



CITY OF RACINE

APPLICATION FOR CONDITIONAL USE

Department of City Development
730 Washington Ave., Rm. 102
Racine, WI 53403
Phone: 262-636-9151
Fax: 262-635-5347

NOTE: Incomplete or illegible submittals will not be scheduled for Plan Commission or Common Council Consideration.

PLEASE CLEARLY PRINT ALL INFORMATION REQUESTED BELOW. **IF NOT APPLICABLE, INDICATE WITH A "N/A" IN THE BLANK:**

APPLICANT NAME: RACINE HABITAT for HUMANITY
ADDRESS: STREET 1501 VILLA ST CITY: RACINE STATE: WI ZIP: 53403
EMAIL ADDRESS: info@habitatracine.org
TELEPHONE: 262-637-9176 CELL PHONE: 262-770-0604 FAX: _____

AGENT NAME: JAN R. ROLAND
ADDRESS: STREET 4637 LATHROP AVE CITY: MT PLEASANT STATE: WI ZIP: 53403
EMAIL ADDRESS: jrroland46@hotmail.com
TELEPHONE: 262-770-0604 CELL PHONE: SAME FAX: NONE

ADDRESS OF PROPOSED CONDITIONAL USE: 1716 GENEVA ST.
CURRENT / MOST RECENT PROPERTY USE: single family residence
PROPOSED USE: single family residence
NUMBER OF LEGAL, ON-SITE PARKING SPACES: 3
NUMBER OF DWELLING UNITS: 1
SQUARE FEET OF BUILDING (PER FLOOR): 1500
SQUARE FEET TO BE USED FOR CONDITIONAL USE (PER FLOOR): 1500

NUMBER OF EMPLOYEES: FULL-TIME _____ PART -TIME: _____
PROPOSED HOURS/DAYS OF OPERATION: _____
ITEMS AVAILABLE TO CUSTOMERS BEYOND HOURS OF OPERATION (IE: ATM, VACUUM, FUEL PUMP, ETC.) _____

PLEASE CHECK THE APPROPRIATE BOX REGARDING YOUR INTEREST IN THE PROPERTY:

OWNER OPTION TO PURCHASE _____ LEASE _____ LAND CONTRACT _____ OTHER _____

OWNER & APPLICANT AUTHORIZATION

If you currently are not the owner of the property for which the Conditional Use is requested, the owner/s must also sign this form, or provide a separate written, dated, and signed statement that authorizes the applicant to process the request.

owner:
applicant: Date: 9/20/17

Signature: Jan Roland
Print Name: JAN ROLAND

Property Owner's Consent: Date: _____

Signature: _____
Print Name: _____

*****Please submit this application and submittal requirements together with a non-refundable fee of \$695.00. If request is submitted with a rezoning request, the combined non-refundable fee is \$1,120.00.***

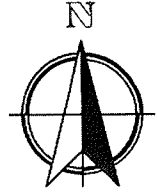
Go to Page 2 for Submittal Requirements)...

Plat of a survey for HABITAT FOR HUMANITY OF RACINE of the East 122.37 feet of Lot 17, Block 9, North Racine, a recorded plat, being part of the Southwest 1/4 of Section 4, Township 3 North, Range 23 East. Said land being in the City of Racine, County of Racine and state of Wisconsin.

Proposed Top of Foundation 627.7
Proposed Finished Yard Grade 627.0

Certificate
The above-described property has been surveyed under my direction and the map hereon drawn is a correct representation thereof to the best of my knowledge and belief.

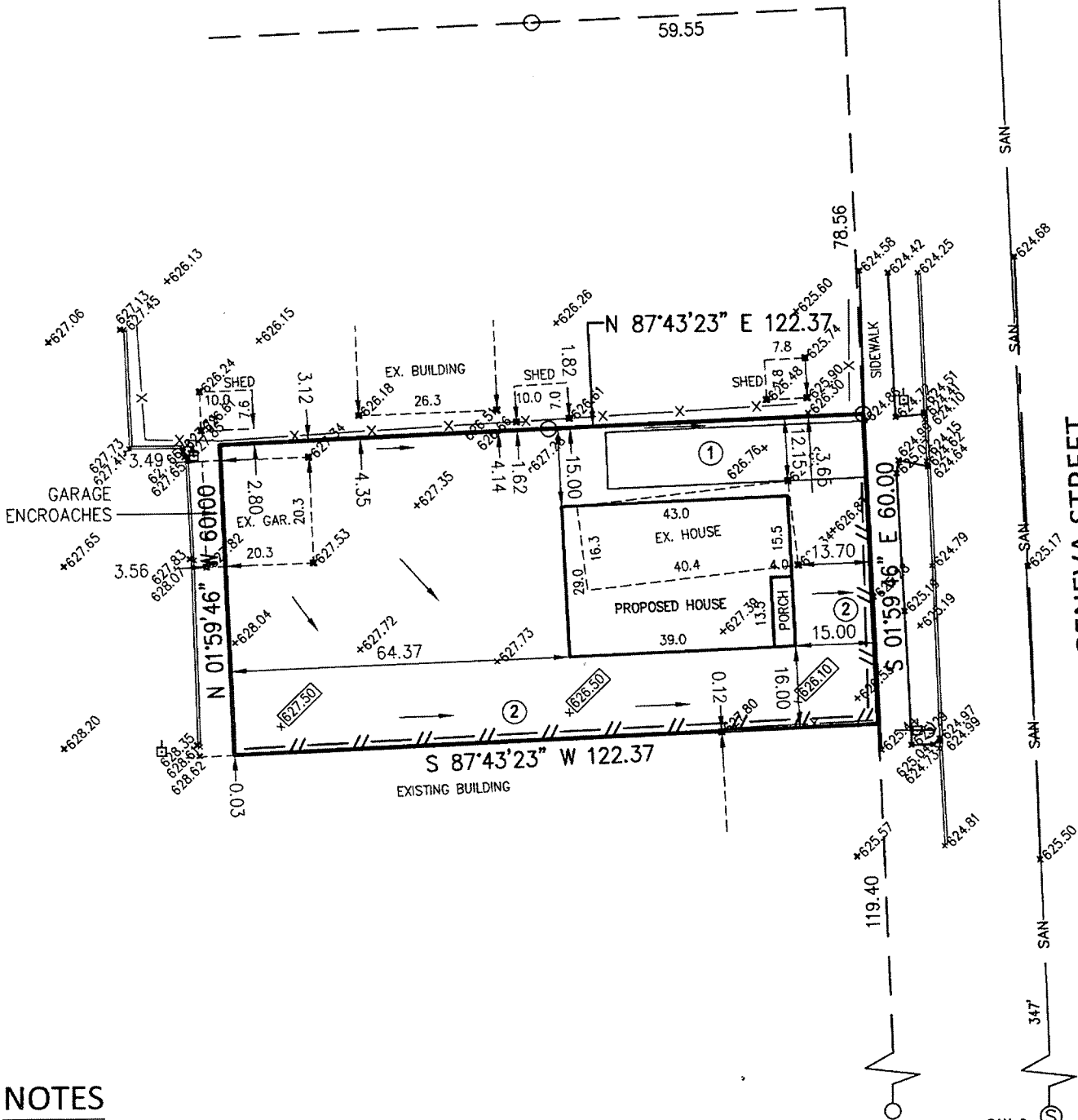
08/03/2017 *Mark R. Madsen*



SAN 1
RIM 624.49
IE. 8" N/S 611.99

HAGERER STREET

GENEVA STREET



SAN 2
RIM 626.02
IE. 8" N/S 613.42

NOTES

BEARING BASE: WEST LINE OF GENEVA ST.
ASSUMED TO BEAR S 01°59'46" E.

ALL ELEVATIONS REFER TO NATIONAL
GEODETIC DATUM OF 1929.

LEGEND

- = SET 1" IRON PIPE
- = IRON STAKE FOUND
- ⊥ = POWER POLE
- ← = GUY WIRE
- x- = FENCE
- ⊠ = OFFSET HUB
- 999.99 = OFFSET HUB ELEV.
- x 999.99 = EX. SPOT GRADE
- x 999.99 = PROP. SPOT GRADE

- ① GRAVEL ACCESS DRIVE REQ'D. MIN 6" DEPTH, 2" TO 3" AGG. 10' WIDE X 50 L.F.
- ② SILT FENCE, 160 L.F. ±, ALSO REQ'D. AT SPOIL STOCKPILE TOE SLOPE.

