



CITY OF RACINE
General Application Form

Department of City Development
730 Washington Ave., Rm. 102
Racine, WI 53403
Phone: 262-636-9151
Fax: 262-635-5347

Type of Reviews

- 2035 Comprehensive Plan Amendment (\$0 Fee)
- Administrative Review (\$0 Fee)
- Certified Survey Map (\$170 + \$50 per lot)
- Conditional Use Permits (\$695 Fee)
- Design Review (\$0 Fee)
- Research Request (\$0 Fee)
- Rezoning (\$830 Fee)

APPLICANT NAME: Mitra QSR
ADDRESS: STREET: 7250 N Dallas Pkwy **CITY:** Dallas **STATE:** TX **ZIP:** 75024
TELEPHONE: 618-225-4153 **CELL PHONE:** _____
EMAIL: thomas.michael@mitraqsr.com

AGENT NAME (IF APPLICABLE): Tammy Korte, Arcvision Inc.
ADDRESS: STREET 1950 Craig Rd #300 **CITY:** St. Louis **STATE:** MO **ZIP:** 63146
TELEPHONE: 314-415-2400 **CELL PHONE:** _____
EMAIL: tkorte@arcv.com

PROPERTY ADDRESS (ES): 2090 Green Bay Rd
CURRENT ZONING: _____
CURRENT/MOST RECENT PROPERTY USE: _____
PROPOSED USE: _____
PROPOSED ZONING (only if applicable): _____
LEGAL DESCRIPTION AND TAXKEY (only required for CSM, Rezoning and Comprehensive Plan Amendments): _____
CURRENT COMPREHENSIVE PLAN DESIGNATION: (only for comp plan amendments) _____
PROPOSED COMPREHENSIVE PLAN DESIGNATION: (only for comp plan amendments) _____

Are you the owner of the property included in the area of the requested zoning?
 Yes No Option to Purchase Lease

*NOTE: The owner of the property (if different than the applicant) must sign this application.

OWNER & APPLICANT AUTHORIZATION

The signature(s) hereby certify that the statements made by myself and constituting part of this application are true and correct. I am fully aware that any misrepresentation of any information on this application may be grounds for denial of this application. I agree that if this request is approved, it is issued on the representations made in this submittal, and any approval or subsequently issued building permit(s) or other type of permit(s) may be revoked without notice if there is a breach of representation or conditions of approval. The applicant/owner by their signature understands and agrees that they are responsible for the completion of all on-site and off-site improvements as shown and approved on the final plan:

Owner (s) Signature: Thomas Michael **Date** 6/13/19
Print Name: Thomas Michael

Applicant (s) Signature: T Korte **Date** 6/13/19
Print Name: Tammy Korte



CITY OF RACINE

Conditional Use Permit Checklist

Department of City Development
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Racine, WI 53403
Phone: 262-636-9151
Fax: 262-635-5347

Applicant

General Development Application Form

SITE PLAN(S)

- **MUST BE DRAWN TO AN ENGINEER OR ARCHITECT SCALE AND PROVIDE THE FOLLOWING INFORMATION** (Unless otherwise noted, provide 3 copies of the Site Plan. If full-scale architectural plans are submitted, one copy of the plans shall be no larger than 11"x17". The reduced copy does not need to be to scale. NOTE: Submit 8 sets for Planned Developments). **Complete, scaled and legible plans are required. If you are unable to provide this information addressing all the requirements below, you may wish to contact an architect to assist you in creating your documents for submittal.**

Plans Should Include

Lot Information

- Clearly identify the lot(s) being requested for Conditional Use. Include accurate lot dimensions, and the location of the lot in relation to adjacent streets, curbs, and surrounding lots. Provide a North arrow, and note the scale used (i.e.: 1"-20').

Structure Location

- Location of all structures on the lot. All structures shall be drawn and dimensioned. Show the distance of the structures from property lines, as well as the distance from other buildings on the lot.

Ingress/Egress

- Show the access drives, and their widths, into the site. Also show any recorded ingress/egress or other easements (check with the Register of Deeds for this information). Show location and width of all easements within the site and at the property line/s.

Parking Lot

- Show all on-site parking areas with stall sizes. Legal stall size is 9' wide by 19' deep. Indicate the width of all drive aisles accessing the parking. Show the curb line, wheel stops, any loading areas on the building/site, and location of handicapped spaces.

Trash/Utility Areas

- Show the location of trash or utility areas and how they will be, or are, screened (i.e.: fencing with slats, wood fencing, landscaping, etc.). Trash bins/dumpsters require 6' opaque screening with closing gates.

Fencing/Walls

- Show the location and height of all existing and proposed fencing or walls and what materials they are/will be made of. Show any outdoor patio areas, even if located below a canopy.

Outdoor Lighting

- Show all existing and proposed outdoor lighting located on the building and on the site itself. Provide the height of the lights by measuring from grade to the top of the fixture. Identify the type of fixture and angle/direction of the light beam. If an under-lit canopy is requested, a photometric plan prepared by a licensed company is required with the submittal.

Landscaping

- Provide a landscaping plan showing all existing and proposed landscaping. Indicate the plant species, sizes (caliper or gallon), and location of plantings on the site plan. Indicate and identify if existing landscaping is proposed to be altered. Species to be non-invasive, salt tolerant and drought resistant.

Surface Details

- Indicate the surface detail of all outdoor areas (i.e.: grass, gravel, asphalt, concrete, pavers, etc.).

Sewer/Water

- Show the location of all sewer, water and storm sewer lines (only for new construction or project where there is an increase in impervious surface).

Signage

- Provide proposed signage information for the project. (Note: This is required if signage is the reason for the conditional use. If not, signage may be approved separately from the Conditional Use review unless otherwise indicated by Staff).

Drainage/Grading

- Show on-site surface water drainage and grading, and building and ground elevations (new construction only).

FLOOR PLANS & ELEVATION DRAWINGS TO SCALE: (Unless otherwise noted, provide 3 copies, One of the three copies shall be no larger than 11"x17". The reduced copy does not need to be to scale. (NOTE: Submit 8 sets for Planned Developments): **If you are unable to provide this information addressing all the requirements below, you may wish to contact an architect to assist you in creating your plans.**

Scaled Floor Plans

- Provide an 'as-built' copy, and a 'proposed build out' copy if any changes to the internal layout are requested. Scaled dimensions of all interior areas shall be provided. These areas may include office spaces, general work areas, storage areas, waiting rooms, repair areas, bathrooms, garage areas, kitchen areas, etc.

Architecture

- Provide detail of existing architectural treatments on the entire building exterior. If remodeling, repairing, or new construction work is part of this proposal, also provide information on proposed colors, materials, and extra features such as awnings, canopies, porticos, etc. Identify what materials the building will be constructed of (i.e.: masonry, brick, etc.). Indicate any proposed changes to the materials (including the roof).

OTHER INFORMATION

Written Description

- Provide a DETAILED, WRITTEN description of the proposed business. Provide information about the type of business, machinery involved, type of product produced and/or services being provided, noise issues, parking data, etc. Additional information may be requested throughout the review process.

Deliveries

- Discuss anticipated truck traffic and size of trucks, as well as frequency of deliveries and pick-ups.

Maintenance Plan

- Provide a site maintenance plan, indicating who will be responsible for things such as grass cutting, garbage and litter removal, enforcement of parking standards, clearing of snow, daily site up-keep, etc. If these duties will be contracted out, include a copy of the contractor's proposal or agreement.

Indicate any plans for future expansion, if applicable

Review Fee

- **A non-refundable review fee of \$695.00, payable by cash or check, made out to the City of Racine shall be submitted with the complete submittal+. If this request is being made in conjunction with a rezoning request, the combined fee is \$1,120.00.**

I certify that all items checked above have been provided. I understand that not providing all of this information may result in an incomplete application and delay the consideration of my project for approval.

SIGNATURE: _____

J. Horte

DATE: _____

6/13/19



ENTRY ELEVATION



MFR: BENJAMIN MOORE
COLOR: WEDDING VEIL 2125-70



DRIVE-THRU SIDE ELEVATION



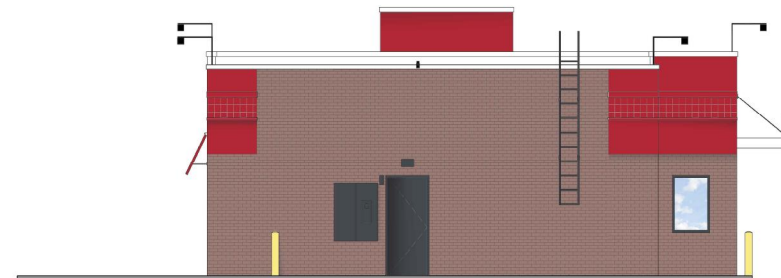
MFR: BENJAMIN MOORE
COLOR: BLACK HORIZON 2132-30



