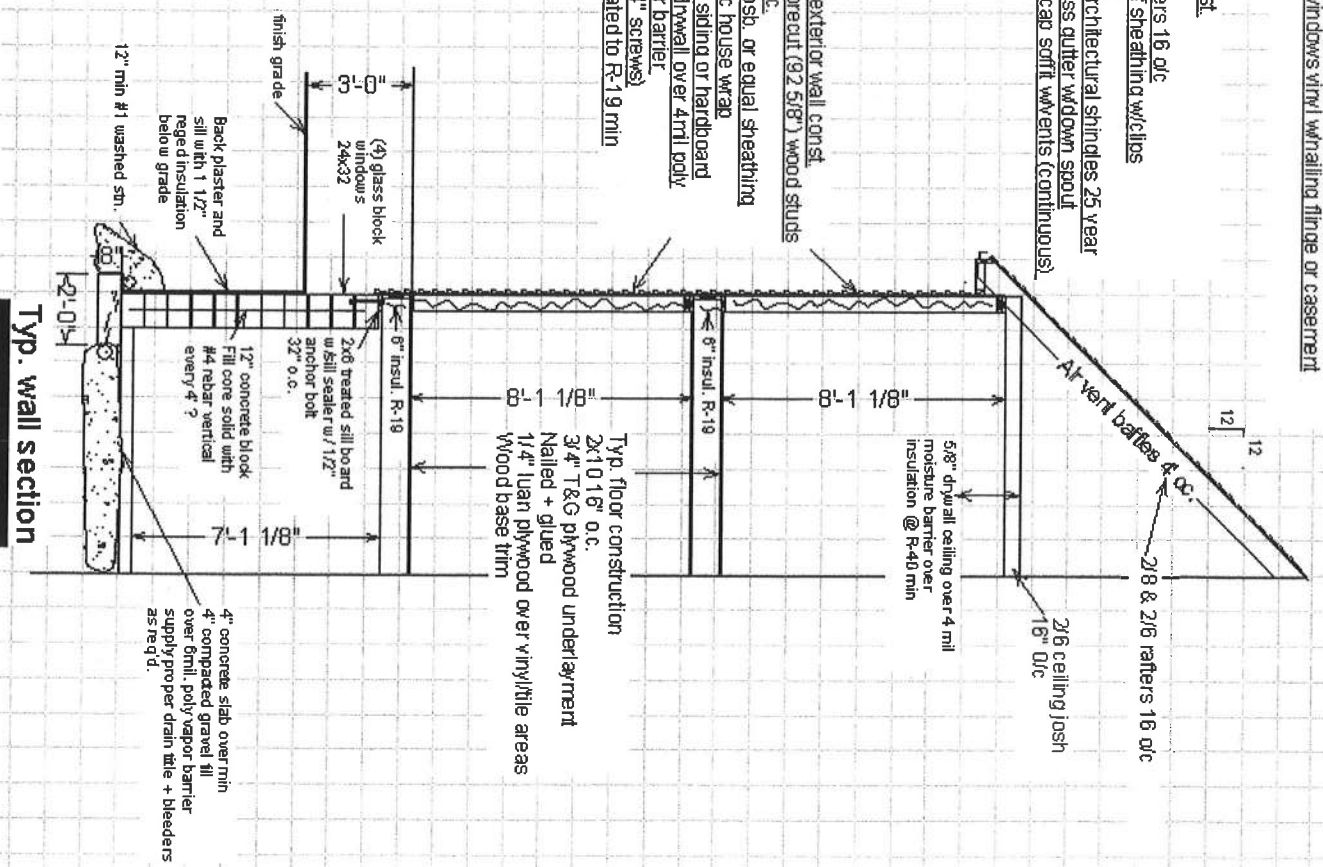
Interior
 Hollow core prehung oak doors
 All walls to sprayed light sand finish
 Exterior doors to be of min R/6 steel construction
 Windows to be 3/4" in Insulated glass w/screen
 Single hung windows vinyl w/rainfling flange or casement

JLC Construction Inc.

Typ. roof const.

- 2/8 & 2/6 rafters 16 o/c
- 1/2" o.s.b roof sheathing w/cills
- 15# felt paper
- Self sealing architectural shingles 25 year
- Alum seamless gutter w/down spout
- Fascia Alum. cap soffit w/vents (continuous)