FIELD WORK 7-27-17 BY ETM WJB
DRAWN 8-1-17 BY SCB
SCALE 1" = 30'
SHEET 1 OF 1 SHEETS
JOB NO. 2017.0131.01

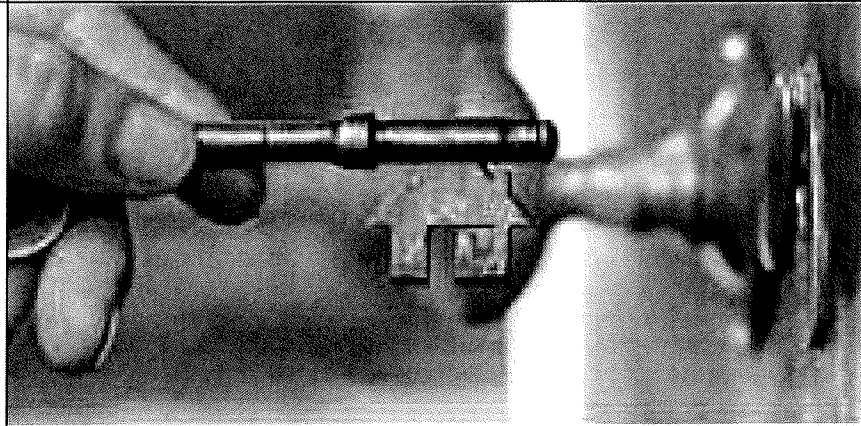


Nielsen Madsen + Barber

CIVIL ENGINEERS AND LAND SURVEYORS

1458 Horizon Blvd. Suite 200, Racine, WI. 53406

Tele: (262)634-5588 Website: www.nmbc.net



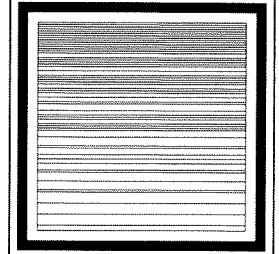
Racine
Habitat for Humanity®

Serving the Racine area in Southeastern Wisconsin

Project Name

Habitat Racine Ranch Home

SHEET INDEX		REVISIONS																											
NO.	DESCRIPTION	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28
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S-100	FOUNDATION PLAN																												
S-101	FIRST FLOOR FRAMING PLAN																												
S-102	ROOF FRAMING PLAN																												
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A-201	EXTERIOR ELEVATIONS																												
A-301	SECTIONS																												
E-101	ELECTRICAL PLANS																												
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Donald J. Frost, Jr., Architect
 State of Wisconsin License
 A-5319
 414-555-1001
 djfrostjr@gmail.com

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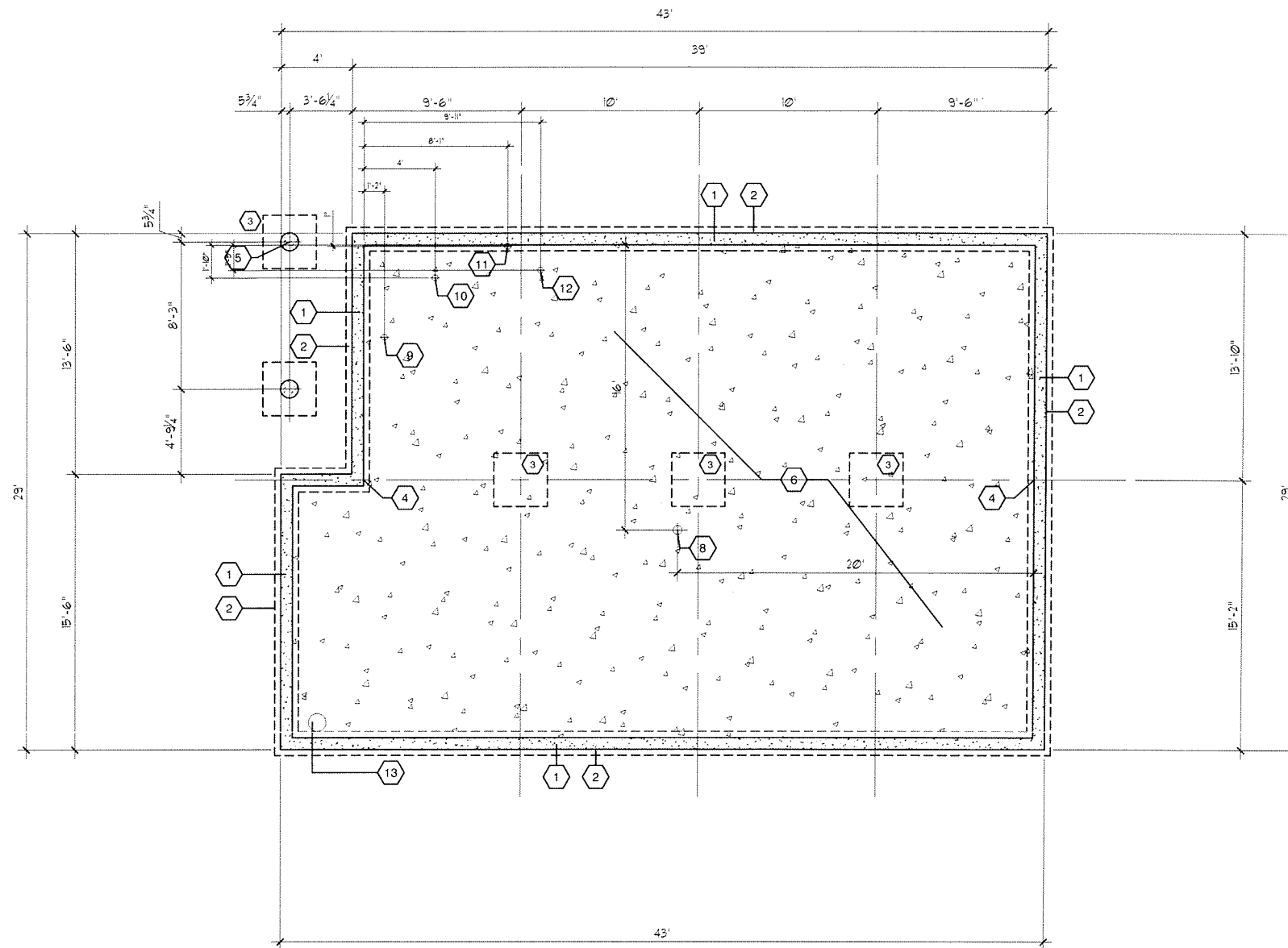


PROJECT ADDRESS:

Habitat Racine Ranch Home
 Racine, Wisconsin

08.09.2017 d.j.frost,jr.

COVER SHEET
G-001
 2017-4

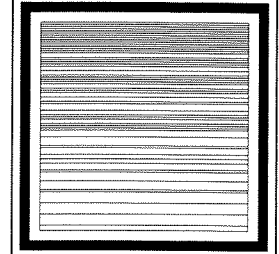


REFERENCE KEY NOTES

- 1 8" Poured concrete foundation wall reinf. w/ 2 #5 bars cont. and lapped top and bottom
- 2 16" wide x 8" thick poured concrete footing w/ 2 #5 bar cont. and lapped w/ #3 ties @ 10' o.c.
- 3 3' x 3' x 12" thick poured concrete footing reinf. w/ 3 #5 bars each way 1000# soil bearing
NOT REQUIRED FOR: 2000# OR 3000# SOIL BEARING
- 4 BEAM POCKET - 8" HIGH, 8 1/2" LONG, 4" DEEP
- 5 12" DIA. Poured concrete SON-O-TUBE 1000# SOIL BEARING
24" DIA. Poured concrete SON-O-TUBE 2000# SOIL BEARING
16" DIA. Poured concrete SON-O-TUBE 3000# SOIL BEARING
- 6 3" Poured concrete floor reinf. w/ w1.4xw1.4 WWF on 2" sand layer over 6 mil cross laminated virgin high density polyethylene vapor barrier over 4" compacted gravel fill
- 7 NOT USED
- 8 FLOOR DRAIN
- 9 BUILDING SANITARY SYSTEM CLEAN OUT - VERIFY LOCATION W/ SITE CONDITIONS
- 10 ROUGH-IN DRAIN FOR FUTURE BAThtub
- 11 ROUGH-IN SANITARY DRAIN FOR FUTURE SINK
- 12 ROUGH-IN SANITARY DRAIN FOR FUTURE TOILET
- 13 SUMP CROCK AND PUMP - VERIFY WITH SITE CONDITIONS

FOUNDATION NOTES

- 1. ALL FOOTING SHALL REST ON VIRGIN, UNDISTURBED SOIL.
- 2. ASSUMED SOIL SHALL BE SAND OR GRAVEL, WITH MINIMUM TRACES OF DRY CLAY, WITH A MINIMUM BEARING CAPACITY OF 2000PSF
- 3. PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS AND ABUTTING CONCRETE WALLS
- 4. FOOTING SIZES SHOWN ARE ONLY TYPICAL FOR STATED SOIL PRESSURES AND CONTINENT COMPACTION, WHICHEVER IS MORE RESTRICTIVE
- 5. CONTRACTOR TO VERIFY FOOTING DEPTHS WITH LOCAL FROST REQUIREMENTS OR EXISTING SOIL CONDITIONS, WHICHEVER IS MORE RESTRICTIVE
- 6. PROVIDE FLOOR DRAIN NEAR HVAC UNIT. VERIFY LOCATION WITH HVAC CONTRACTOR
- 7. FOLLOW DIMENSIONS ON PLANS. EXTERIOR DIMENSIONS ARE FROM THE OUTSIDE FACE OF THE CONCRETE WALL. INTERIOR DIMENSIONS ARE FROM THE INTERIOR FACE OF THE CONCRETE WALL.