FRONT ELEVATION



MFR: BENJAMIN MOORE
COLOR: EXOTIC RED 2086-10



REAR ELEVATION



MFR: BENJAMIN MOORE
COLOR: 2125-70 WEDDING VEIL (V520)
EXTERIOR PAINT: METAL



KFC
2090 GREEN BAY ROAD
RACINE, WI 53406 STORE#K071228

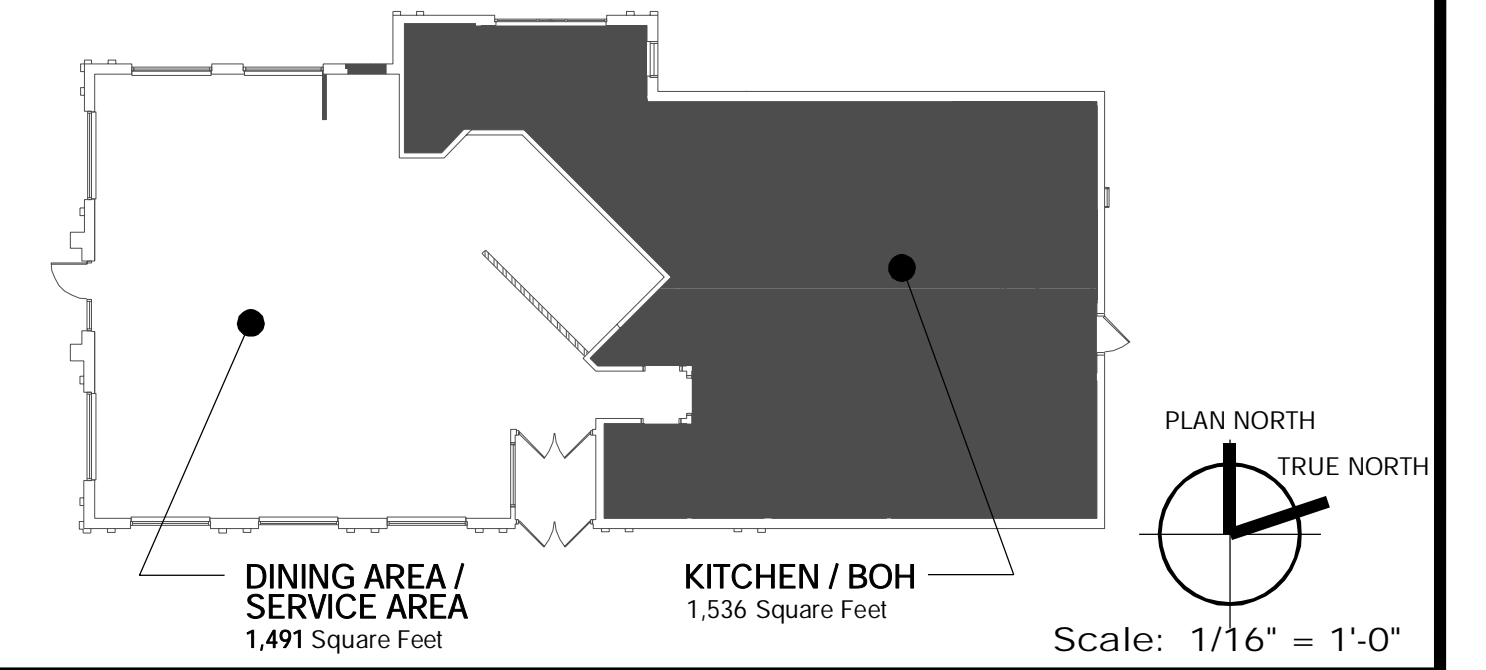


KFC

REMODEL

2090 GREEN BAY ROAD
 RACINE, WI 53406
 STORE # K071228

PROPOSED KEY PLAN



VICINITY MAP



PROJECT SUMMARY

PROJECT NAME: KFC
PROJECT ADDRESS: 2090 GREEN BAY ROAD
LEGAL JURISDICTION: RACINE, WI 53406
BUILDING FOOTPRINT AREA: 3,307 SF
RENOVATION AREA: 1,491 SF
SEATING: EXISTING: 88, PROPOSED: 81
TYPE OF CONSTRUCTION: 5B
OCCUPANCY TYPE: A2-ASSEMBLY
OCCUPANCY COUNT: 94

PROJECT DESCRIPTION: THIS PROJECT CONSISTS OF AN INTERIOR FRONT OF HOUSE RENOVATION OF THE DINING AREA FOR AN EXISTING KFC RESTAURANT. THE KITCHEN AND DRIVE THROUGH AREAS WILL REMAIN IN OPERATION. DURING THE REMODELING PROCESS, EXTERIOR IMAGE UPGRADE WILL CONSIST OF NEW EXTERIOR BRANDING & SIGNAGE ELEMENTS WITH NEW PAINT FINISHES. THE SITE AND INTERIOR WILL BE UPGRADED TO MEET ADA REQUIREMENTS.

PROJECT GENERAL NOTES

- A. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED
- B. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND KFC CM PRIOR TO STARTING WORK

PROJECT DIRECTORY

FRANCHISEE MitraQSR 7250 North Dallas Parkway Suite 800 Plano, TX 75024	Contact: Thomas Michael Director of Development M: 518-225-4153 E: thomas.michael@mitraqsr.com	ARCHITECT Frederick J. Goglia 1950 Craig Rd. St. Louis, MO 63146	Contact: Brandon Baquet 314-415-2400 bbaquet@arcv.com
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BUILDING CODE INFORMATION

BUILDING CODE:	2015 INTERNATIONAL BUILDING CODE W/ WISCONSIN AMENDMENTS SPS 362
ACCESSIBILITY CODE:	2015 INTERNATIONAL EXISTING BUILDING CODE W/ WISCONSIN AMENDMENTS SPS 366
FUEL GAS CODE:	2015 INTERNATIONAL BUILDING CODE W/ WISCONSIN AMENDMENTS SPS 362
MECHANICAL CODE:	2015 INTERNATIONAL MECHANICAL CODE W/ WISCONSIN AMENDMENTS SPS 364
ELECTRICAL CODE:	2017 NFPA 70 NATIONAL ELECTRICAL CODE W/ WISCONSIN AMENDMENTS SPS 316
FIRE CODE:	2015 INTERNATIONAL FIRE CODE
ENERGY CODE:	2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ WISCONSIN AMENDMENTS SPS 363

EXISTING BUILDING AREA AND OCCUPANT LOAD

TYPE	AREA	FACTOR	OCCUPANTS
PUBLIC - DINING ROOM	1,307 S.F.	1:15 SF	87
RESTROOMS	133 S.F.	0	0
NON-PUBLIC	1,416 S.F.	1:200 SF	7
WALK-IN COOLER	171 S.F.	0	0
TOTAL	3,027 S.F.		94

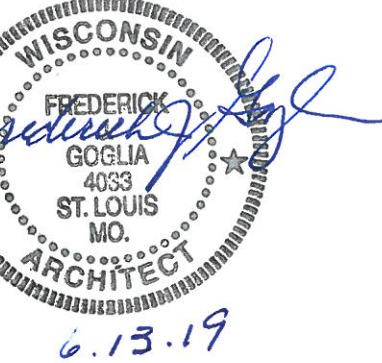
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KFC

ARCVISION
 INCORPORATED
 ARCHITECTURE / ENGINEERING / STORE PLANNING
 SAINT LOUIS / DALLAS / LAS VEGAS / ORLANDO
 1950 CRAIG ROAD, SUITE 300 ST. LOUIS, MO 63146
 PH: (314) 415-2400 FAX: (314) 415-2400 www.arcv.com