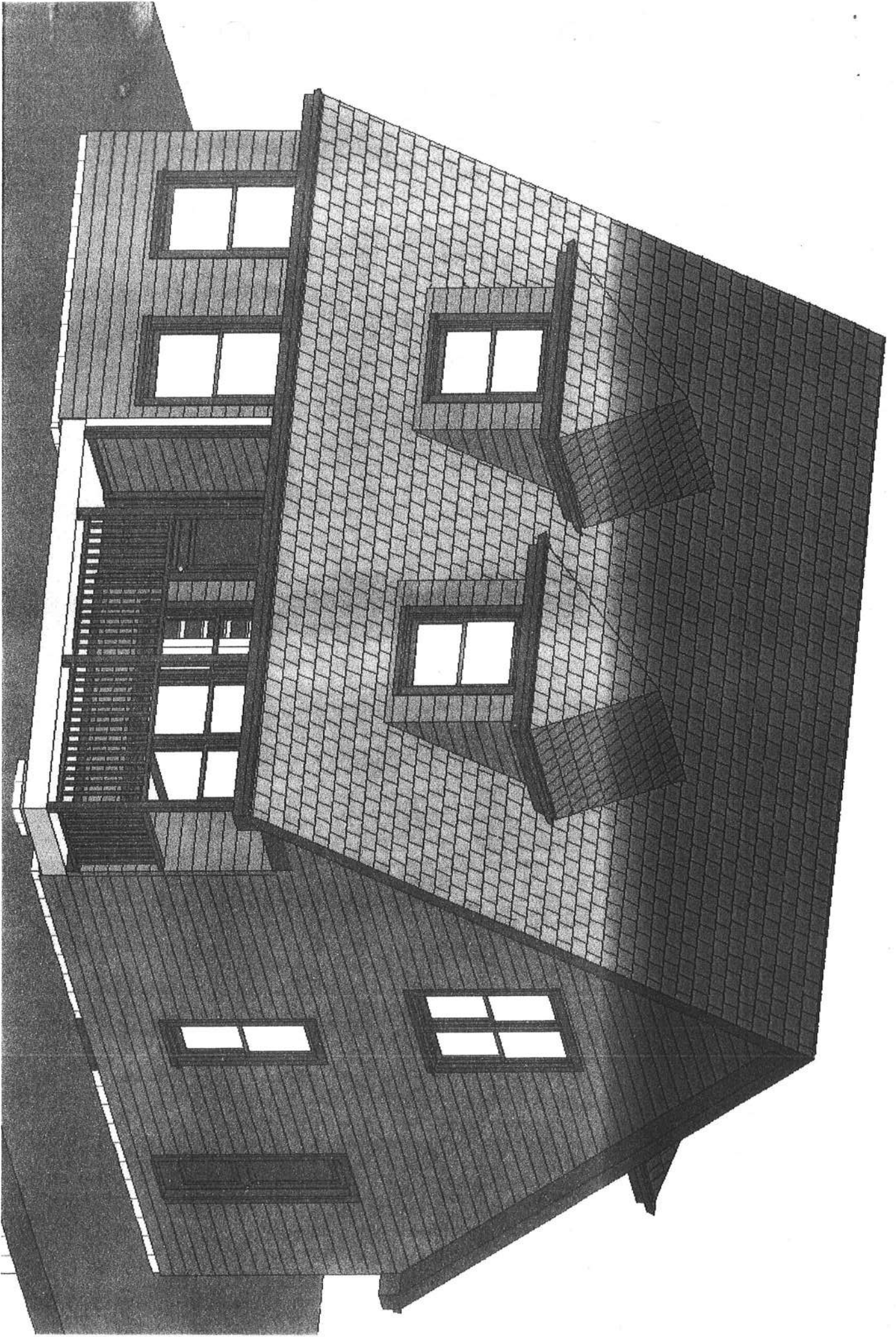
- Typ. exterior wall const.
- 2x6 precut (92.5/8") wood studs 16 o.c.
- 1/2" o.s.b. or equal sheathing
- Typ c house wrap
- Vinyl siding or hardboard
- 1/2" drywall over 4ml poly vapor barrier
- (1 1/4" screws)
- Insulated to R-19 min