Donald J. Frost, Jr., Architect
 State of Wisconsin License
 A-3519
 414-353-1001
 djfrostjr@gmail.com

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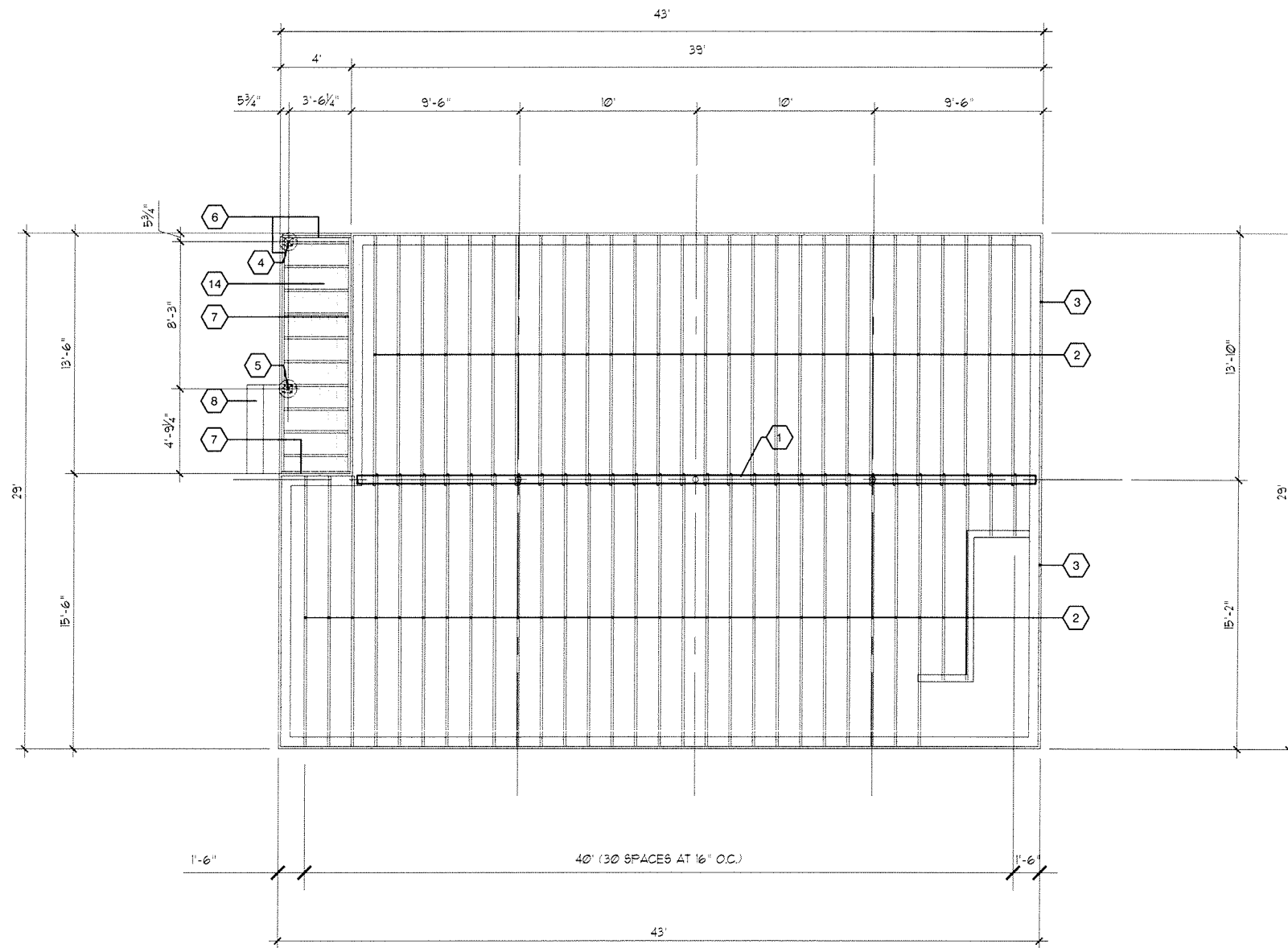
Habitat Racine Ranch Home
 Racine, Wisconsin

08.09.2017 d.j.frost,jr.

FOUNDATION PLAN

S-100

2017-4

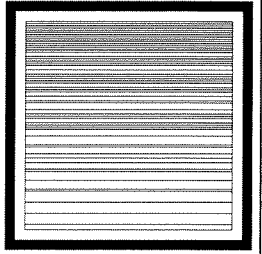


REFERENCE KEY NOTES

- 1 5 1/2" X 9" GLUE LAM BEAM
- 2 2X10 WOOD JOISTS - SEE PLAN FOR SPACING DIMENSIONS
- 3 2X10 WOOD RIM JOIST
- 4 6X6 WOOD PORCH POSTS
- 5 6X6 WOOD DECK POSTS - 40 1/2" ABOVE DECK BOARDS
- 6 (2) - 2X8 WOOD RIM JOISTS
- 7 2X6 WOOD JOIST LAGGED TO HOUSE RIM JOIST
- 8 WOOD STAIRS - VERIFY FRAMING AND DIMENSIONS WITH FINAL GRADE
- 9 1/4" X 6 DECK BOARDS WITH PICTURE FRAME AT EDGES

FOUNDATION NOTES

1. FOLLOW DIMENSIONS ON PLANS. EXTERIOR DIMENSIONS ARE FROM THE OUTSIDE FACE OF THE CONCRETE/STUD WALLS



Donald J. Frost, Jr., Architect
 State of Wisconsin License
 A-5519
 414-533-1001
 djfrostjr@gmail.com

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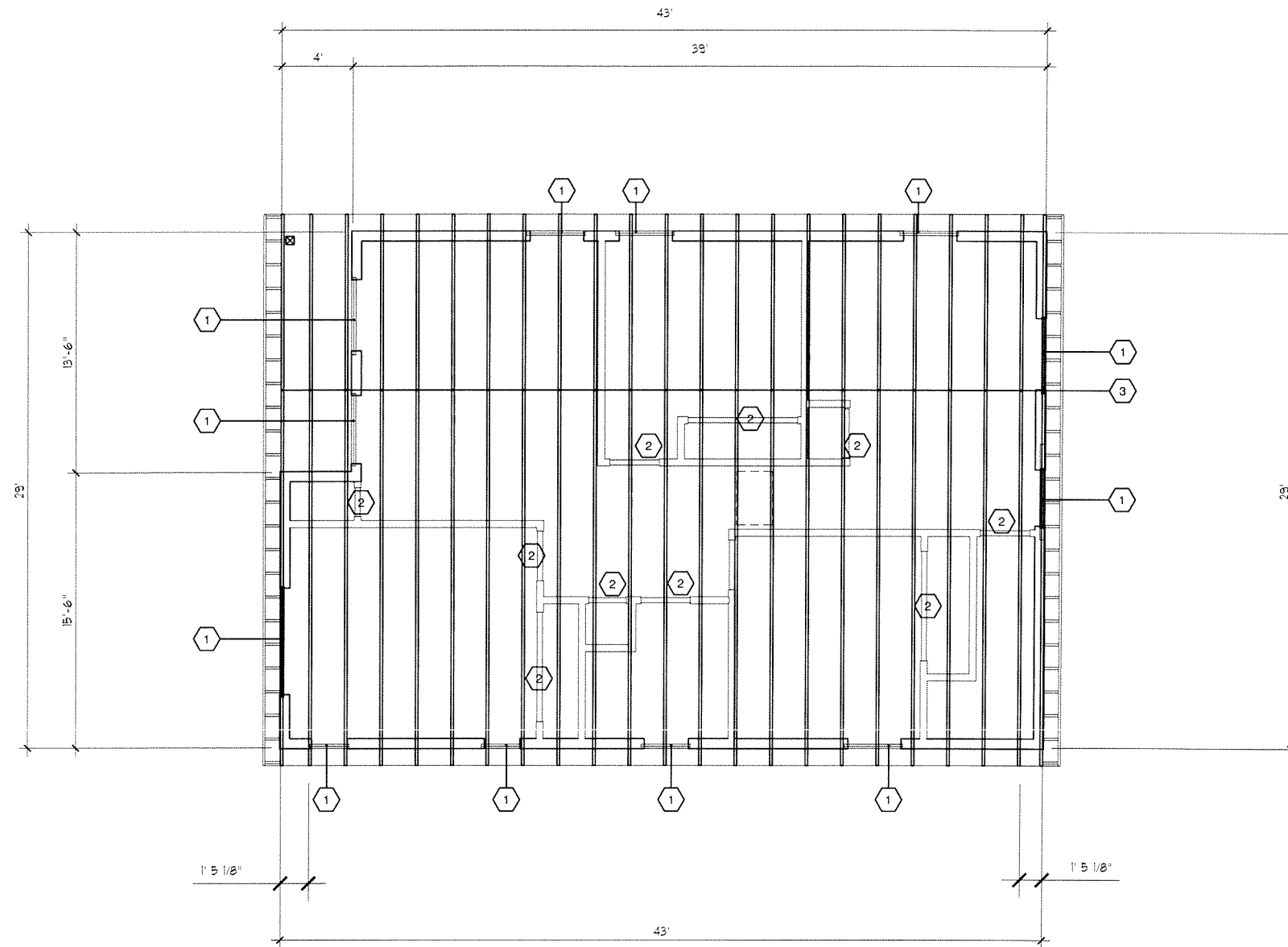
Habitat Racine Ranch Home
 Racine, Wisconsin

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FIRST FLOOR FRAMING PLAN

S-101

2017-4

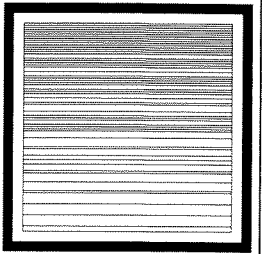


REFERENCE KEY NOTES

- ① FIRST FLOOR EXTERIOR WINDOW/DOOR HEADERS (2) 2X12'S - SEE SECTIONS FOR ADDITIONAL INFORMATION
- ② INTERIOR DOOR HEADERS FLAT 2X4 WITH STUDS ABOVE
- ③ ROOF TRUSSES @ 24" O.C.