TEMPLATE VERSION:
 AMERICAN SHOWMAN
 VER-1 DEC 2016

REVISION:	Mark	Date	By
	△	6/13/19	BYS
	△		PLANNING COMMENTS
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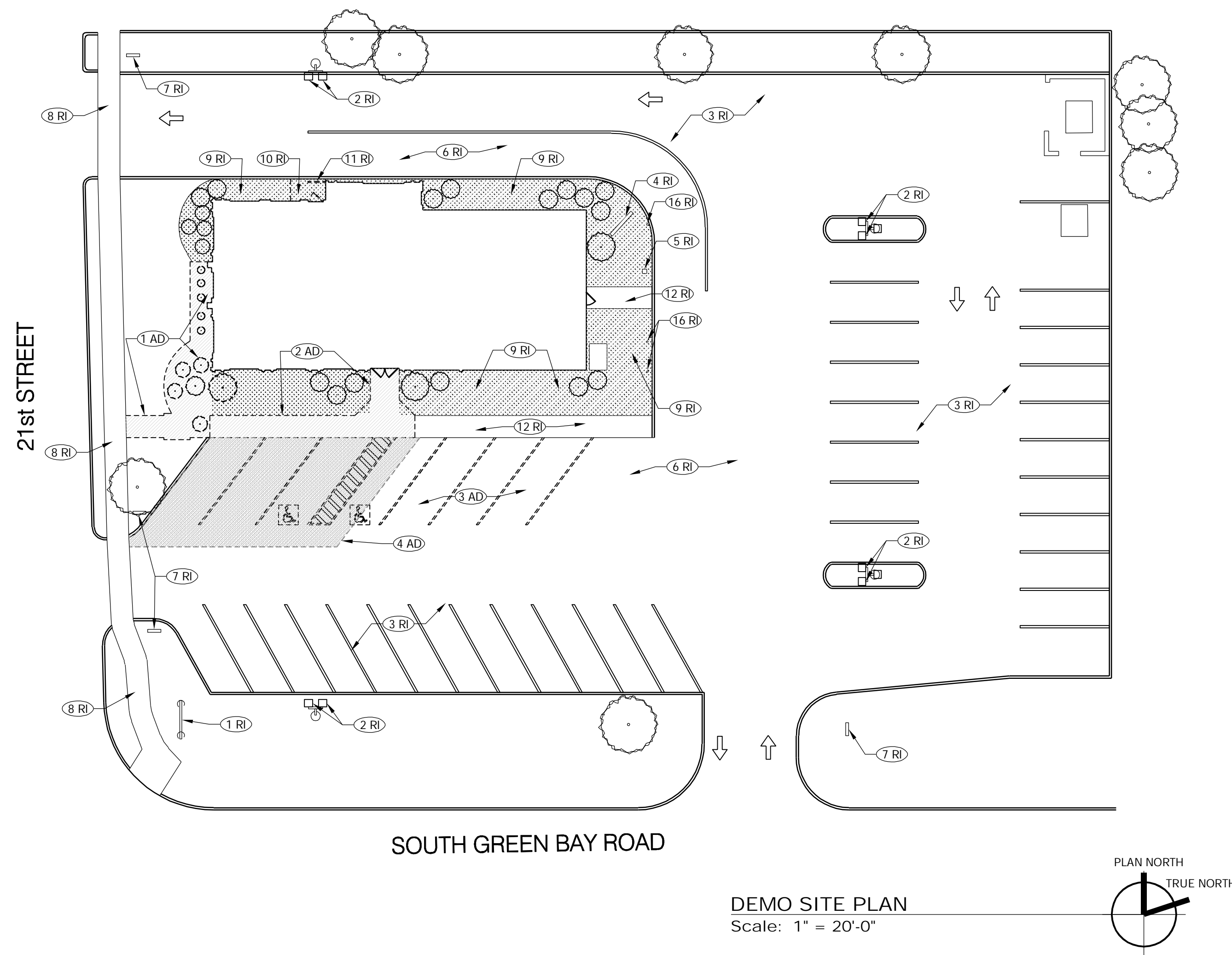
PROJECT TITLE
 CD TEMPLATE
 "K-38 SERIES 6000 TO
 AMERICAN SHOWMAN"
 2090 GREEN BAY RD
 RACINE, WI 53406

STORE NO. **K071228**
 ISSUE DATE **05.31.19**
 ARCV NUMBER **190040**

SHEET TITLE
**GENERAL
 INFORMATION**

SHEET NO.
G-1.0

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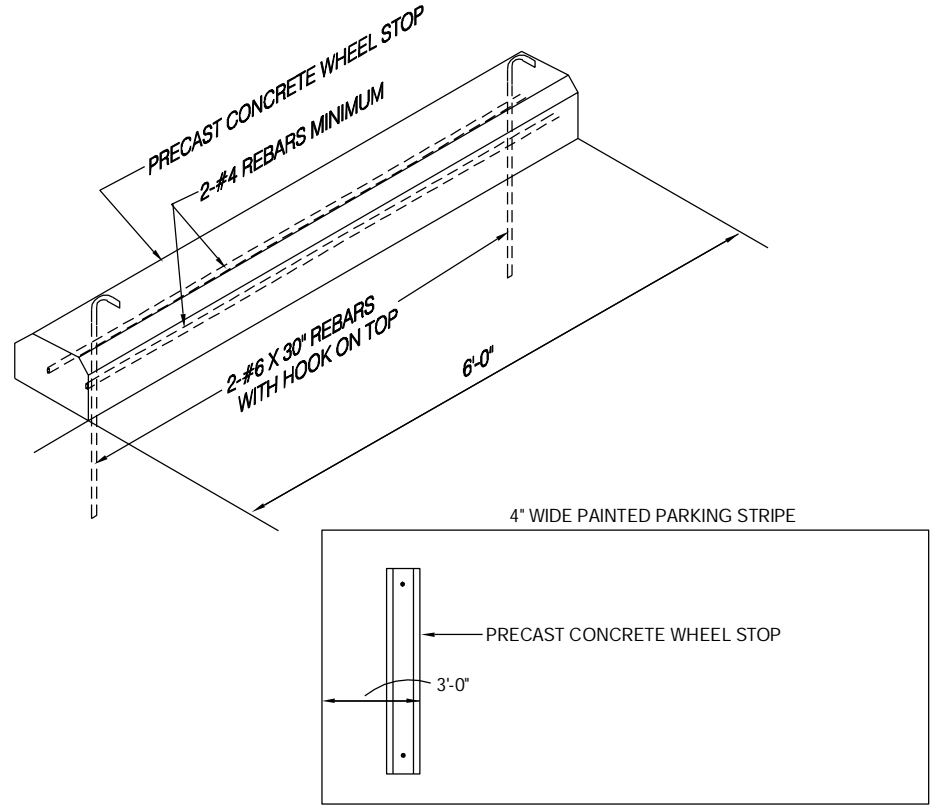


DEMO SITE PLAN
Scale: 1" = 20'-0"

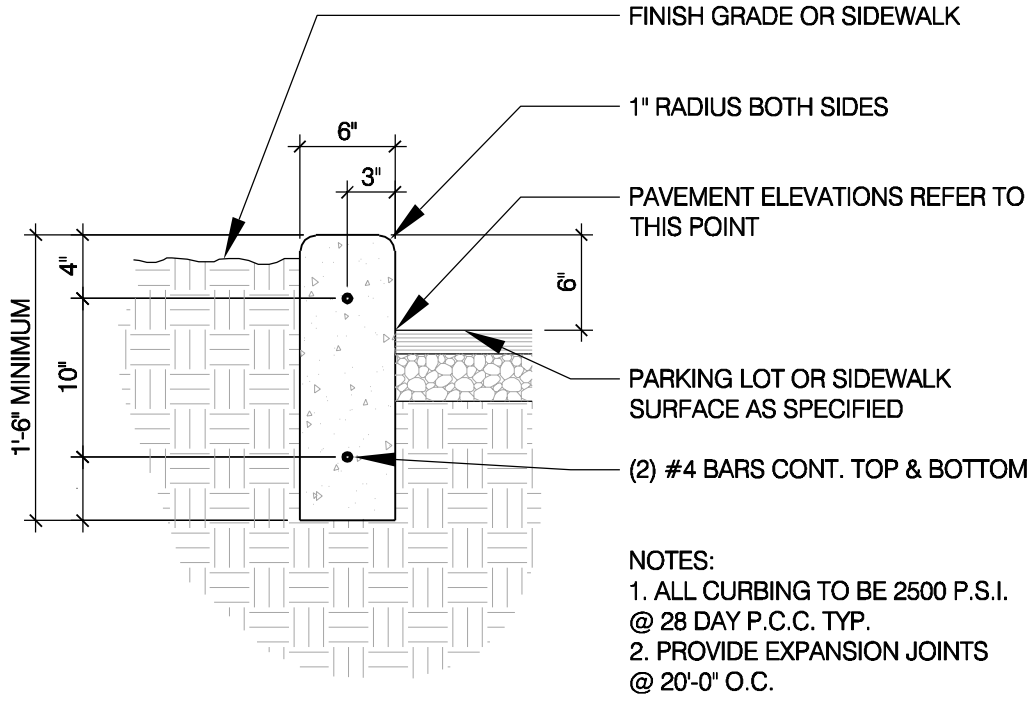
SITE PLAN KEY NOTES

- STANDARD SCOPE NOTES (RI)**
- EXISTING PYLON SIGN TO REMAIN. REFACE WITH NEW SIGN.
 - REMOVE EXISTING SITE LIGHT HEADS. POLES TO REMAIN.
 - EXISTING PARKING LOT STRIPING TO REMAIN.
 - EXISTING DRIVE THRU MENU BOARD TO REMAIN.
 - EXISTING ORDER SPEAKER POST TO REMAIN.
 - CLEAN OIL & SODA STAINS IN DRIVE-THRU AREA.
 - EXISTING DIRECTIONAL SIGNS TO REMAIN.
 - EXISTING PUBLIC SIDEWALK.
 - REMOVE EXISTING WOOD MULCH.
 - EXISTING SIDEWALK TO BE REMOVED.
 - EXISTING GUARD RAIL TO BE REMOVED.
 - EXISTING CONCRETE SIDEWALK TO REMAIN. NOT APART OF ACCESSIBLE ROUTE.
 - NEW ROCK MULCH.
 - NEW SITE LIGHT HEADS, SUPPLIED BY OWNER ON EXISTING LIGHT POLES. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. POLES TO BE PAINTED (SP-3).
 - NEW PARKING STRIPES. NOT APART OF ACCESSIBLE PARKING.
 - EXISTING BOLLARD. REFER TO 1C-1.0 FOR ADDITIONAL INFORMATION. PROVIDE NEW 'SAFETY YELLOW' PLASTIC BOLLARD COVER.