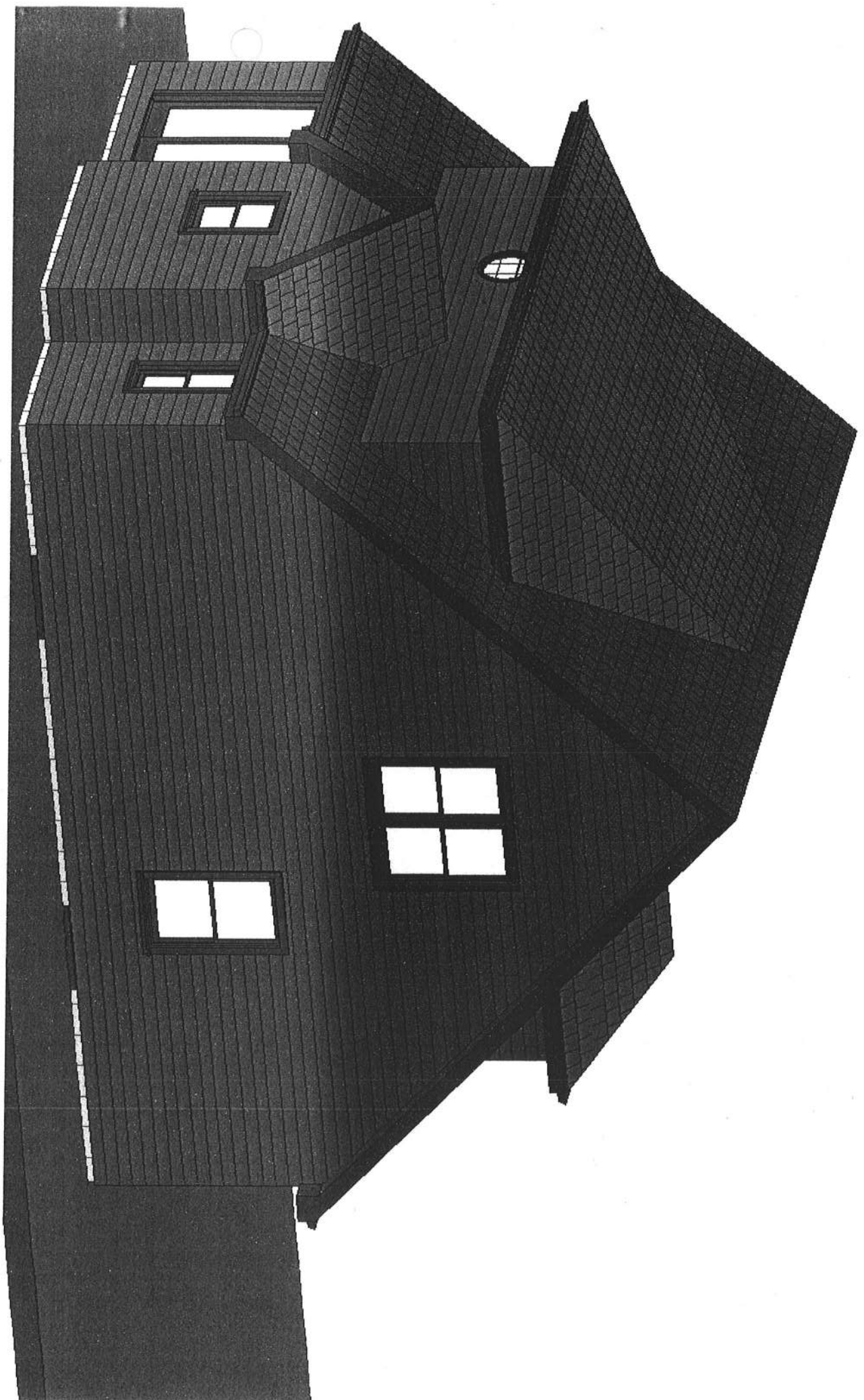


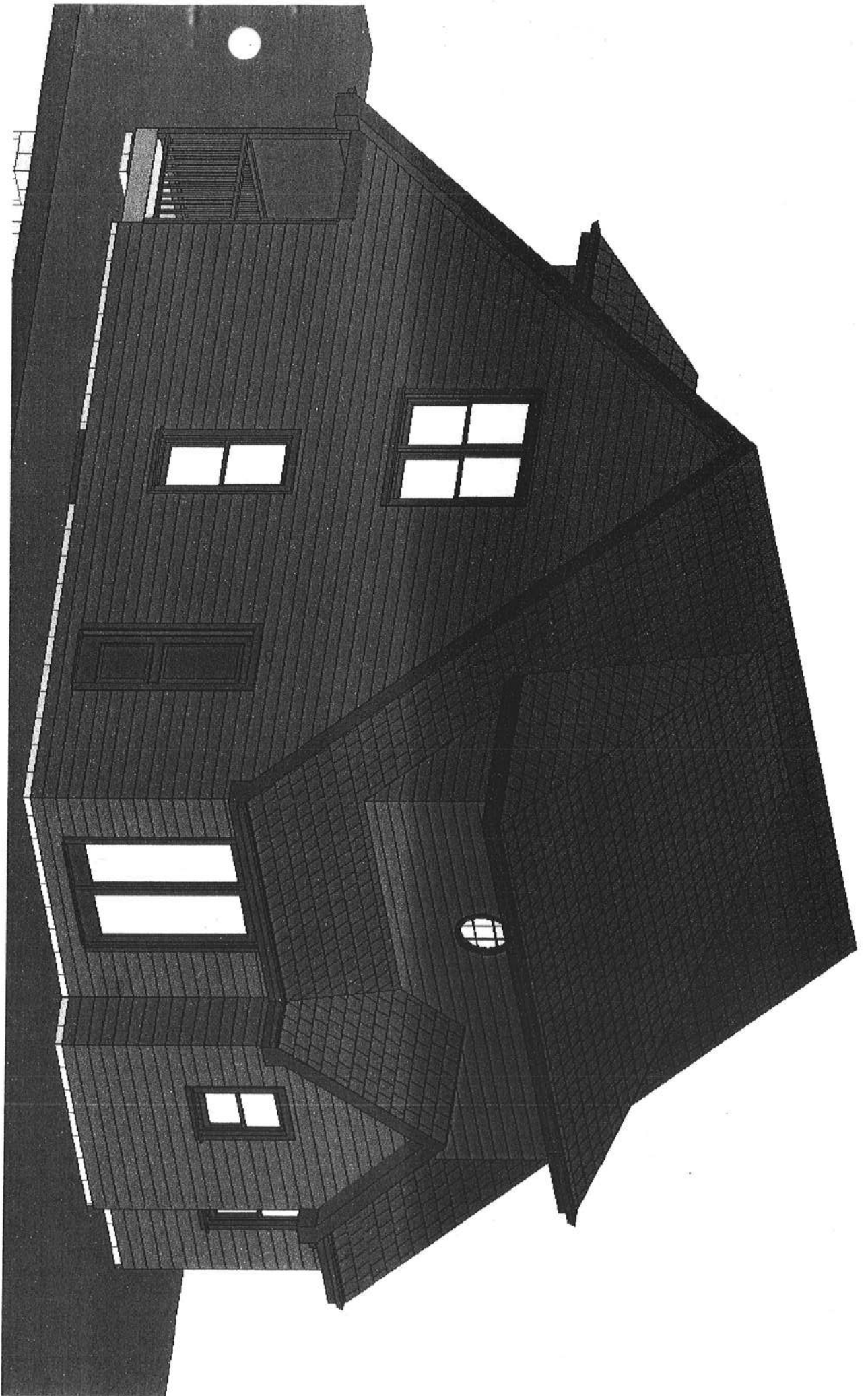
Typ. wall section

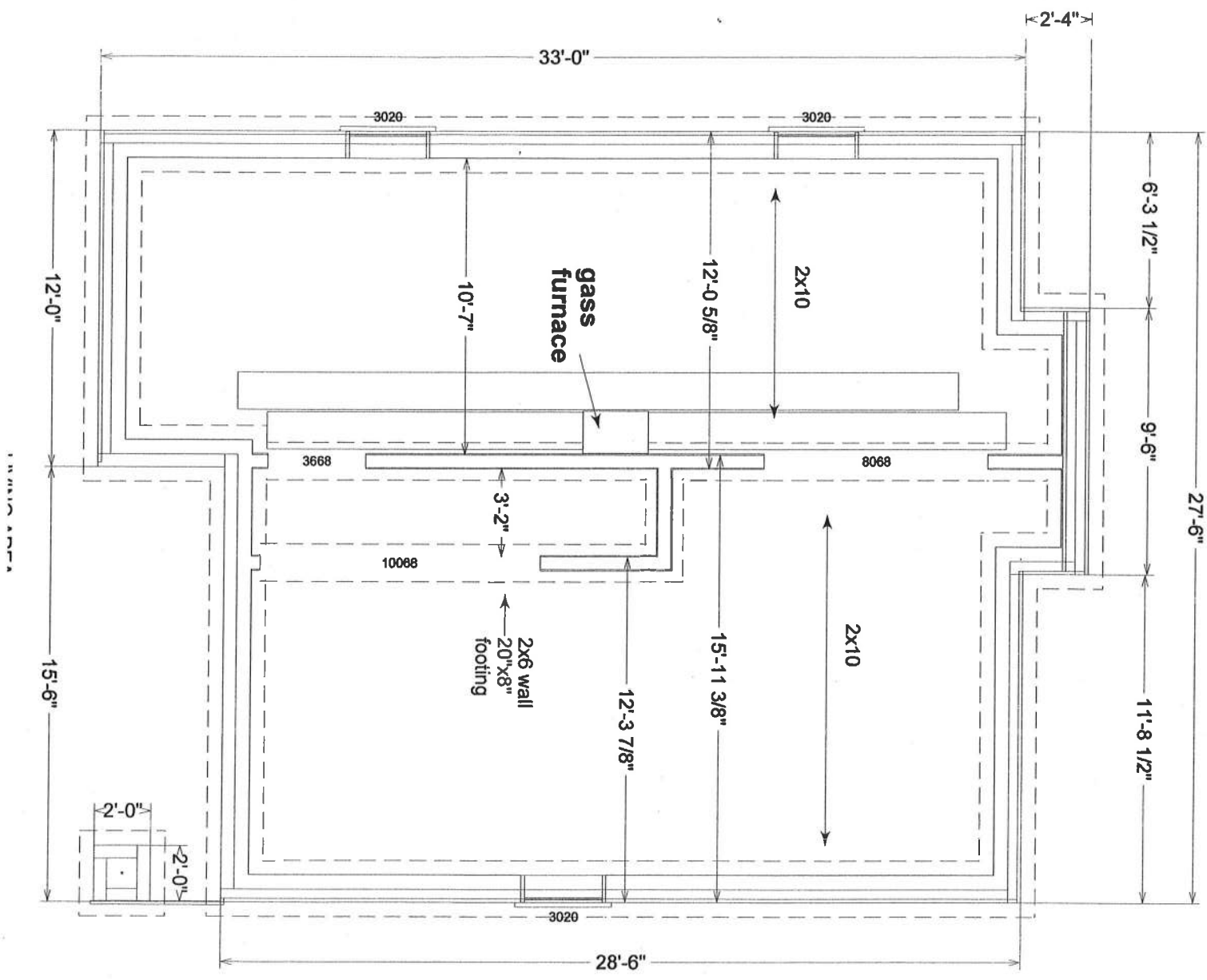
Back plaster and sill with 1/2" reged insulation below grade

4" concrete slab over min 4" compacted gravel fill over 6mil. poly vapor barrier supply proper drain tile + bleeders as req'd.









1. 11/11/10 A.M.P.A



Date: April 24, 2012
 To: Precision Heating
 Subject: New Residence

In order for this house to pass the State of Wisconsin Department of Commerce Uniform Dwelling Code, the following conditions were used in figuring the heat loss:

- The foundation wall below grade is insulated with 1 1/2" Styrofoam (R-7.5) or equal.
- Exterior walls are insulated with R-19 or equal.
- The ceiling is insulated with R-40 or equal.
- Windows and patio doors are Low - E glass with a U-value of 0.35 (R-2.86) and a minimum SHGF value of 0.60 or equal.
- A 95% efficient furnace must be installed.

COOLING DISCLAIMER

- THE COOLING LOAD IS AN ESTIMATION BASED ON 750 SQUARE FEET PER TON. PLEASE USE YOUR PROFESSIONAL JUDGEMENT ON SIZING THE COOLING.

*OK # 3158
 200.00*

Thank you,

Brandon Mertes
 Brandon Mertes

2



REScheck Software Version 4.4.3 Compliance Certificate

Project Title: 120116 - AUER STEEL AND HEATING SUPPLY - BRANDON MERTES

Energy Code: **Wisconsin Uniform Dwelling Code 2009**
Location: **Milwaukee County**
Building Orientation: **Bldg. faces 0 deg. from North**
Conditioned Floor Area: **2257 ft2**
Glazing Area Percentage: **11%**
Climate Zone: **6**