FRAMING NOTES

1. FOLLOW DIMENSIONS ON PLANS. EXTERIOR DIMENSIONS ARE FROM THE OUTSIDE FACE OF THE STUD WALLS



Donald J. Frost, Jr., Architect
 State of Wisconsin License
 A-5319
 414-333-1001
 djfrostjr@gmail.com

REVISIONS:

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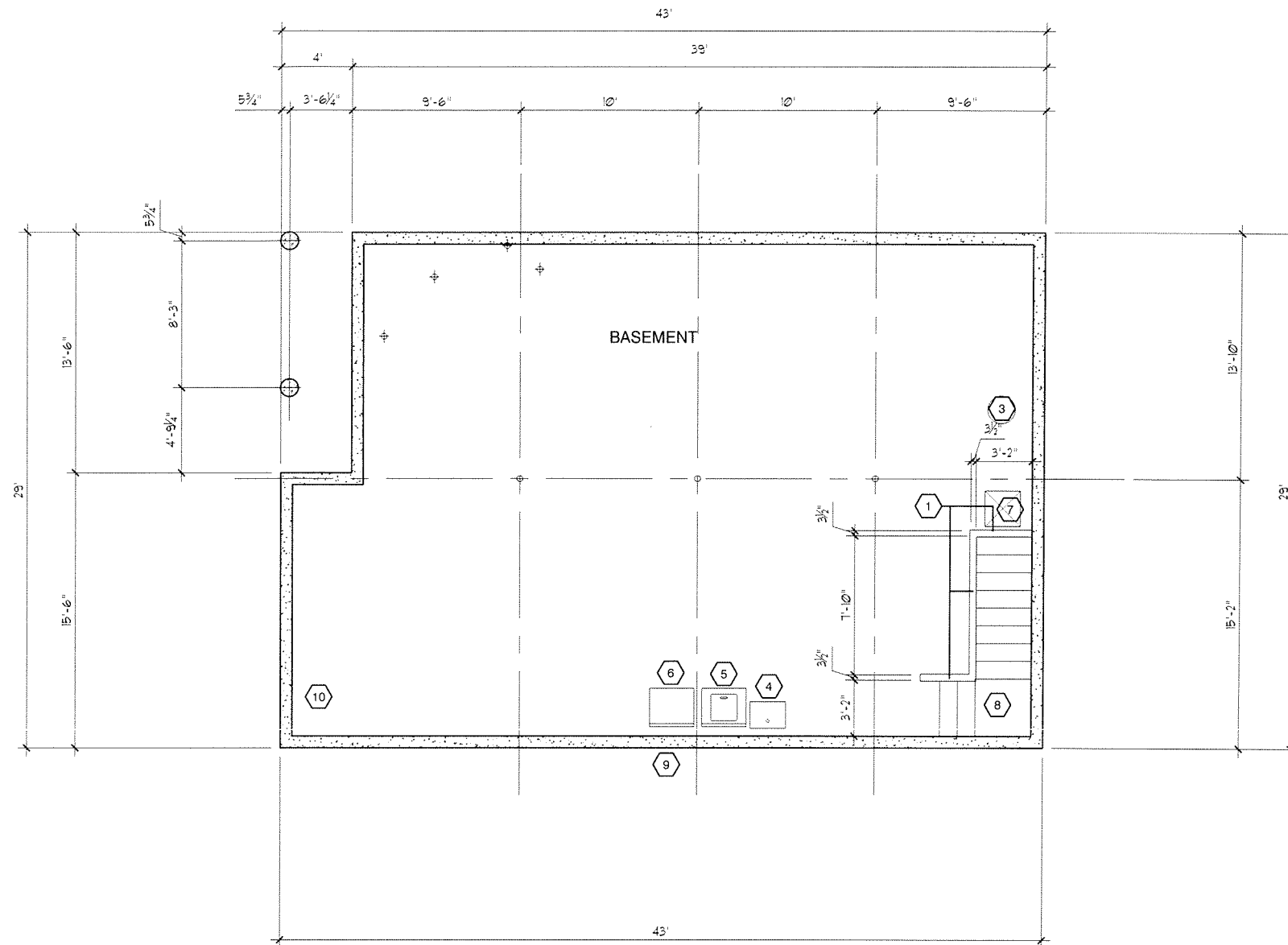
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 Racine, Wisconsin

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ROOF FRAMING PLAN

S-103

2017-4

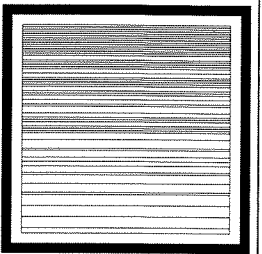


REFERENCE KEY NOTES

- 1 2X4 WOOD STUD WALL W/ 1/2" DRYWALL ONE SIDE
- 2 2X4 WOOD STUD WALL W/ 3 1/2" - R=13 INSULATION - AND TYVEK
- 3 WATER HEATER - VERIFY GAS OR ELECTRIC
- 4 FIBERGLASS LAUNDRY TUB
- 5 WASHER
- 6 DRYER - VERIFY GAS OR ELECTRIC
- 7 FURNACE
- 8 WOOD STAIR UNIT - 16 RISERS @ 7 1/2" 15 TREADS @ 11"
- 9 4" VENT FOR DRYER
- 10 SUMP CROCK AND PUMP - VERIFY WITH SITE CONDITIONS

CONSTRUCTION NOTES

- 1. FOLLOW DIMENSIONS ON PLANS. INTERIOR DIMENSIONS ARE FROM THE INTERIOR FACE OF STUD (ON EXTERIOR WALL) TO FACE OF STUD. ALL OTHER INTERIOR DIMENSIONS ARE FROM THE FACE OF STUD TO THE FACE OF STUD.
- 2. ALL INTERIOR WALLS TO BE COVERED WITH 1/2" DRYWALL.
- 3. HANDRAILS SHALL BE MOUNTED 32" - 34" ABOVE NOSING OF STAIRS.



Donald J. Frost, Jr., Architect
 State of Wisconsin License
 A-5519
 414-333-1001
 djfrostjr@gmail.com

REVISIONS:	
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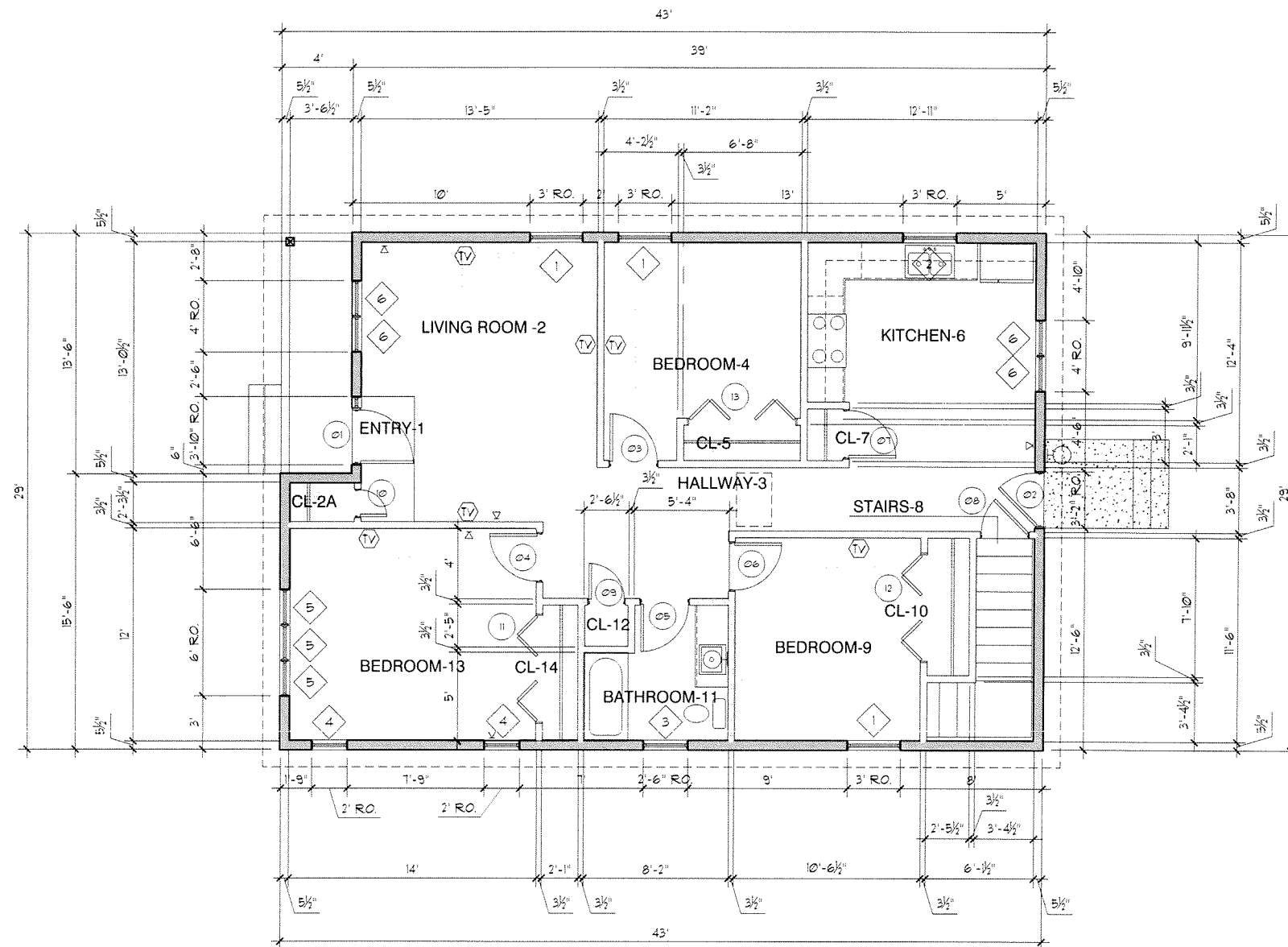


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Habitat Racine Ranch Home
 Racine, Wisconsin

08.09.2017 d.j.frost,jr.