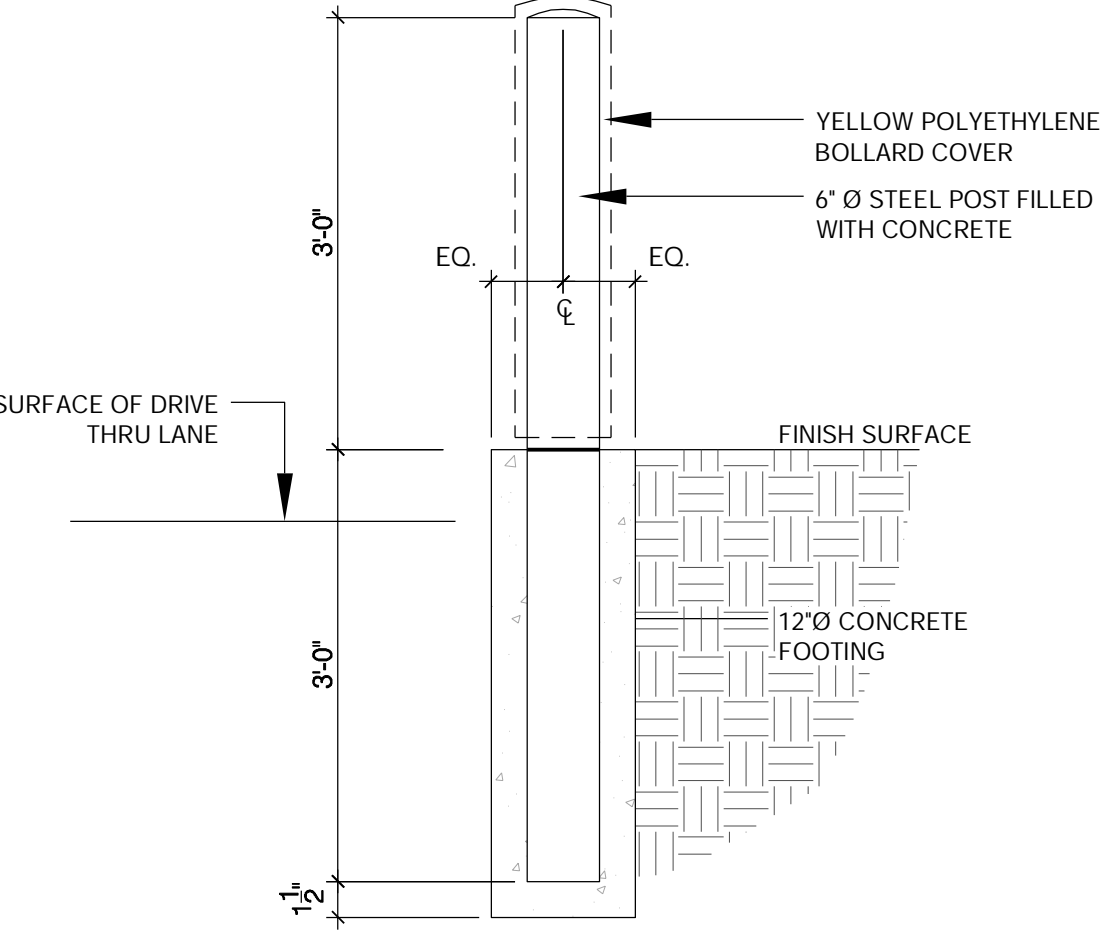
- ADA NOTES (AD)**
- REMOVE EXISTING PORTION OF LANDSCAPING, PLANTS, AND WOOD MULCH FOR NEW WORK.
 - REMOVE PORTION OF EXISTING SIDEWALK, CURBS, AND CURB RAMP AS REQUIRED FOR NEW WORK. SHOWN HATCHED.
 - REMOVE EXISTING PARKING STRIPES. PREPARE FOR RE-STRIPING.
 - REMOVE PORTION OF ASPHALT PAVEMENT. SHOWN HATCHED.
 - NEW LEVEL CONCRETE LANDING WITH A 2% (1:50) MAXIMUM SLOPE IN ALL DIRECTIONS.
 - NEW CONCRETE CURB RAMP WITH A MAXIMUM RUNNING SLOPE OF 8.33% AND A MAX. CROSS SLOPE OF 2%.
 - NEW ACCESS AISLE & HCP STRIPING. STRIPE PER CITY & ADA REQUIREMENTS. SEE DETAIL ADA REQUIREMENTS ADA-1.1 FOR ADDITIONAL INFORMATION. G.C. TO ENSURE SLOPE OF EXISTING ASPHALT PAVEMENT AT H.C. ACCESSIBLE PARKING STALLS AND ACCESS AISLE DOES NOT EXCEED 2% IN ANY DIRECTION. REPLACE AS REQUIRED. REFER TO DETAIL 4/C-1.0 FOR ADDITIONAL INFORMATION.
 - NEW CONCRETE SIDEWALK WITH A MAXIMUM RUNNING SLOPE OF 5% (1:20) & A MAXIMUM CROSS SLOPE OF 2% (1:50).
 - NEW 6" CONCRETE CURB. REFER TO 2/C-1.0 FOR ADDITIONAL INFORMATION.
 - NEW WHEEL STOP. REFER TO 3/C-1.0 FOR ADDITIONAL INFORMATION.
 - NEW ACCESSIBLE PARKING SIGNAGE. REFER TO 4/ADA-1.1 FOR ADDITIONAL INFORMATION.
 - NEW ASPHALT PAVEMENT PER 5/C1.0. SHOWN HATCHED.
 - PROVIDE SMOOTH TRANSITION.



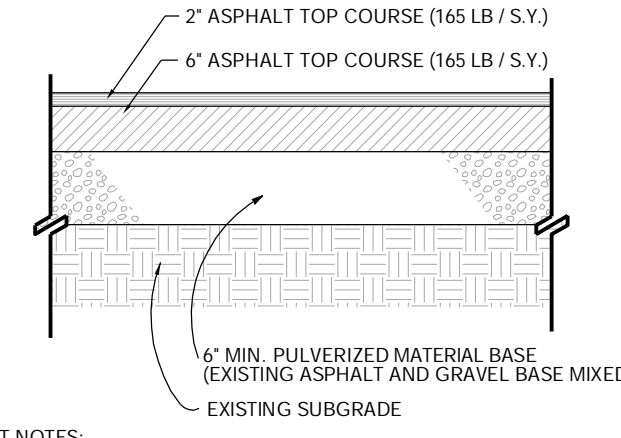
3 - CONCRETE WHEEL STOP
SCALE: N.T.S.



2 - CONCRETE CURB
SCALE: N.T.S.

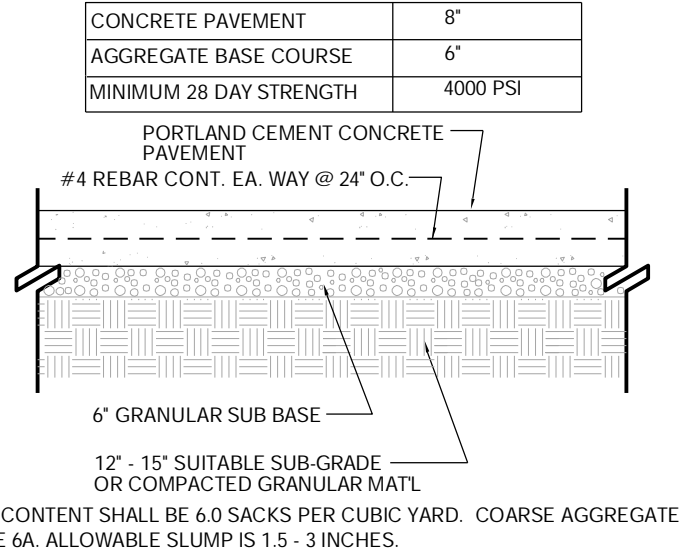


1 - BOLLARD COVER
SCALE: N.T.S.



ASPHALT NOTES:
1. CONTRACTOR TO PULVERIZE ALL EXISTING ASPHALT PAVEMENT TO FULL BASE DEPTH (ASPHALT AND GRAVEL). NECESSARY PULVERIZED MATERIAL SHALL REMAIN ON-SITE AND COMPACTED AS BASE FOR MATERIAL FOR NEW PAVING. CONTRACTOR TO HAUL EXCESS MATERIAL.
2. VERIFY 6" MIN. TOTAL COMPACTED BASE OF PULVERIZED MATERIAL.
3. GRADES TO MEET ADA REQUIREMENTS WHERE NECESSARY. PROVIDE POSITIVE DRAINAGE AND DO NOT DISRUPT EXISTING DRAINAGE PATTERNS.

5 - ASPHALT PAVEMENT
Scale: N.T.S.



CEMENT CONTENT SHALL BE 6.0 SACKS PER CUBIC YARD. COARSE AGGREGATE SHALL BE 6A. ALLOWABLE SLUMP IS 1.5 - 3 INCHES.

4 - CONCRETE PAVEMENT
Scale: N.T.S.