Owner/Agent:
NEW RESIDENCE
TWO STORY

Designer/Contractor:
PRECISION HEATING

UDC Compliance: Passes on equipment performance

Compliance: **0.2% Better Than Code**

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor	UA
First Floor Ceiling: Flat Ceiling or Scissor Truss	335	40.0	0.0		10
Wall 1: Wood Frame, 16" o.c. Orientation: Front	248	19.0	0.0		10
Window 1: Metal Frame with Thermal Break:Double Pane with Low-E SHGC: 0.60 Orientation: Front	69			0.350	24
Door 1: Solid Orientation: Front	20			0.360	7
Wall 2: Wood Frame, 16" o.c. Orientation: Right Side	315	19.0	0.0		17
Window 2: Metal Frame with Thermal Break:Double Pane with Low-E SHGC: 0.60 Orientation: Right Side	13			0.350	5
Door 2: Solid Orientation: Right Side	18			0.490	9
Wall 3: Wood Frame, 16" o.c. Orientation: Back	248	19.0	0.0		12
Window 3: Metal Frame with Thermal Break:Double Pane with Low-E SHGC: 0.60 Orientation: Back	14			0.350	5
Patio Door 2: Metal Frame with Thermal Break:Double Pane with Low-E SHGC: 0.60 Orientation: Back	40			0.350	14
Wall 4: Wood Frame, 16" o.c. Orientation: Left Side	315	19.0	0.0		18
Window 4: Metal Frame with Thermal Break:Double Pane with Low-E SHGC: 0.60 Orientation: Left Side	15			0.350	5
Second Floor Ceiling: Flat Ceiling or Scissor Truss	537	40.0	0.0		16
Wall 5: Wood Frame, 16" o.c. Orientation: Front	248	19.0	0.0		13
Window 5: Metal Frame with Thermal Break:Double Pane with Low-E SHGC: 0.60 Orientation: Front	24			0.350	8
Wall 6: Wood Frame, 16" o.c. Orientation: Right Side	315	19.0	0.0		17
	26			0.350	9