BASEMENT FLOOR PLAN
A-100
2017-4



REFERENCE KEY NOTES

- 1 EXTERIOR 2X6 WOOD STUD WALL W/ 6" R=19 INSULATION - VAPOR BARRIER - 1/2" DRYWALL INTERIOR AND 3/2" PLYWOOD EXTERIOR AND 1/2" EXTRUDED INSULATION
- 2 2X4 WOOD STUD WALL W/ 1/2" DRYWALL EACH SIDE
- 3 2X4 WOOD STUD WALL W/ 1/2" DRYWALL EACH SIDE AND 3 1/2" SOUND ATTENUATING INSULATION
- 4 INTERIOR CASING/TRIM - PICTURE FRAMED

CABINET NOTES

- 1. CABINETS TO HAVE HALF OVERLAY, FLAT PANEL DOOR
- 2. CABINETS WITH EXPOSED SIDES ARE TO HAVE PLYWOOD ENDS
- 3. PROVIDE SHOE MOLDING FOR ALL CABINETS
- 4. CONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS PRIOR TO FABRICATION

CONSTRUCTION NOTES

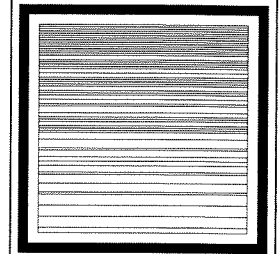
- 1. FOLLOW DIMENSIONS ON PLANS. INTERIOR DIMENSIONS ARE FROM THE INTERIOR FACE OF STUD (ON EXTERIOR WALL) TO FACE OF STUD. ALL OTHER INTERIOR DIMENSIONS ARE FROM THE FACE OF STUD TO THE FACE OF STUD.
- 2. EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF STUD TO CENTER LINE OF WINDOWS/DOORS OR ROUGH OPENING OF WINDOWS/DOORS
- 3. SEE WINDOW AND DOOR SCHEDULE FOR ADDITIONAL INFORMATION
- 4. DO NOT SCALE DRAWINGS - FOLLOW DIMENSIONS SHOWN ON DRAWINGS
- 5. VERIFY ALL CABINETRY DIMENSIONS PRIOR TO FABRICATION
- 6. ALL INTERIOR WALLS TO BE COVERED WITH 1/2" DRYWALL.
- 7. ALL INTERIOR CEILINGS TO BE COVERED WITH 5/8" DRYWALL
- 8. ALL BATHROOM WALLS TO BE COVERED WITH 1/2" WATER RESISTANT DRYWALL
- 9. ALL BATHROOM CEILING TO BE COVERED WITH 5/8" WATER RESISTANT DRYWALL.
- 10. SOUND ATTENUATING BATT INSULATION TO BE INSTALLED IN WALLS, FLOORS AND CEILINGS OF BATHROOM
- 11. HANDRAILS SHALL BE MOUNTED 32" - 34" ABOVE NOSING OF STAIRS.

SCHEDULES

WINDOW SCHEDULE						
MARK	SIZE		TYPE	NOTES	R.O.	MARK
	WIDTH	HEIGHT				
1	2'-0"	5'-4"	DOUBLE HUNG	-	30' X 66'	1
2	2'-0"	7'-6"	DOUBLE HUNG	-	36' X 42'	2
3	2'-0"	5'-4"	DOUBLE HUNG	-	30' X 66'	3
4	2'-0"	5'-4"	DOUBLE HUNG	-	24' X 66'	4
5	2'-0"	5'-4"	DOUBLE HUNG	3-WINDOWS GANGED	60' X 66'	5
6	2'-0"	5'-4"	DOUBLE HUNG	2-WINDOWS GANGED	48' X 66'	6

DOOR AND FRAME SCHEDULE											
DOOR #	TYPE	SIZE	DOOR			FRAME			R.O.	DOOR #	
			PR	WH	MATERIAL	SWING	GLASS SIZE	FINISH			MATERIAL
01	EXTERIOR FRONT - HINGED SINGLE	2'-0" x 6'-8"	WOOD	Rght	SEE ELEVATIONS	PAINT	WOOD	PAINT	38' X 82'	01	
02	EXTERIOR REAR - HINGED SINGLE	2'-0" x 6'-8"	WOOD	Lft	SEE ELEVATIONS	PAINT	WOOD	PAINT	38' X 82'	02	
03	INTERIOR - HINGED SINGLE	2'-0" x 6'-8"	WOOD	Lft		PAINT	WOOD	PAINT	34' X 82'	03	
04	INTERIOR - HINGED SINGLE	2'-0" x 6'-8"	WOOD	Rght		PAINT	WOOD	PAINT	34' X 82'	04	
05	INTERIOR - HINGED SINGLE	2'-0" x 6'-8"	WOOD	Rght		PAINT	WOOD	PAINT	34' X 82'	05	
06	INTERIOR - HINGED SINGLE	2'-0" x 6'-8"	WOOD	Lft		PAINT	WOOD	PAINT	34' X 82'	06	
07	INTERIOR - HINGED SINGLE	2'-0" x 6'-8"	WOOD	Rght		PAINT	WOOD	PAINT	34' X 82'	07	
08	INTERIOR - HINGED SINGLE	2'-0" x 6'-8"	WOOD	Rght		PAINT	WOOD	PAINT	34' X 82'	08	
09	INTERIOR - HINGED SINGLE	2'-0" x 6'-8"	WOOD	Lft		PAINT	WOOD	PAINT	34' X 82'	09	
10	INTERIOR - HINGED SINGLE	1'-6" x 6'-8"	WOOD	Rght		PAINT	WOOD	PAINT	18' X 82'	10	
11	INTERIOR - BI-FOLD	6'-0" x 6'-8"	WOOD			PAINT	WOOD	PAINT	74' X 82'	11	
12	INTERIOR - BI-FOLD	6'-0" x 6'-8"	WOOD			PAINT	WOOD	PAINT	74' X 82'	12	
13	INTERIOR - BI-FOLD	6'-0" x 6'-8"	WOOD			PAINT	WOOD	PAINT	74' X 82'	13	

ROOM NAME	FLOOR	BASE		WALLS		CEILING		FINISHES		NOTES
		Material	Finish	Material	Finish	Material	Finish	Cabinets	Counter Top	
BASEMENT	CONCRETE			CONCRETE						
ENTRY 1	WOOD	LAMINATE	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT		
LIVING ROOM 2	WOOD	CARPET	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT		PAINTED WOOD SHELF AND POLE
CL 2A	WOOD	LAMINATE	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT		
HALLWAY 3	WOOD	CARPET	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT		PAINTED WOOD SHELF AND POLE
BEDROOM 4	WOOD	CARPET	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT		PAINTED WOOD SHELF AND POLE
BEDROOM 13	WOOD	CARPET	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT		PAINTED WOOD SHELF AND POLE
BATHROOM 11	WOOD	CARPET	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	WOOD LAMINATE	PAINTED WOOD SHELF AND POLE
BEDROOM 9	WOOD	CARPET	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT		PAINTED WOOD SHELF AND POLE
CL 10	WOOD	CARPET	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT		PAINTED WOOD SHELF AND POLE
STAIRS 8	WOOD		WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT		PAINTED WOOD SHELF AND POLE
KITCHEN 6	WOOD	CARPET	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	WOOD LAMINATE	PAINTED WOOD SHELF AND POLE
BEDROOM 13	WOOD	CARPET	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT		PAINTED WOOD SHELF AND POLE
BEDROOM 9	WOOD	CARPET	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT		PAINTED WOOD SHELF AND POLE
CL 14	WOOD	CARPET	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT		PAINTED WOOD SHELF AND POLE



Donald J. Frost, Jr., Architect
 State of Wisconsin License
 A-5319
 414-333-1001
 djfrostjr@gmail.com

REVISIONS:

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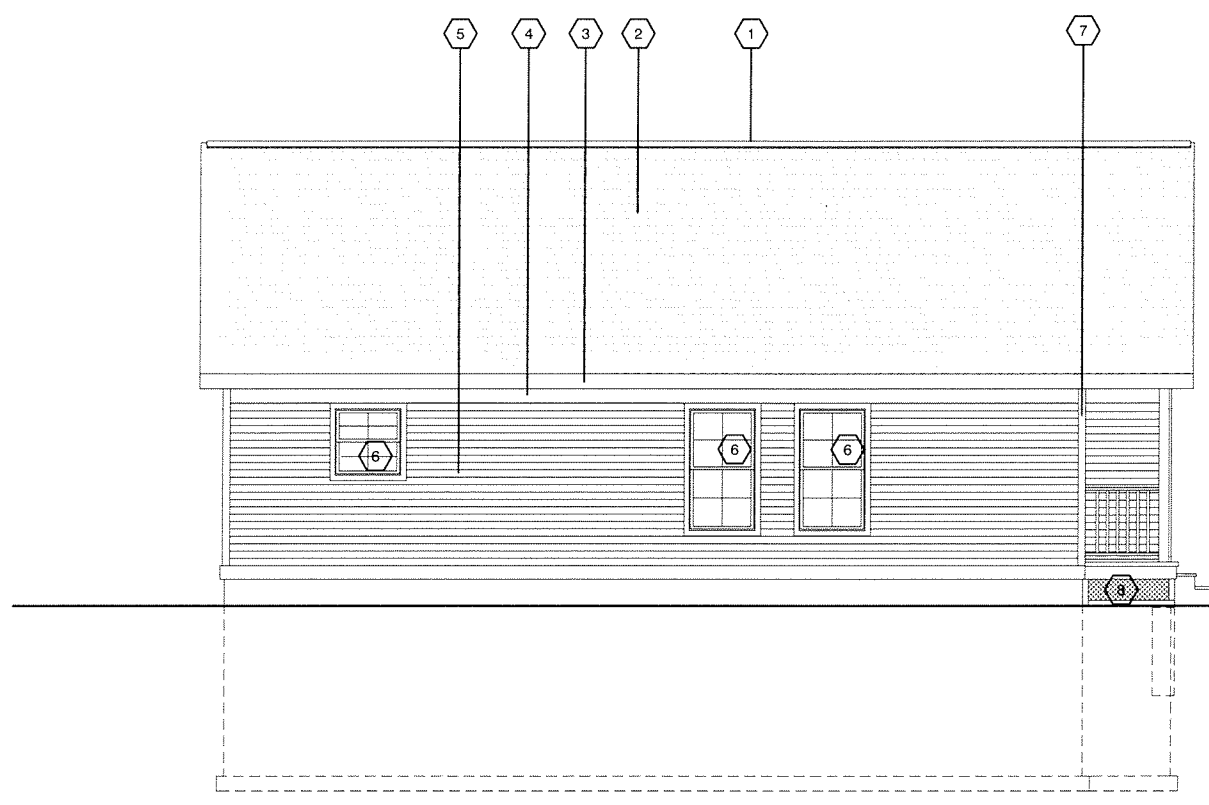


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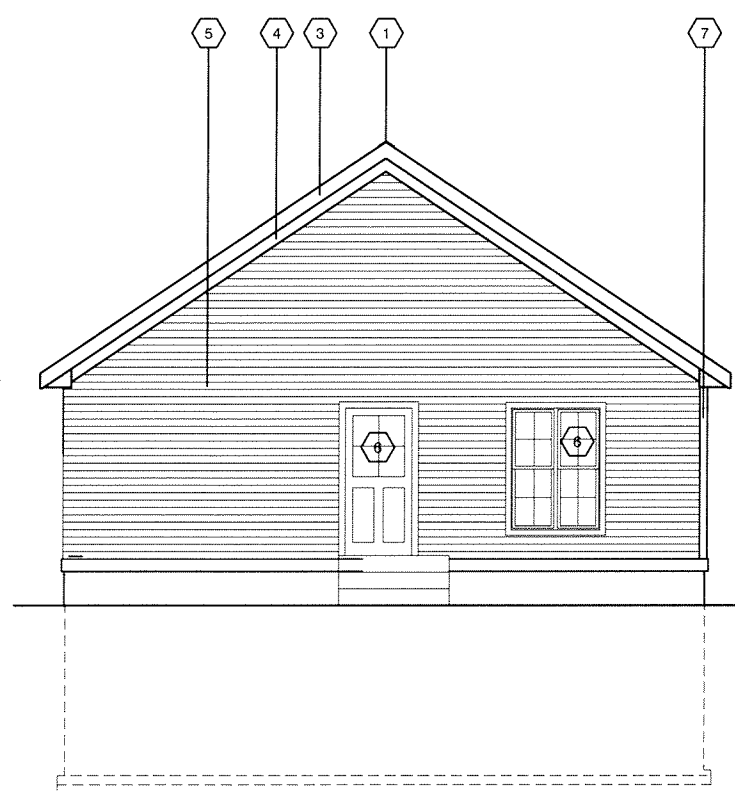
Habitat Racine Ranch Home
 Racine, Wisconsin

FIRST FLOOR PLAN

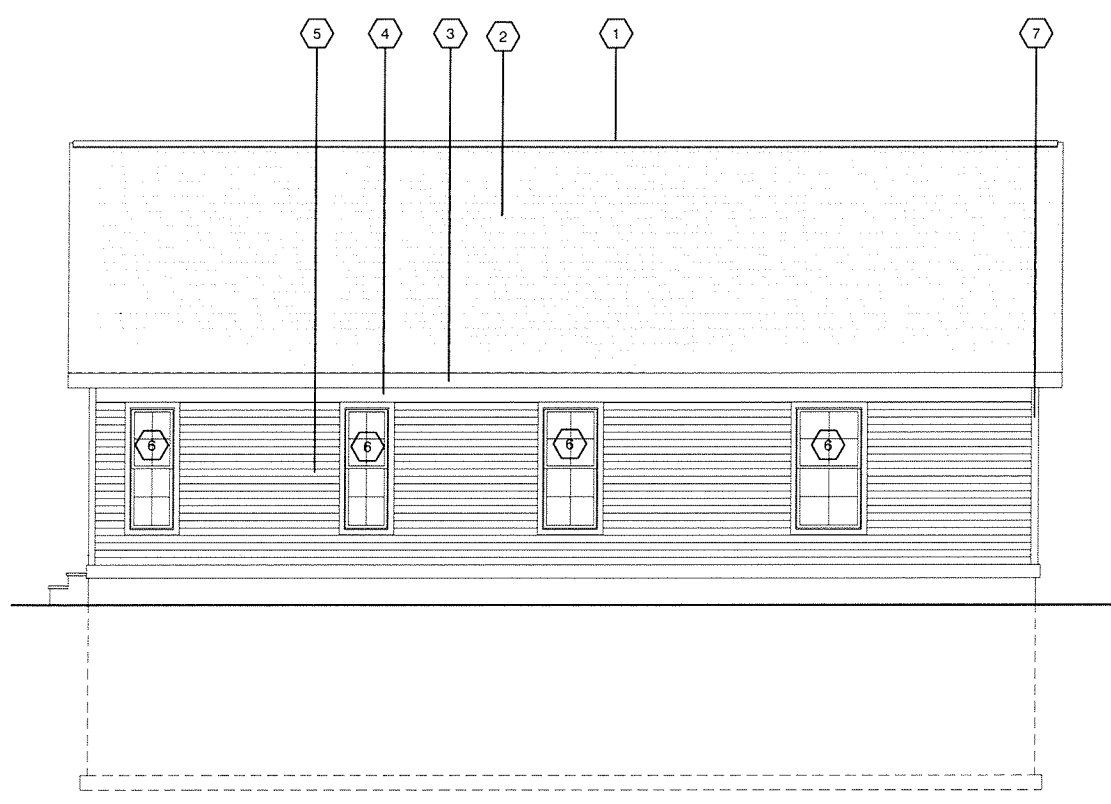
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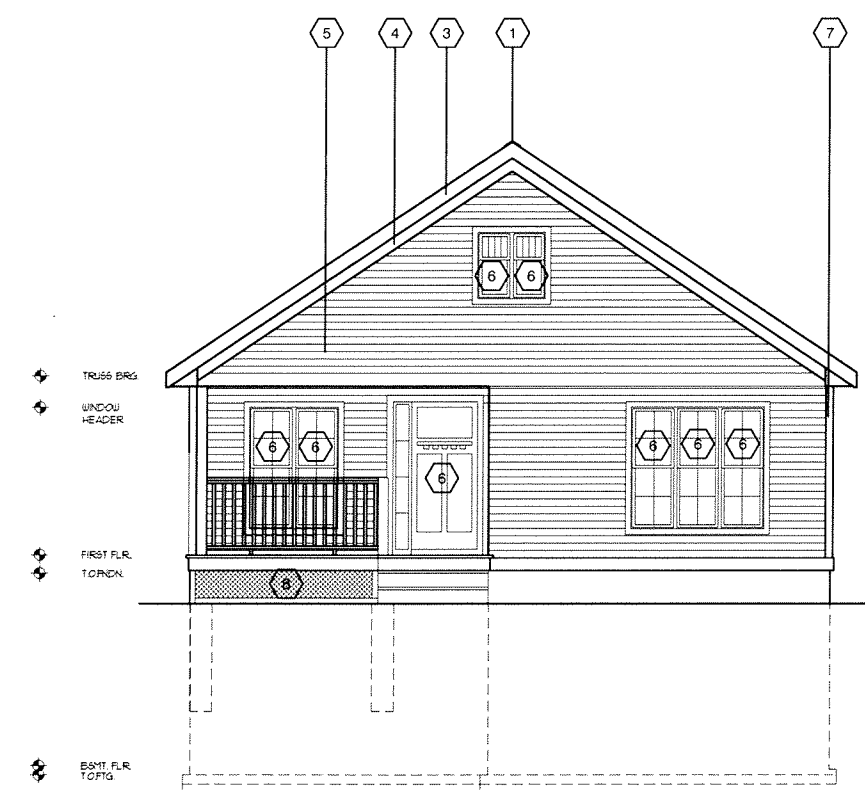
LEFT SIDE ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION



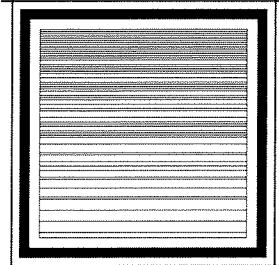
FRONT ELEVATION

REFERENCE KEY NOTES

- 1 CONTINUOUS RIDGE VENT
- 2 30 YEAR FIBERGLASS SHINGLE
- 3 1X8 FASCIA
- 4 1/4" LP SMART TRIM
- 5 4" EXPOSURE VINYL SIDING
- 6 WOOD WINDOW/DOOR W/ LP SMART TRIM HEAD, SILL AND JAMBS AND FLASHING W/ DRIP AT TOP
- 7 VINYL TRIM CORNER BOARDS
- 8 LATTICE PANELS

ELEVATION NOTES

1. DOWNSPOUTS NOT SHOWN - CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE LOCATIONS WITH HOUSE OWNER
2. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS. VENTS TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOUSE, AND SHALL BE PRIMED AND PAINTED TO MATCH THE ROOF COLOR
3. PROVIDE ATTIC VENTING PER LOCAL CODE REQUIREMENTS



Donald J. Frost, Jr., Architect
 State of Wisconsin License
 A-5319
 414-555-1001
 djfrostjr@gmail.com

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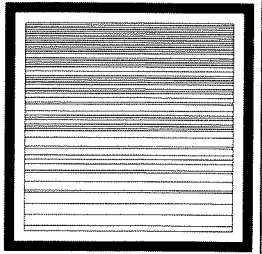
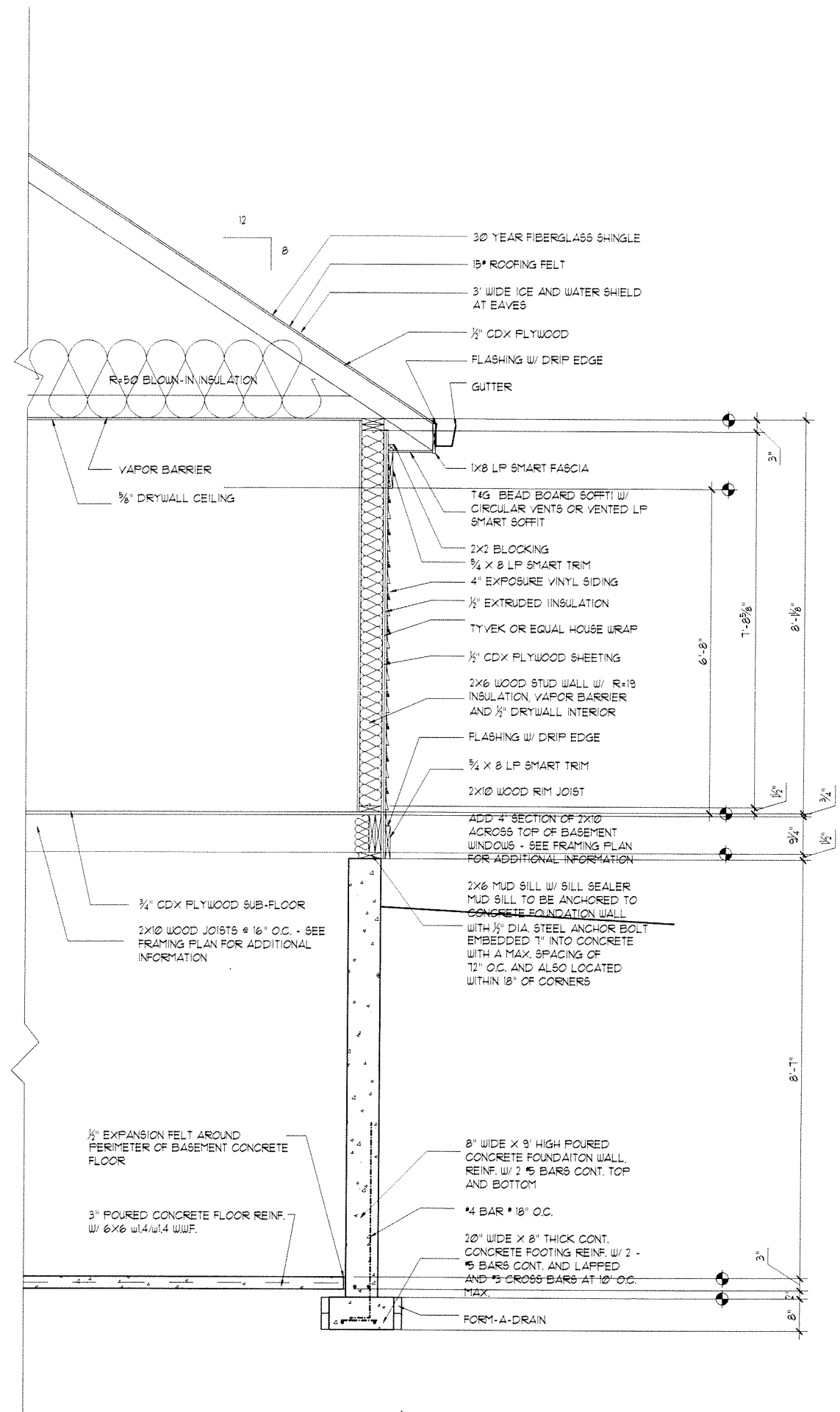
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EXTERIOR ELEVATIONS

A-201

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Donald J. Frost, Jr., Architect
 State of Wisconsin License
 A-5319
 414-533-1001
 djfrostjr@gmail.com

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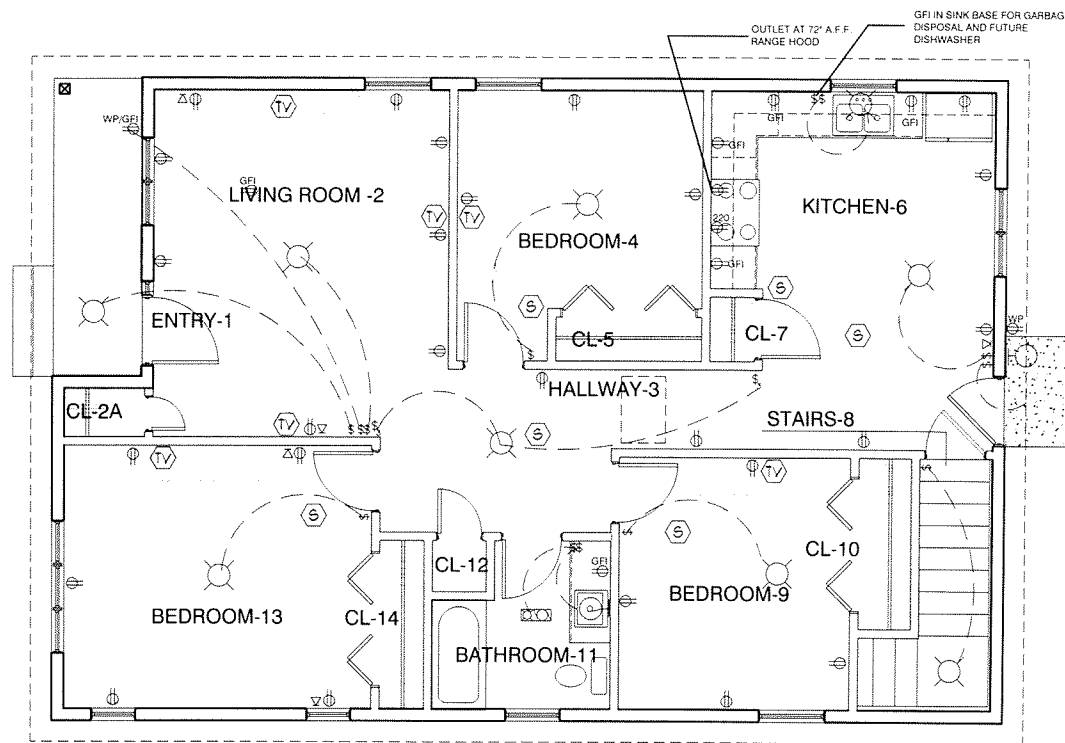