- LEGEND**
- AREA OF DEMOLITION
 - NEW CONCRETE SIDEWALK/PAVEMENT
 - NEW ASPHALT
 - NEW ROCK MULCH



KFC

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PH: (314) 415-2400 FAX: (314) 415-2300
www.arcv.com



TEMPLATE VERSION:
AMERICAN SHOWMAN
VER-1 DEC 2016

REVISION:

Mark	Date	By
△		
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PROJECT TITLE
CD TEMPLATE
"K-38 SERIES 6000 TO AMERICAN SHOWMAN"
2090 GREEN BAY RD
RACINE, WI 53406

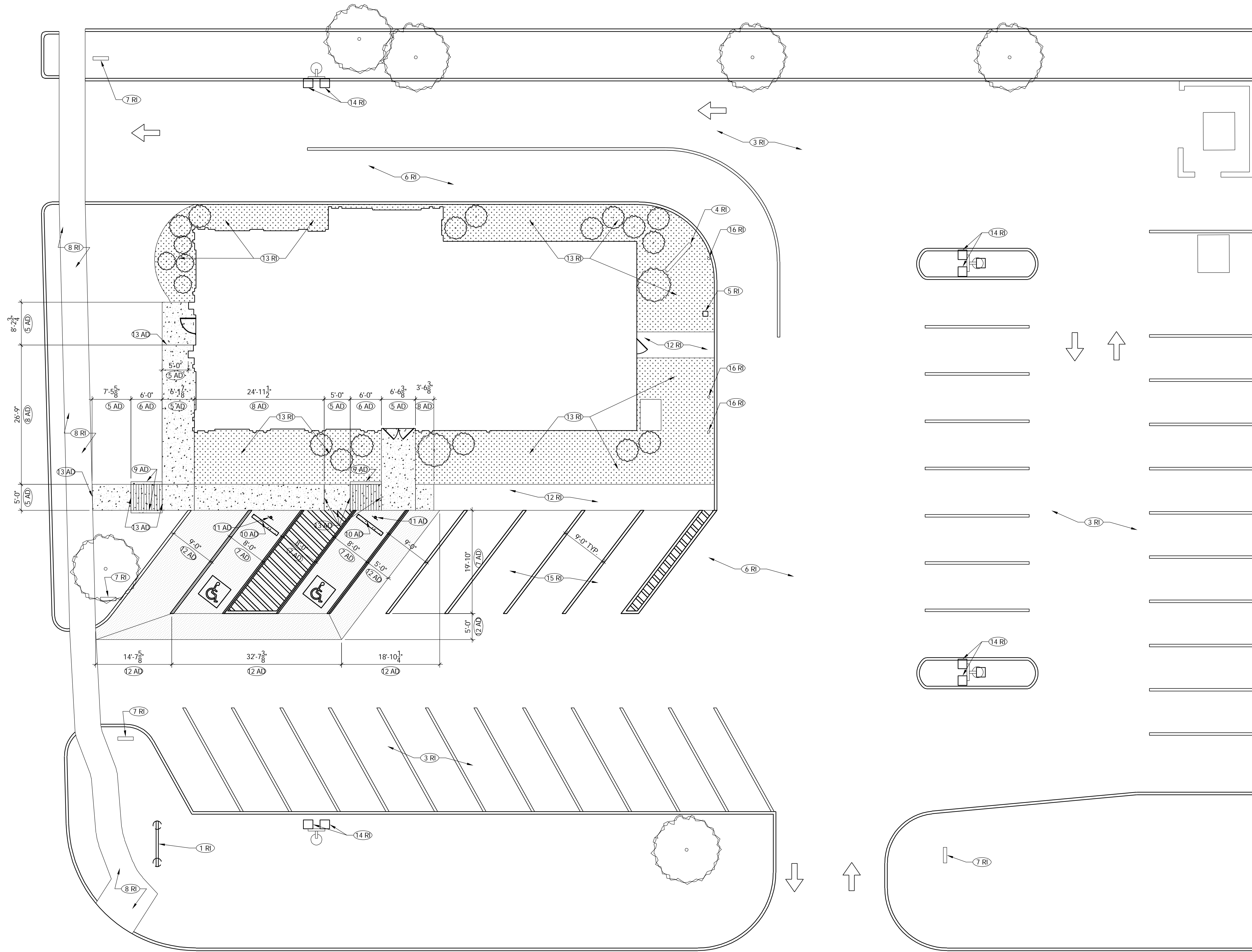
STORE NO. K071228
ISSUE DATE 05.31.19
ARCV NUMBER 190040

SHEET TITLE
SITE PLAN
(ADA UPDATES)

SHEET NO.
C-1.0

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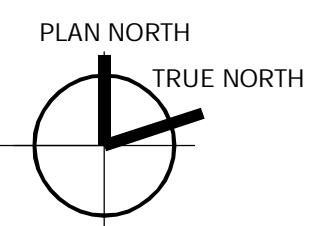
21st STREET



SOUTH GREEN BAY ROAD

SEE C-1.0 FOR KEY NOTES

PROPOSED SITE PLAN
Scale: 1" = 10'-0"



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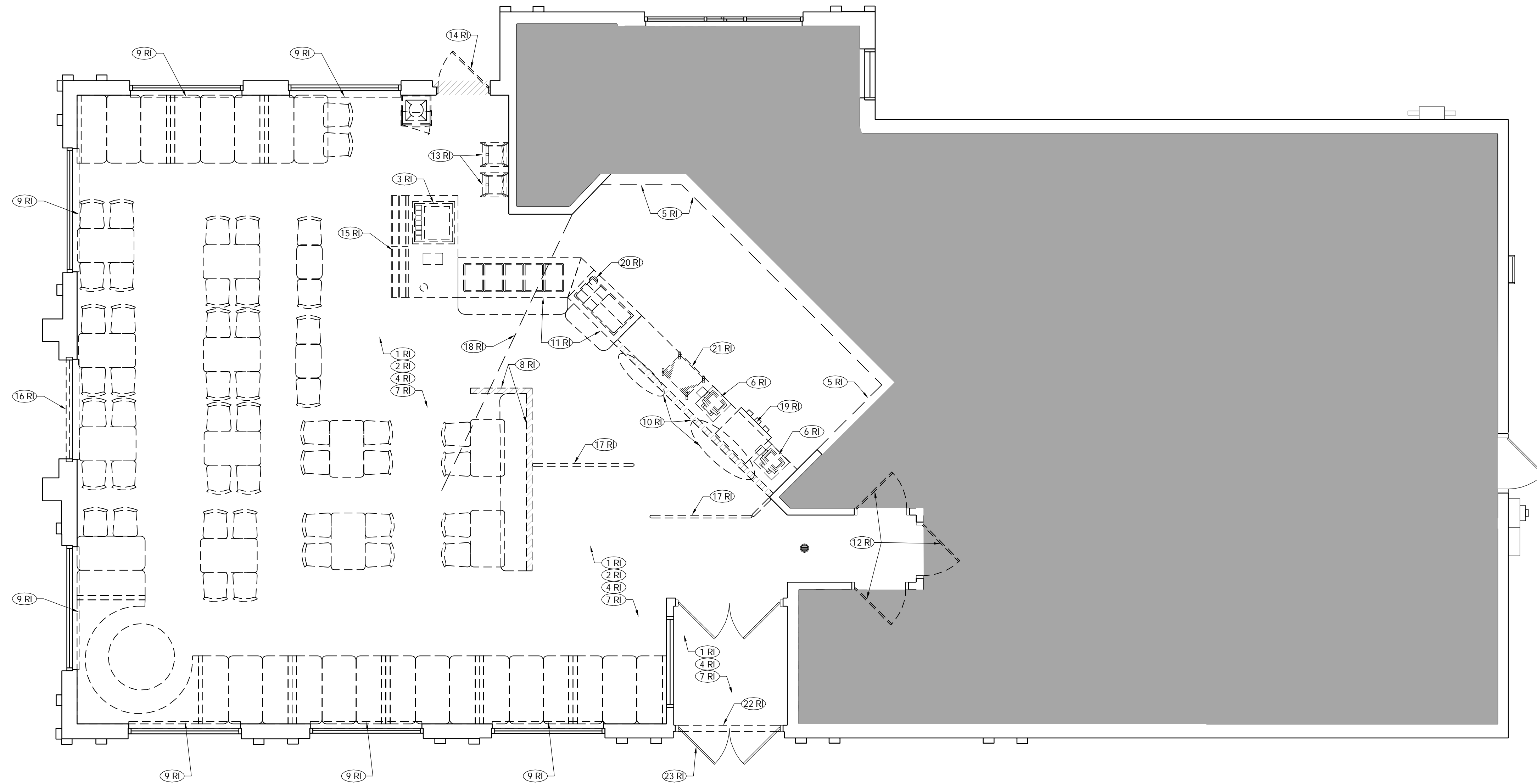
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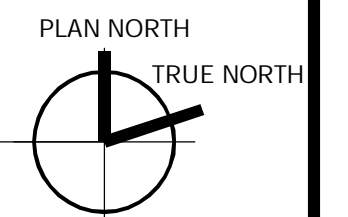
SHEET TITLE
PROPOSED SITE
PLAN

SHEET NO.
C-1.1

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DEMOLITION FLOOR PLAN
Scale: 1/4" = 1'-0"



DEMOLITION FLOOR PLAN KEY NOTES

STANDARD SCOPE NOTES (R)