ATTENTION
See Cover Letter

Window 6: Metal Frame with Thermal Break:Double Pane with Low-E SHGC: 0.60 Orientation: Right Side				
Wall 7: Wood Frame, 16" o.c. Orientation: Back	248	19.0	0.0	15
Window 7: Metal Frame with Thermal Break:Double Pane with Low-E SHGC: 0.60 Orientation: Back	4		0.350	1
Wall 8: Wood Frame, 16" o.c. Orientation: Left Side	315	19.0	0.0	17
Window 8: Metal Frame with Thermal Break:Double Pane with Low-E SHGC: 0.60 Orientation: Left Side	26		0.350	9
Floor 1: All-Wood Joist/Truss:Over Outside Air	12	19.0	0.0	1
Basement Wall 1: Solid Concrete or Masonry Orientation: Front Wall height: 0.7' Depth below grade: 0.0' Insulation depth: 0.0'	19	0.0	0.0	12
Basement Wall 2: Solid Concrete or Masonry Orientation: Right Side Wall height: 0.7' Depth below grade: 0.0' Insulation depth: 0.0'	24	0.0	0.0	13
Window 10: Metal Frame with Thermal Break:Double Pane with Low-E SHGC: 0.60 Orientation: Right Side	4			2
Basement Wall 3: Solid Concrete or Masonry Orientation: Back Wall height: 0.7' Depth below grade: 0.0' Insulation depth: 0.0'	19	0.0	0.0	12
Basement Wall 4: Solid Concrete or Masonry Orientation: Left Side Wall height: 0.7' Depth below grade: 0.0' Insulation depth: 0.0'	24	0.0	0.0	10
Window 11: Metal Frame with Thermal Break:Double Pane with Low-E SHGC: 0.60 Orientation: Left Side	8		0.490	4
Basement Wall 5: Solid Concrete or Masonry Orientation: Front Wall height: 6.3' Depth below grade: 6.3' Insulation depth: 6.3'	173	0.0	7.5	12
Basement Wall 6: Solid Concrete or Masonry Orientation: Right Side Wall height: 6.3' Depth below grade: 6.3' Insulation depth: 6.3'	221	0.0	7.5	15
Basement Wall 7: Solid Concrete or Masonry Orientation: Back Wall height: 6.3' Depth below grade: 6.3' Insulation depth: 6.3'	173	0.0	7.5	12
Basement Wall 8: Solid Concrete or Masonry Orientation: Left Side Wall height: 6.3' Depth below grade: 6.3' Insulation depth: 6.3'	221	0.0	7.5	15
Furnace 1: Forced Hot Air 95 AFUE				

ATTENTION
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REScheck Software Version 4.4.3 Inspection Checklist

Energy Code: Wisconsin Uniform Dwelling Code 2009
 Location: Milwaukee County
 Building Orientation: Bldg. faces 0 deg. from North
 Conditioned Floor Area: 2257 ft2
 Glazing Area Percentage: 11%
 Climate Zone: 6

Cellings:

First Floor Ceiling: Flat Ceiling or Scissor Truss, R-40.0 cavity insulation

Comments: _____

Second Floor Ceiling: Flat Ceiling or Scissor Truss, R-40.0 cavity insulation

Comments: _____

Above-Grade Walls:

Wall 1: Wood Frame, 16" o.c., R-19.0 cavity insulation

Comments: _____

Wall 2: Wood Frame, 16" o.c., R-19.0 cavity insulation

Comments: _____

Wall 3: Wood Frame, 16" o.c., R-19.0 cavity insulation

Comments: _____

Wall 4: Wood Frame, 16" o.c., R-19.0 cavity insulation

Comments: _____

Wall 5: Wood Frame, 16" o.c., R-19.0 cavity insulation

Comments: _____

Wall 6: Wood Frame, 16" o.c., R-19.0 cavity insulation

Comments: _____

Wall 7: Wood Frame, 16" o.c., R-19.0 cavity insulation

Comments: _____

Wall 8: Wood Frame, 16" o.c., R-19.0 cavity insulation

Comments: _____

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Basement Walls:

Basement Wall 1: Solid Concrete or Masonry, 0.7' ht / 0.0' bg / 0.0' Insul, R-0 (uninsulated)

Comments: _____

Basement Wall 2: Solid Concrete or Masonry, 0.7' ht / 0.0' bg / 0.0' Insul, R-0 (uninsulated)

Comments: _____

Basement Wall 3: Solid Concrete or Masonry, 0.7' ht / 0.0' bg / 0.0' Insul, R-0 (uninsulated)

Comments: _____

Basement Wall 4: Solid Concrete or Masonry, 0.7' ht / 0.0' bg / 0.0' Insul, R-0 (uninsulated)

Comments: _____

Basement Wall 5: Solid Concrete or Masonry, 6.3' ht / 6.3' bg / 6.3' Insul, R-7.5 continuous insulation

Comments: _____

Basement Wall 6: Solid Concrete or Masonry, 6.3' ht / 6.3' bg / 6.3' Insul, R-7.5 continuous insulation

Comments: _____

Basement Wall 7: Solid Concrete or Masonry, 6.3' ht / 6.3' bg / 6.3' Insul, R-7.5 continuous insulation

Comments: _____

- Basement Wall 8: Solid Concrete or Masonry, 6.3' ht / 6.3' bg / 6.3' insul, R-7.5 continuous insulation

Comments: _____

Windows:

ATTENTION
See Cover Letter
COMM Table 22.36-1.