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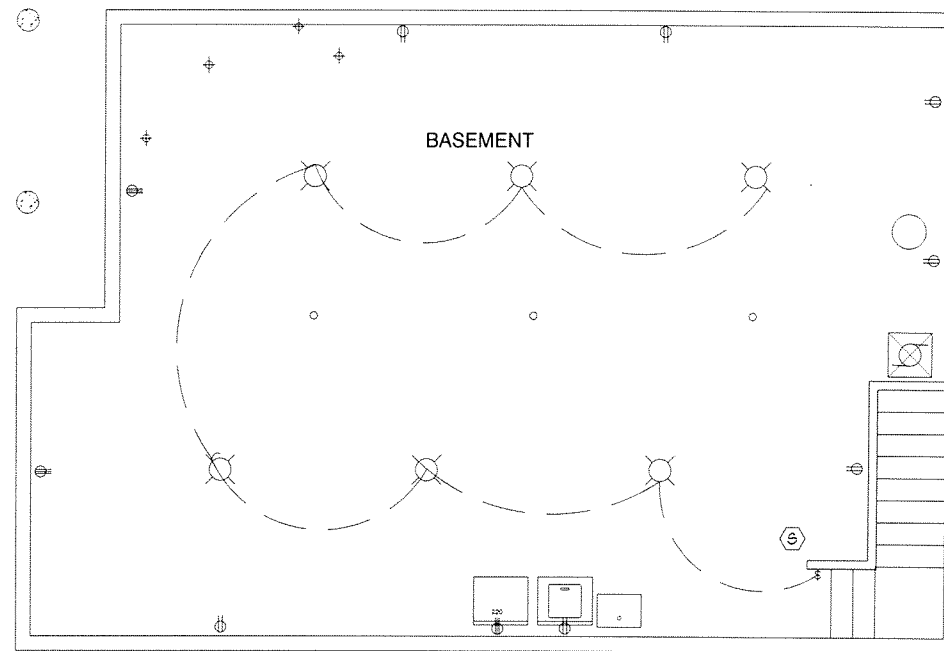
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SECTIONS
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SECTIONS 3/4" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN 1/4" = 1'-0"



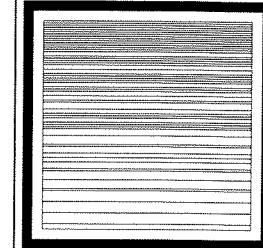
BASEMENT ELECTRICAL PLAN 1/4" = 1'-0"

ELECTRICAL SYMBOL KEY

- ⊕ STANDARD DUPLEX RECEPTACLE
- ⊕ GFI DUPLEX RECEPTACLE
- ⊕ 220V DUPLEX RECEPTACLE
- ⊕ WP GFI DUPLEX RECEPTACLE
- ⊕ PHONE JACK
- ⊕ TV/CABLE OUTLET
- ⊕ SINGLE POLE SWITCH
- ⊕ THREE WAY SWITCH
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ SMOKE DETECTOR
- ⊕ MOTOR
- ⊕ COMBINATION FAN/LIGHT

ELECTRICAL NOTES

1. ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE AND ANY APPLICABLE LOCAL CODES.
2. PROVIDE SMOKE DETECTORS, NATURAL GAS DETECTORS, AND CARBON MONOXIDE MONITORING ON ALL FLOORS AND IN EACH BEDROOM. VERIFY WITH LOCAL CODE REQUIREMENTS AND SECURITY SYSTEM CONTRACTOR IF APPLICABLE.
3. PROVIDE GROUND FAULT PROTECTION PER CODE AND ON ALL KITCHEN, BATH, AND GARAGE OUTLETS.
4. PROVIDE FOR OUTLET ABOVE RANGE FOR MICROWAVE OR HOOD VENT IF FINAL LAYOUT REQUIRES.
5. LIGHT SWITCH IN BATH #2 THAT CONTROLS LIGHT OVER MIRROR ALSO CONTROLS CLOSET #7 LIGHT
6. SEE B/A-301 FOR LOCATION OF WALL LIGHTS ON LANDING ON STAIR #2



Donald J. Frost, Jr., Architect
 State of Wisconsin License
 A-5519
 414-533-1001
 djfrostjr@gmail.com

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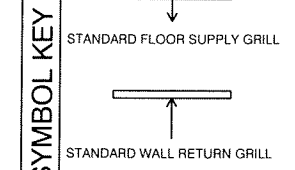
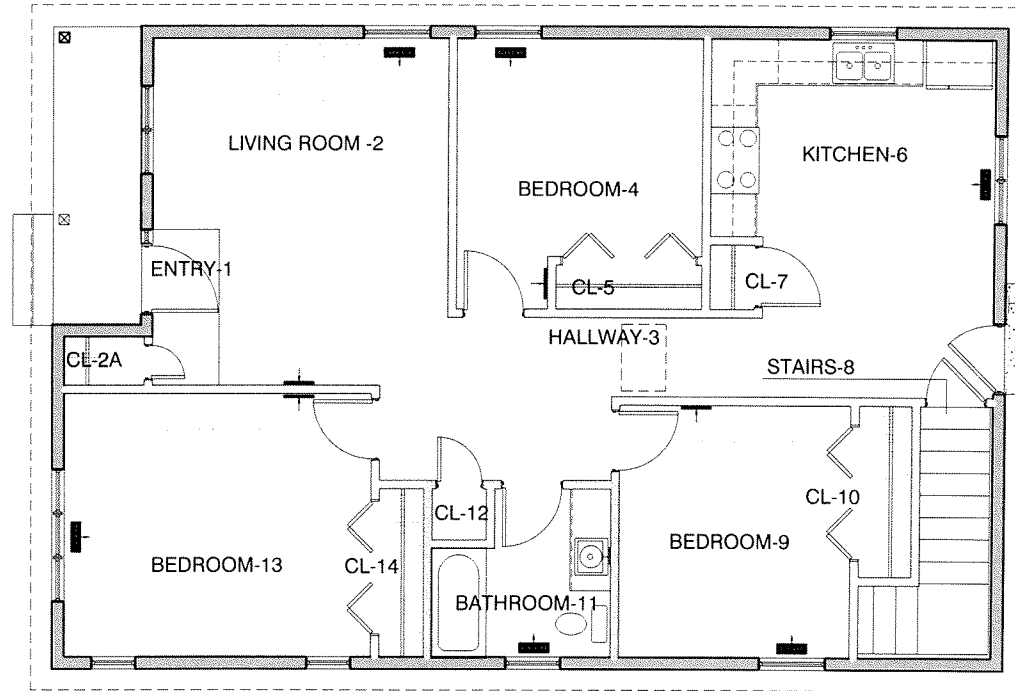
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ELECTRICAL PLANS

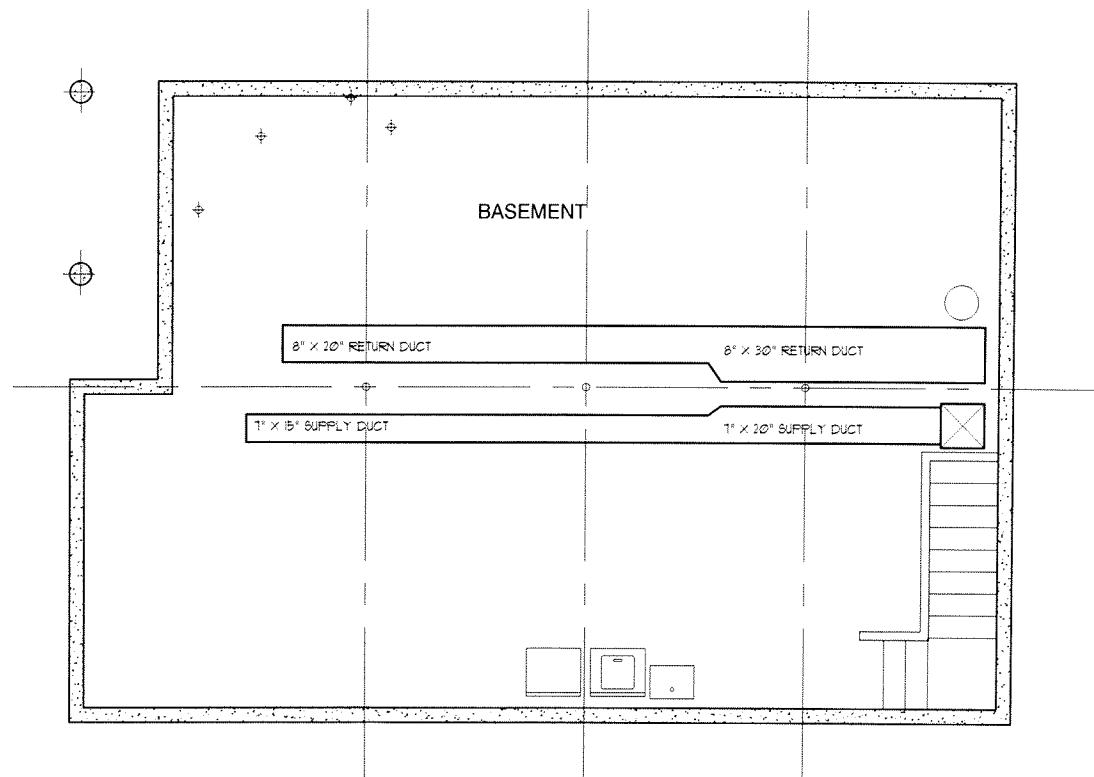
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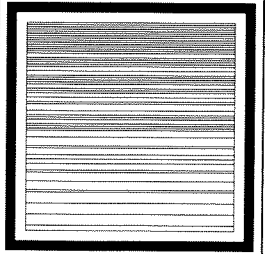


HEATING SYMBOL KEY

FIRST FLOOR HEATING PLAN 1/4" = 1'-0"



BASEMENT HEATING PLAN 1/4" = 1'-0"



Donald J. Frost, Jr., Architect
 State of Wisconsin License
 A-5519
 414-535-1001
 djfrostjr@gmail.com

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HEATING PLANS

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SOUTH













WEST

EAST