- 1 REMOVE ALL APPLIED WALL FINISHES - CHAIR RAIL, WAINSCOTING, AND TRIMS. PATCH/REPAIR/PREP SURFACES TO ACCEPT NEW FINISHES, UNLESS NOTED OTHERWISE.
- 2 REMOVE ALL EXISTING FIXTURES, BOOTHS, TABLETOPS & CHAIRS IN DINING ROOM - EXISTING TABLE STEEL POST TO BE REMOVED, PATCH FLOOR AS NEEDED.
- 3 EXISTING BEVERAGE DISPENSER TO BE REMOVED AND SAVED FOR RE-INSTALLATION. REFER TO FIXTURE AND GRAPHIC PLACEMENT PLAN A-1.2 FOR ADDITIONAL INFORMATION.
- 4 REMOVE ALL INTERIOR WALL SIGNS, DECOR ELEMENTS & ARTWORK AND DISPOSE OF IN A RESPONSIBLE MANNER. KFC FOUNDATION ARTWORK TO BE SAVED AND RE-INSTALLED AFTER PAINTING. REFER TO FIXTURE & GRAPHIC PLACEMENT PLAN A-1.2 FOR ADDITIONAL INFORMATION.
- 5 CONSTRUCT TEMPORARY DUST BARRIER WALL WITH FULL SIZED DOOR AND SEAL WITH LATCHING HANDLE TO PROTECT KITCHEN DURING CONSTRUCTION. G.C. RESPONSIBLE FOR ACTUAL LOCATION. THE "DUST WALL" WILL BE CONSTRUCTED WITH 2X4 STUD FRAMING AND ONE COAT OF 5/8" DRYWALL WITH ONE COAT OF TAPE SEALING THE JOINTS. FRP WILL BE ADDED TO THE KITCHEN SIDE OF THE WALL. THE WALL WILL BE SEALED TO THE CEILING OR MENU BOARD BULKHEAD TO PREVENT AIRFLOW FROM THE CONSTRUCTION AREA TO THE KITCHEN. THE BARRIER WILL NOT BE REMOVED UNTIL ALL WORK IN THE DINING ROOM AREA IS COMPLETE.
- 6 EXISTING POS, CASH DRAWER, HOLD UP BUTTONS AND ALL HARDWARE TO BE REMOVED, SAVED AND SEALED IN A DUST FREE ENVIRONMENT.
- 7 EXISTING FLOORING AND BASE TILE TO REMAIN. PATCH & REPAIR DAMAGED AREAS WITH TILE TO MATCH EXISTING.
- 8 REMOVE EXISTING DIVIDER WALL AND STEEL POSTS. PATCH FLOOR AS NEEDED.
- 9 REMOVE EXISTING DECORATIVE WINDOW SILL. PREP SURFACE TO RECEIVE NEW DECORATIVE WINDOW SILL, AS REQUIRED. REFER TO FLOOR PLAN A-1.0 FOR ADDITIONAL INFORMATION.
- 10 REMOVE EXISTING SERVICE COUNTER AND EXISTING KNEE WALL.
- 11 REMOVE EXISTING BUFFET & HOT TABLE EQUIPMENT.
- 12 REMOVE EXISTING INTERIOR DOOR. EXISTING FRAME TO REMAIN. REFER TO FLOOR PLAN A-1.0 FOR ADDITIONAL INFORMATION.
- 13 EXISTING HIGH CHAIRS TO BE REMOVED AND SAVED FOR REINSTALLATION. REFER TO FIXTURE AND GRAPHIC PLACEMENT PLAN A-1.2 FOR MORE INFORMATION.
- 14 REMOVE EXISTING STOREFRONT ENTRY DOOR AND FRAME. PREPARE TO INFILL OPENING. REFER TO FLOOR PLAN A-1.0 FOR ADDITIONAL INFORMATION.
- 15 REMOVE EXISTING BEVERAGE COUNTER.
- 16 REMOVE EXISTING WINDOW AND PORTION OF EXTERIOR WALL. EXISTING HEADER TO REMAIN. PREPARE OPENING FOR NEW ENTRY.
- 17 REMOVE ALL QUEUING RAILS AND POSTS. PATCH AND REPAIR FLOOR SLAB AS REQUIRED.
- 18 APPROXIMATE AREA OF FLOOR AND TILE TO BE REMOVED FOR INSTALLATION OF POWER TO HUB TABLE. G.C. TO VERIFY. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 19 REMOVE EXISTING CUP DISPENSER. REFER TO FIXTURE AND GRAPHIC PLACEMENT PLAN A-2.1 FOR MORE INFORMATION.
- 20 EXISTING FLOOR DRAIN TO BE REMOVED AND REPLACED WITH NEW FLOOR SINK. REFER TO FLOOR PLAN A-1.0 AND PLUMBING DRAWINGS FOR MORE INFORMATION.
- 21 EXISTING SHELF TO BE REMOVED AND SAVED FOR REINSTALLATION. REFER TO FIXTURE AND GRAPHIC PLACEMENT PLAN A-1.2 FOR MORE INFORMATION.
- 22 REMOVE EXISTING THRESHOLD AND REPLACE WITH NEW ADA COMPLIANT THRESHOLD.
- 23 EXISTING EXTERIOR DOORS TO REMAIN. REPLACE BRANDED PLASTIC DOOR PANEL INSERTS WITH NEW ALUMINUM PANEL INSERTS.

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING HALF WALL TO REMAIN
- EXISTING WALL TO BE REMOVED

GENERAL NOTES

- A. THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKMEN ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT, OR ADJACENT TO THE PREMISES. THE G.C. SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- B. THESE DEMOLITION PLANS ARE TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF WORKING DRAWINGS. DO NOT REMOVE OR DEMOLISH ANYTHING WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- C. GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED DEMOLITION PERMIT FEES AND OBTAIN ALL APPLICABLE DEMOLITION PERMITS.
- D. GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS & EQUIPMENT DAILY DURING THE DEMOLITION WORK.
- E. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED SURFACES.
- F. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS PRIOR TO CONSTRUCTION.
- G. ABANDONED PIPES SHALL BE CAPPED IN A MANNER TO CONCEAL WITHIN WALL, CEILING OR FLOOR.
- H. DEMOLITION MEANS AND METHODS ARE CONTRACTORS RESPONSIBILITY.
- G. A SINGLE RESTROOM IS TO BE AVAILABLE AND FUNCTIONING AT ALL TIMES FOR EMPLOYEES DURING RENOVATION.



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TEMPLATE VERSION:
AMERICAN SHOWMAN
VER-1 DEC 2016

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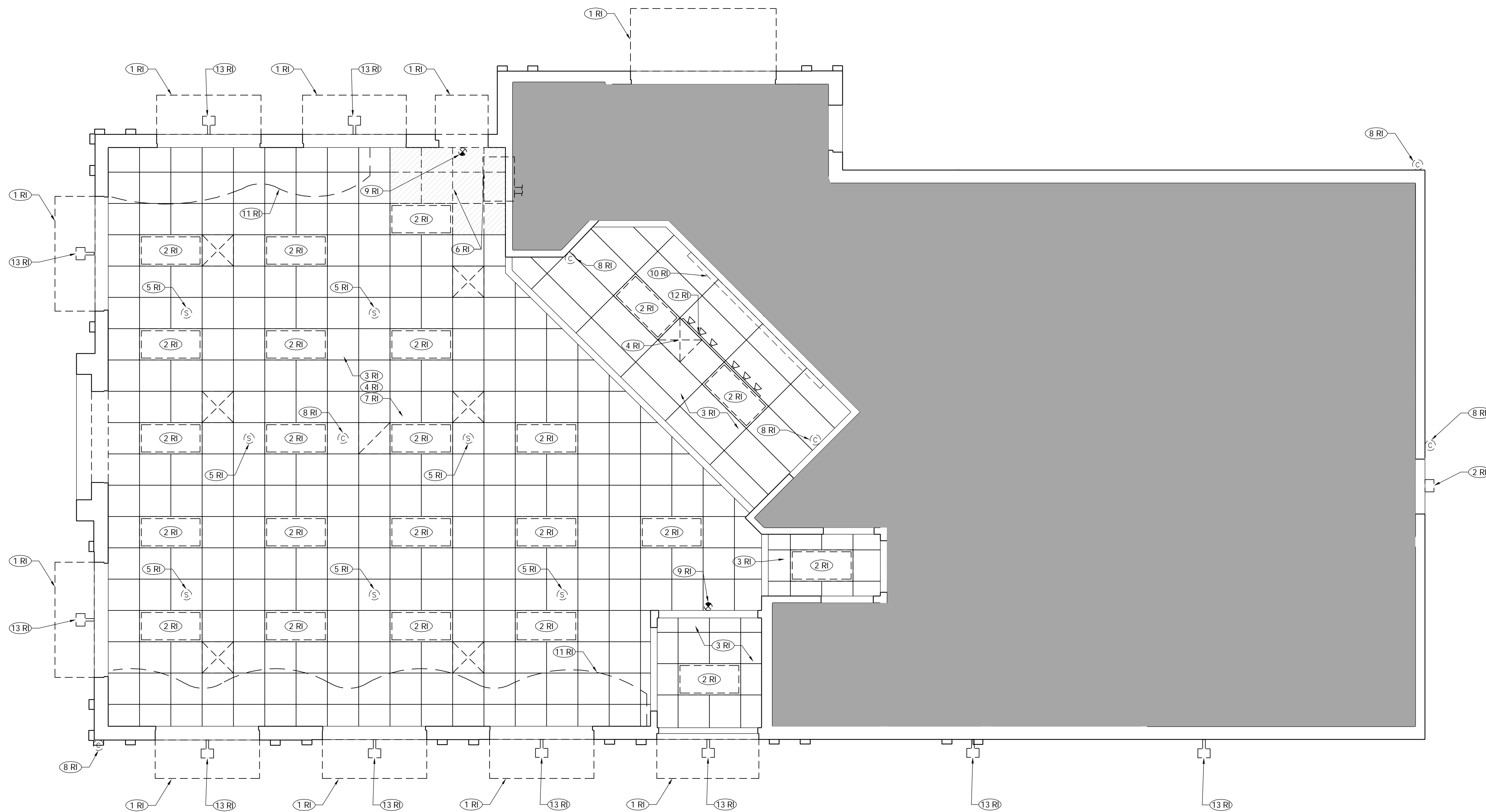
PROJECT TITLE
CD TEMPLATE
"K-38 SERIES 6000 TO AMERICAN SHOWMAN"
2090 GREEN BAY RD
RACINE, WI 53406