- Window 1: Metal Frame with Thermal Break:Double Pane with Low-E, U-factor: 0.350

Windows must be labeled and rated in accordance with NFRC or must use default values from COMM Table 22.36-1.

#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No

Comments: _____

- Window 2: Metal Frame with Thermal Break:Double Pane with Low-E, U-factor: 0.350

Windows must be labeled and rated in accordance with NFRC or must use default values from COMM Table 22.36-1.

#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No

Comments: _____

- Window 3: Metal Frame with Thermal Break:Double Pane with Low-E, U-factor: 0.350

Windows must be labeled and rated in accordance with NFRC or must use default values from COMM Table 22.36-1.

#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No

Comments: _____

- Patio Door 2: Metal Frame with Thermal Break:Double Pane with Low-E, U-factor: 0.350

Windows must be labeled and rated in accordance with NFRC or must use default values from COMM Table 22.36-1.

#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No

Comments: _____

- Window 4: Metal Frame with Thermal Break:Double Pane with Low-E, U-factor: 0.350

Windows must be labeled and rated in accordance with NFRC or must use default values from COMM Table 22.36-1.

#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No

Comments: _____

- Window 5: Metal Frame with Thermal Break:Double Pane with Low-E, U-factor: 0.350

Windows must be labeled and rated in accordance with NFRC or must use default values from COMM Table 22.36-1.

#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No

Comments: _____

- Window 6: Metal Frame with Thermal Break:Double Pane with Low-E, U-factor: 0.350

Windows must be labeled and rated in accordance with NFRC or must use default values from COMM Table 22.36-1.

#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No

Comments: _____

- Window 7: Metal Frame with Thermal Break:Double Pane with Low-E, U-factor: 0.350

Windows must be labeled and rated in accordance with NFRC or must use default values from COMM Table 22.36-1.

#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No

Comments: _____

- Window 8: Metal Frame with Thermal Break:Double Pane with Low-E, U-factor: 0.350

Windows must be labeled and rated in accordance with NFRC or must use default values from COMM Table 22.36-1.

#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No

Comments: _____

- Window 10: Metal Frame with Thermal Break:Double Pane with Low-E, U-factor: 0.490

Windows must be labeled and rated in accordance with NFRC or must use default values from COMM Table 22.36-1.

#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No

Comments: _____

- Window 11: Metal Frame with Thermal Break:Double Pane with Low-E, U-factor: 0.490

Windows must be labeled and rated in accordance with NFRC or must use default values from COMM Table 22.36-1.

#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No

Comments: _____

Note: Up to 15 sq.ft. of glazed fenestration per dwelling is exempt from U-factor and SHGC requirements.

Note: Site-constructed windows must be sealed with gasketing or weatherstripping or be covered with a storm window.

Doors:

- Door 1: Solid, U-factor: 0.360

Doors must be labeled and rated in accordance with NFRC or must use default values from COMM Table 22.36-2.

Comments: _____

- Door 2: Solid, U-factor: 0.490

Doors must be labeled and rated in accordance with NFRC or must use default values from COMM Table 22.36-2.

Comments: _____

This door is exempt from the U-factor requirement.

Note: Site-constructed doors must be sealed with gasketing or weatherstripping or be covered with a storm door.

Floors:

- Floor 1: All-Wood Joist/Truss:Over Outside Air, R-19.0 cavity insulation

Comments: _____

Floor insulation is installed in permanent contact with the underside of the subfloor decking. The insulation is air sealed with air-impermeable insulation or by covering the insulation with a rigid material that is caulked or sealed to all framing members.

ATTENTION
See Cover Letter

Heating and Cooling Equipment:

- Furnace 1: Forced Hot Air: 95 AFUE or higher

Make and Model Number: _____

Air Leakage:

- Joints, penetrations, and all other such openings in the building envelope that are sources of air leakage are sealed.
- Recessed lights are either 1) Type IC rated with enclosures sealed/gasketed against leaks to the ceiling, or 2) Type IC rated and ASTM E283 labeled, or 3) installed inside an air-tight assembly with a 0.5" clearance from combustible materials and a 3" clearance from insulation.

Sunrooms:

- Sunrooms that are thermally isolated from the building envelope have a maximum fenestration U-factor of 0.50 and the maximum skylight U-factor of 0.75. New windows and doors separating the sunroom from conditioned space meet the building thermal envelope requirements.
- The temperature in the conditioned space is controlled as a separate zone or separate heating equipment exists.

Vapor Retarder:

- Installed on the warm-in-winter side of all framed ceilings, walls, and floors (exceptions apply, see COMM 22.38).
- The vapor retarder covers the exposed insulation and the interior face of the framing.
- The installed vapor retarder is continuous with all joints consisting of sheet material overlapped 6 inches and taped or sealed. Rips, punctures and voids in the vapor retarder are patched with vapor retarder materials and taped or sealed.
- Concrete slabs have vapor retarder directly under the slab or base course of the slab with edges extending to the top of the slab.

Materials Identification and Installation:

- Materials and equipment are installed in accordance with the manufacturer's installation instructions.
- Insulation is installed in substantial contact with the surface being insulated and in a manner that achieves the rated R-value.
- Materials and equipment are identified so that compliance can be determined.
- Manufacturer manuals for all installed heating and cooling equipment and service water heating equipment have been provided.
- Insulation R-values, glazing U-factors, and heating equipment efficiency are clearly marked on the building plans or specifications.

Duct Insulation:

- Ducts in unconditioned spaces or outside the building are insulated to at least R-8.

Duct Construction:

- Sections of ducts in unconditioned spaces and the unconditioned side of plenums are sealed (COMM 22.43).
- Air handlers, filter boxes, and duct connections to flanges of air distribution system equipment or sheet metal fittings are sealed and mechanically fastened.
- All joints, seams, and connections are made substantially airtight with tapes, gasketing, mastics (adhesives) or other approved closure systems. Tapes and mastics are rated UL 181A or UL 181B.
- Building framing cavities are not used as supply ducts.
- Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.
- Additional requirements for tape sealing and metal duct crimping are included by an inspection for compliance with the International Mechanical Code.