STORE NO. **K071228**
ISSUE DATE **05.31.19**
ARCV NUMBER **190040**

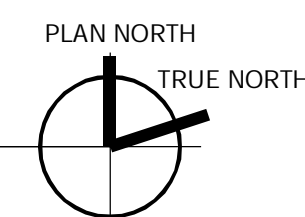
SHEET TITLE
**DEMOLITION:
FLOOR PLAN**

SHEET NO.
D-1.0

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DEMOLITION REFLECTED CEILING PLAN
Scale: 1/4" = 1'-0"

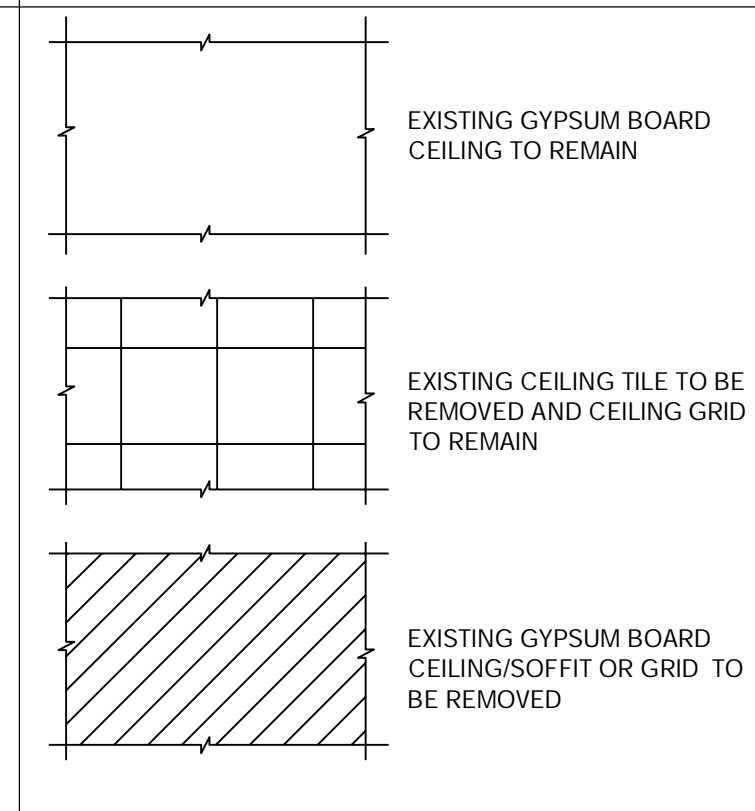


DEMOLITION REFLECTED CEILING PLAN KEY NOTES

STANDARD SCOPE NOTES (RI)

- 1 EXISTING EXTERIOR AWNINGS / CANOPIES TO BE REMOVED. PATCH/REPAIR/PREP SURFACES TO ACCEPT NEW FINISHES AWNINGS. REFER TO REFLECTED CEILING PLAN A-1.3 FOR ADDITIONAL INFORMATION.
- 2 EXISTING LIGHT FIXTURE TO BE REMOVED AND CIRCUITS RETAINED FOR RE-USE. REFER TO REFLECTED CEILING PLAN A-1.3 AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 3 REMOVE EXISTING CEILING TILES, EXISTING CEILING GRID TO REMAIN. REFER TO REFLECTED CEILING PLAN A-1.3 FOR ADDITIONAL INFORMATION.
- 4 REMOVE EXISTING CEILING DIFFUSER AND/OR GRILLE AND REPLACE WITH NEW. REFER TO REFLECTED CEILING PLAN A-1.3 FOR ADDITIONAL INFORMATION.
- 5 EXISTING CEILING MOUNTED SPEAKERS TO BE CLEANED AND PAINTED. REMOVE AND RE-INSTALL AS NEEDED FOR NEW WORK. REFER TO REFLECTED CEILING PLAN A-1.3 FOR MORE INFORMATION.
- 6 PORTION OF EXISTING CEILING GRID AND CEILING TILES TO BE REMOVED FOR NEW WORK. SHOWN HATCHED. REFER TO REFLECTED CEILING PLAN A-1.3 FOR ADDITIONAL INFORMATION.
- 7 REMOVE EXISTING WIFI ROUTER AND SAVE FOR RE-INSTALLATION. REFER TO REFLECTED CEILING PLAN A-1.3 AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 8 EXISTING CCTVs/CAMERAS &/OR SMOKE DETECTORS TO BE REMOVED AND RE-INSTALLED AS NEEDED FOR NEW WORK. REFER TO REFLECTED CEILING PLAN A-1.3 FOR ADDITIONAL INFORMATION.
- 9 REMOVE EXISTING EMERGENCY LIGHTING AND EMERGENCY EXIT SIGNAGE. REFER TO REFLECTED CEILING PLAN A-1.3 AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 10 REMOVE EXISTING MENU BOARD AND SAVE FOR RE-INSTALLATION. REFER TO REFLECTED CEILING PLAN A-1.3 FOR MORE INFORMATION.
- 11 REMOVE EXISTING DECORATIVE SOFFIT.
- 12 REMOVE EXISTING TRACK AND TRACK LIGHT FIXTURE.
- 13 EXISTING EXTERIOR LIGHT FIXTURE TO BE REMOVED AND CIRCUITS RETAINED FOR RE-USE. PATCH AND REPAIR COPING. REFER TO REFLECTED CEILING PLAN A-1.3 AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.

LEGEND



GENERAL NOTES

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- G. ABANDONED PIPES SHALL BE CAPPED IN A MANNER TO CONCEAL WITHIN WALL, CEILING OR FLOOR.
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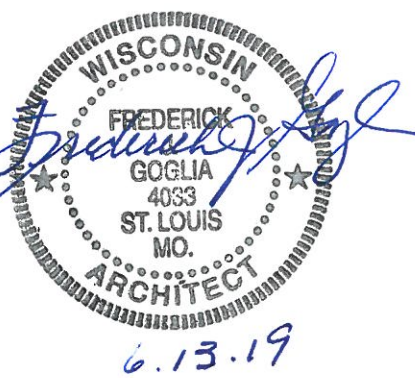
SHEET TITLE
**DEMOLITION:
REFLECTED CEILING
PLAN**

SHEET NO.
D-2.0



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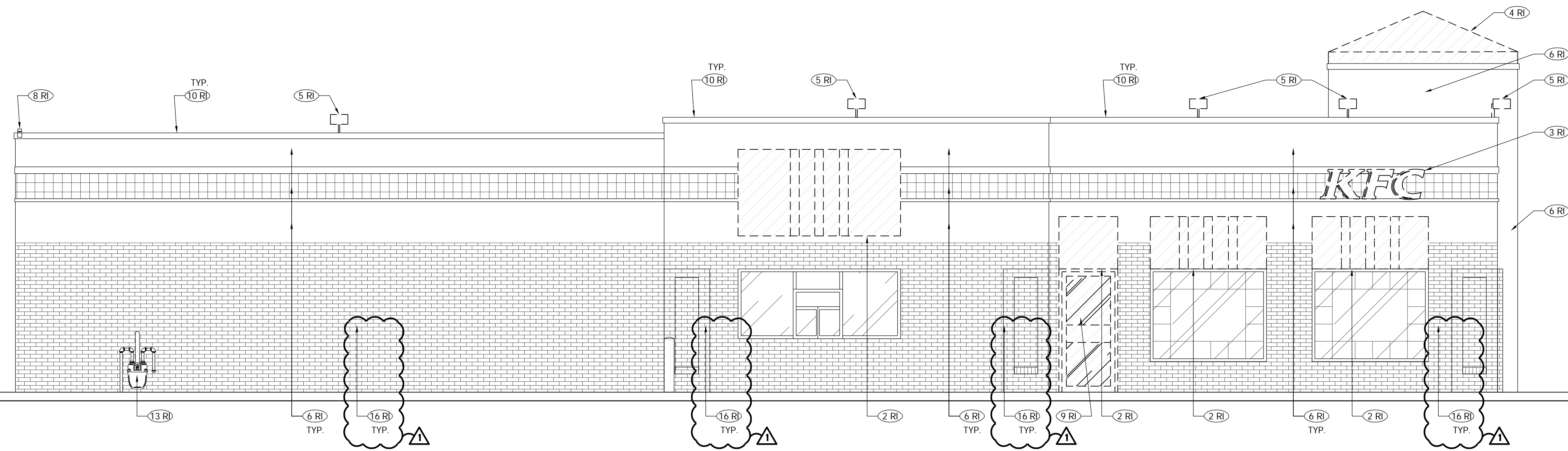
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STORE NO. K071228
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ARCV NUMBER 190040

SHEET TITLE
DEMOLITION:
EXTERIOR
ELEVATIONS

SHEET NO.