Temperature Controls:

- Thermostats exist for each separate HVAC system. A manual or automatic means to partially restrict or shut off the heating and/or cooling input to each zone or floor is provided.

Heating and Cooling Equipment Sizing:

- Additional requirements for equipment sizing are included by an inspection for compliance with the International Residential Code.

Pipe Insulation:

- All heating pipes in unheated spaces and all cooling pipes in uncooled spaces are insulated with a material providing a minimum thermal resistivity of R-4 (COMM 22.44).

Ventilation:

- Mechanical ventilation systems are "balanced". Passive intake air ducts providing makeup air for intermittent exhaust are sized to provide a minimum of 40% of the total air that would be exhausted with all the intermittent exhaust ventilation in the dwelling operating simultaneously (COMM 22.39).

Certificate:

- A permanent certificate is provided on or in the electrical distribution panel listing the predominant insulation R-values; window U-factors; type and efficiency of space-conditioning and water heating equipment.

NOTES TO FIELD: (Building Department Use Only)

ATTENTION
See Cover Letter



Wisconsin Energy Efficiency Certificate

Insulation Rating	R-Value
Ceiling / Roof	40.00
Wall	19.00
Floor / Foundation	7.50
Ductwork (unconditioned spaces):	_____

Glass & Door Rating	U-Factor	SHGC
Window	0.35	0.60
Door	0.36	NA

Heating & Cooling Equipment	Efficiency
Forced Hot Air Furnace	_____
Water Heater: _____	_____

Name: _____ Date: _____


Comments:

ATTENTION
See Cover Letter



Department of City Development
730 Washington Avenue, Racine, Wisconsin 53403
Phone: (262) 636-9151 FAX: (262) 635-5347

MEMORANDUM

DATE: October 10, 2012
TO: Ken Plaski, Chief Building Inspector
FROM: Brian F. O'Connell, Director 
SUBJECT: Permit Application for 61 Riverside Drive, Racine

You provided me with the permit application and supporting documents for the construction of a single-family home at this location. I have reviewed the application and recommend that the permit be issued with one condition.

As you know, the city is providing grant funds for the project. We recently negotiated an increase in the grant to allow the project to include a two-car garage. The two-car garage is not reflected in the plans because they pre-date the increase in funding.

I recommend that the site plan be updated to show the garage. With that change, the permit may be issued. I have no objection to the issuance of a footing and foundation permit for the house to allow construction to begin while the site plan is updated.

If you have any questions or need additional information, please contact me at extension 9478 or by e-mail.

Attachment – Permit Application

C: Rev. James White, Faith Builds
File 

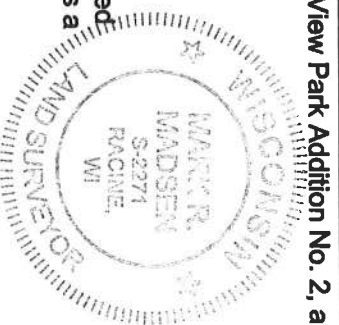
Plat of a survey for Jerry Cornett of Lot 3, River View Park Addition No. 2, a recorded plat in the City of Racine, Racine County, Wisconsin.

Proposed Finished Yard Grade 592.8
Proposed First Floor Elevation 595.5

Certificate

The above-described property has been surveyed under my direction and the map hereon drawn is a correct representation thereof.

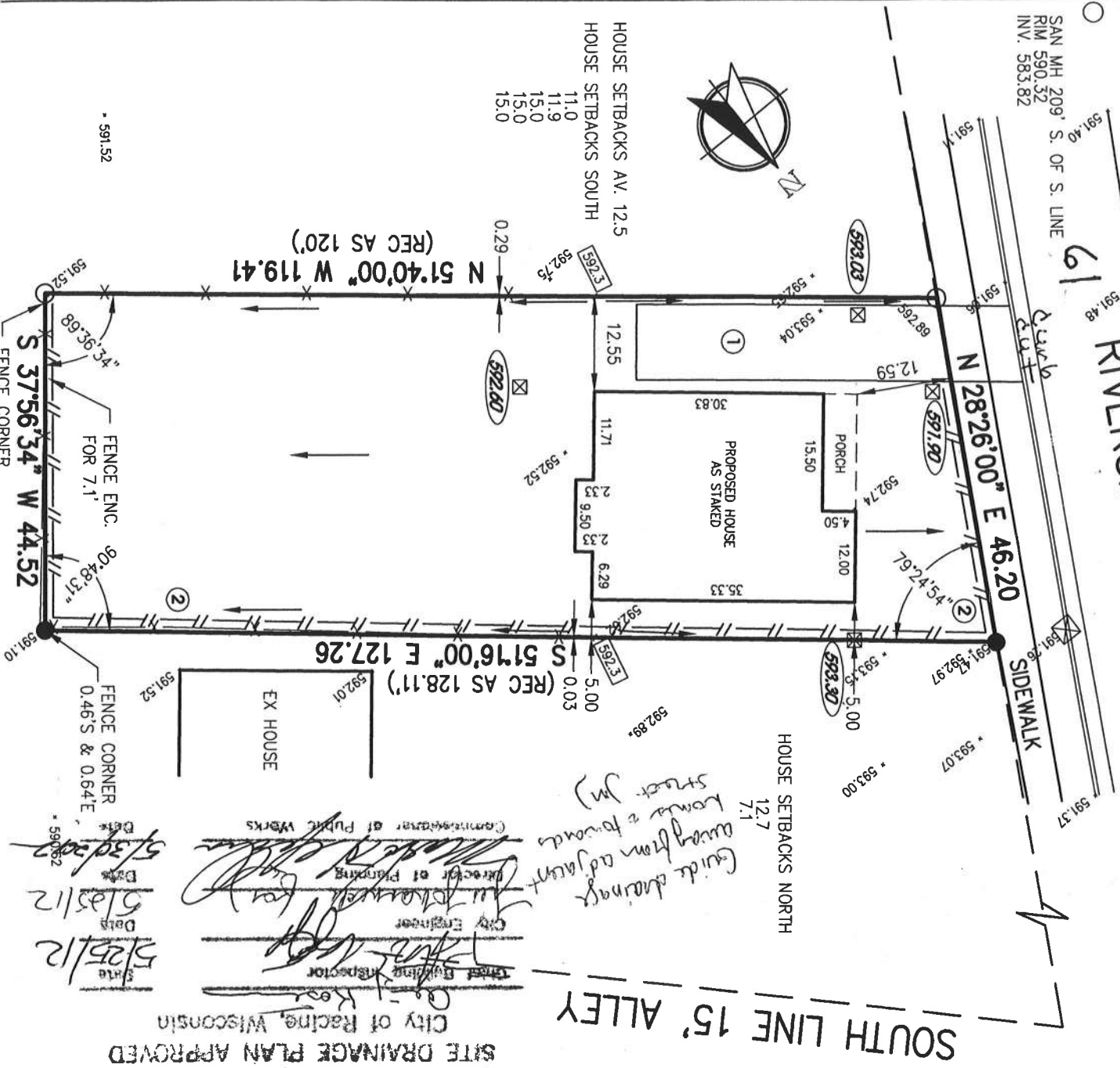
03/20/2012
REV. 04/18/12



SAN MH 161' N OF N. LINE
RIM 592.52
INV. 585.82

61 RIVERSIDE DR. 591.48
591.73 BM TOC
591.27

SAN MH 209' S. OF S. LINE
RIM 590.32
INV. 585.82



SITE DRAINAGE PLAN APPROVED
City of Racine, Wisconsin
Chief Building Inspector
City Engineer
Director of Planning
Commissioner of Public Works

5/25/12
5/25/12
5/30/2012

NOTES

BEARING BASE: PLAT OF RIVER VIEW PARK
ADDITION NO. 2.
ALL ELEVATIONS REFER TO NATIONAL
GEODETIC DATUM OF 1929.

LEGEND

- = SET 1" IRON PIPE
- = IRON STAKE FOUND
- ⊠ = OFFSET HUB
- ⊞ = OFFSET HUB ELEV.
- ⊞ = EX SPOT GRADE
- ⊞ = EX SPOT GRADE

- ① GRAVEL ACCESS DRIVE REQD. MIN 6" DEPTH, 2" TO 3" AGG. 10' WIDE X 50 L.F.
- ② SILT FENCE, 190 L.F. ± ALSO REQD. AT SPOIL STOCKPILE TOE SLOPE.

FIELD WORK 3-15-2012 BY FTH JWP
DRAWN 3-15-2012 BY SGB JER
SCALE 1" = 20'
SHEET 1 OF 1 SHEETS
JOB NO. 2012.0019.01



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors

1456 Horizon Blvd, Suite 200, Racine, WI, 53406 Tele: (262)634-5588 Fax: (262)634-5024 Website: www.nmbcsc.net

Exhibit B

Amended Project Budget and Timeline

The attached budget and timeline does not include the development fee of Sixteen Thousand Dollars (\$16,000), payable to Developer by the City upon completion of the Project per the requirements of Exhibit A.

Development fee is not reduced if there are cost savings; fee is not increased if there are cost overruns.

Project Budget
61 Riverside Drive
Racine, WI

<u>Item</u>	<u>HOME Funds</u>	<u>Other Sources</u>	<u>Total</u>
1 Property Acquisition	\$ -	1	\$ -
1 Permits	\$ 900	0	900
1 Survey	\$ 1,300	0	1,300
1 Excavation	\$ 3,500	0	3,500
1 Sewer & Water	\$ 10,000	0	10,000
1 Foundation	\$ 14,500	0	14,500
3 Carpentry Package	\$ 5,500	0	5,500
2 Roof	\$ 22,500	0	22,500
2 Framing	\$ 18,000	0	18,000
2 Electric	\$ 10,000	0	10,000
2 Plumbing	\$ 8,000	0	8,000
2 HVAC	\$ 6,500	0	6,500
3 Insulation	\$ 6,700	0	6,700
3 Drywall	\$ 9,000	0	9,000
3 Fixtures	\$ 3,000	0	3,000
4 Finish Carpentry	\$ 6,000	0	6,000
4 Flooring	\$ 5,800	0	5,800
5 Grading/Landscaping	\$ 4,500	0	4,500
4 Flatwork	\$ 2,700	0	2,700
3 General Contractor	\$ 7,500	0	7,500
4 Overhead/Administration	\$ 0	799	0
Interest	\$ 0	0	0
HOME TOTAL	\$ 145,900	800	\$146,700
1 Permits	\$ 600		600
5 Flatwork	\$ 2,500		2,500
6 Framing	\$ 4,500		4,500
6 Carpentry	\$ 1,000		1,000
6 Roofing	\$ 1,800		2,800
6 Garage Doors	\$ 800		800
6 Garage Door Opener	\$ 850		850
6 Finish Carpentry	\$ 1,250		1,250
Overhead	\$		
GARAGE TOTAL	\$ 13,300		\$13,300
GRAND TOTAL			\$160,000

*Numbers indicate payment schedule

*payment schedule and work completed are tentatively

*6 payment schedule

#1 done within 30 days of start

#3 completed within 30 days after #2

#5 completed within 15 days of #4

#2 completed within 30 days after #1

#4 completed within 30 days after #3

#6 completed within 15 days of #5