D-3.0



1 - EXISTING DRIVE THRU ELEVATION
Scale: 1/4" = 1'-0"

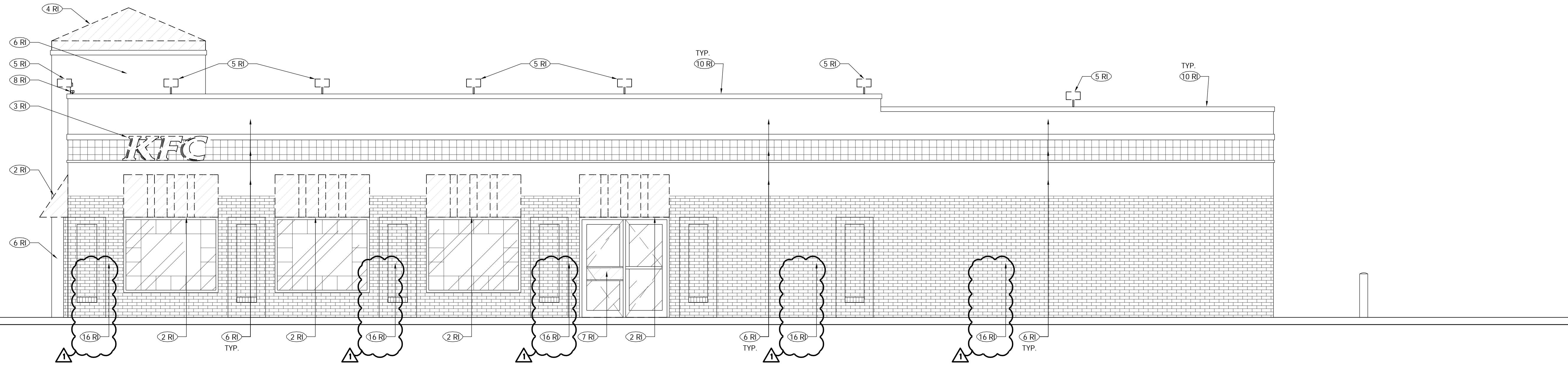
DEMOLITION EXTERIOR ELEVATION KEY NOTES:

STANDARD SCOPE NOTES (R1)

- 1 REMOVE COLONEL SIGN, DISCONNECT POWER & RETAIN CIRCUIT FOR RE-USE.
- 2 EXISTING AWNING / CANOPY TO BE REMOVED. PATCH/REPAIR/PREP SURFACES TO RECEIVE NEW FINISHES AND AWNINGS AS REQUIRED. REFER TO EXTERIOR ELEVATIONS A-2.0 & A-2.1 FOR ADDITIONAL INFORMATION.
- 3 REMOVE EXISTING "KFC" CHANNEL LETTER SET, DISCONNECT POWER & RETAIN CIRCUIT FOR RE-USE.
- 4 REMOVE EXISTING TOWER CAP. REFER TO EXTERIOR ELEVATIONS A-2.0 & A-2.1 FOR ADDITIONAL INFORMATION.
- 5 REMOVE EXISTING EXTERIOR LIGHT FIXTURE, DISCONNECT POWER AND RETAIN CIRCUIT FOR RE-USE.
- 6 EXISTING BUILDING FINISH TO REMAIN, PREP FOR NEW PAINT. REFER TO EXTERIOR ELEVATIONS A-2.0 & A-2.1 FOR ADDITIONAL INFORMATION.
- 7 EXISTING EXTERIOR DOORS TO REMAIN. REMOVE BRANDED PLASTIC DOOR PANEL INSERTS WITH REPLACE NEW ALUMINUM PANEL INSERTS.
- 8 EXISTING SECURITY CAMERA TO BE REMOVED FOR NEW WORK AND RE-INSTALLED.
- 9 REMOVE EXISTING STOREFRONT ENTRY DOOR AND FRAME. PREPARE TO INFILL OPENING. REFER TO EXTERIOR ELEVATIONS A-2.0 & A-2.1 FOR ADDITIONAL INFORMATION.
- 10 EXISTING PARAPET CAP TO REMAIN. REPAIR AS NEEDED. SEAL AND PREP FOR PAINT. REFER TO EXTERIOR ELEVATIONS A-2.0 & A-2.1 FOR ADDITIONAL INFORMATION.
- 11 REMOVE EXISTING STOREFRONT WINDOW AND PORTION OF EXTERIOR WALL. RETAIN WINDOW HEADER. PREPARE FOR NEW STOREFRONT ENTRY. REFER TO EXTERIOR ELEVATIONS A-2.0 & A-2.1 FOR ADDITIONAL INFORMATION.
- 12 EXISTING SERVICE DOOR TO REMAIN. PREP FOR PAINT.
- 13 EXISTING GAS METER TO REMAIN. PREP FOR PAINT.
- 14 EXISTING EXTERIOR ROOF ACCESS LADDER TO REMAIN.
- 15 EXISTING ELECTRICAL CABINET AND METER TO REMAIN. PREP FOR PAINT.
- 16 EXISTING BRICK TO REMAIN. PROTECT DURING CONSTRUCTION.

GENERAL NOTES

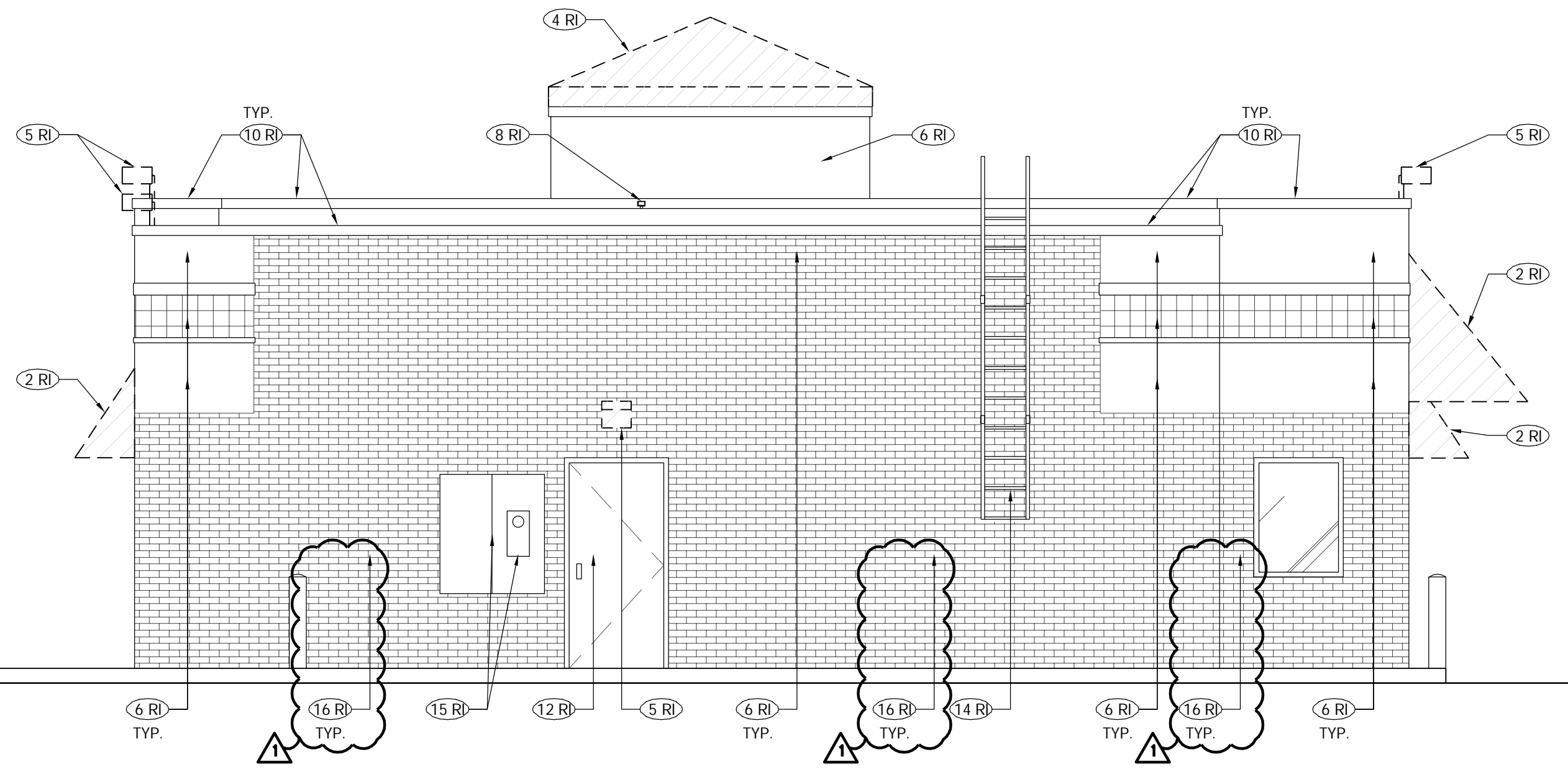
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SEE D-3.0 FOR KEY NOTES

1 - EXISTING SIDE ENTRY ELEVATION

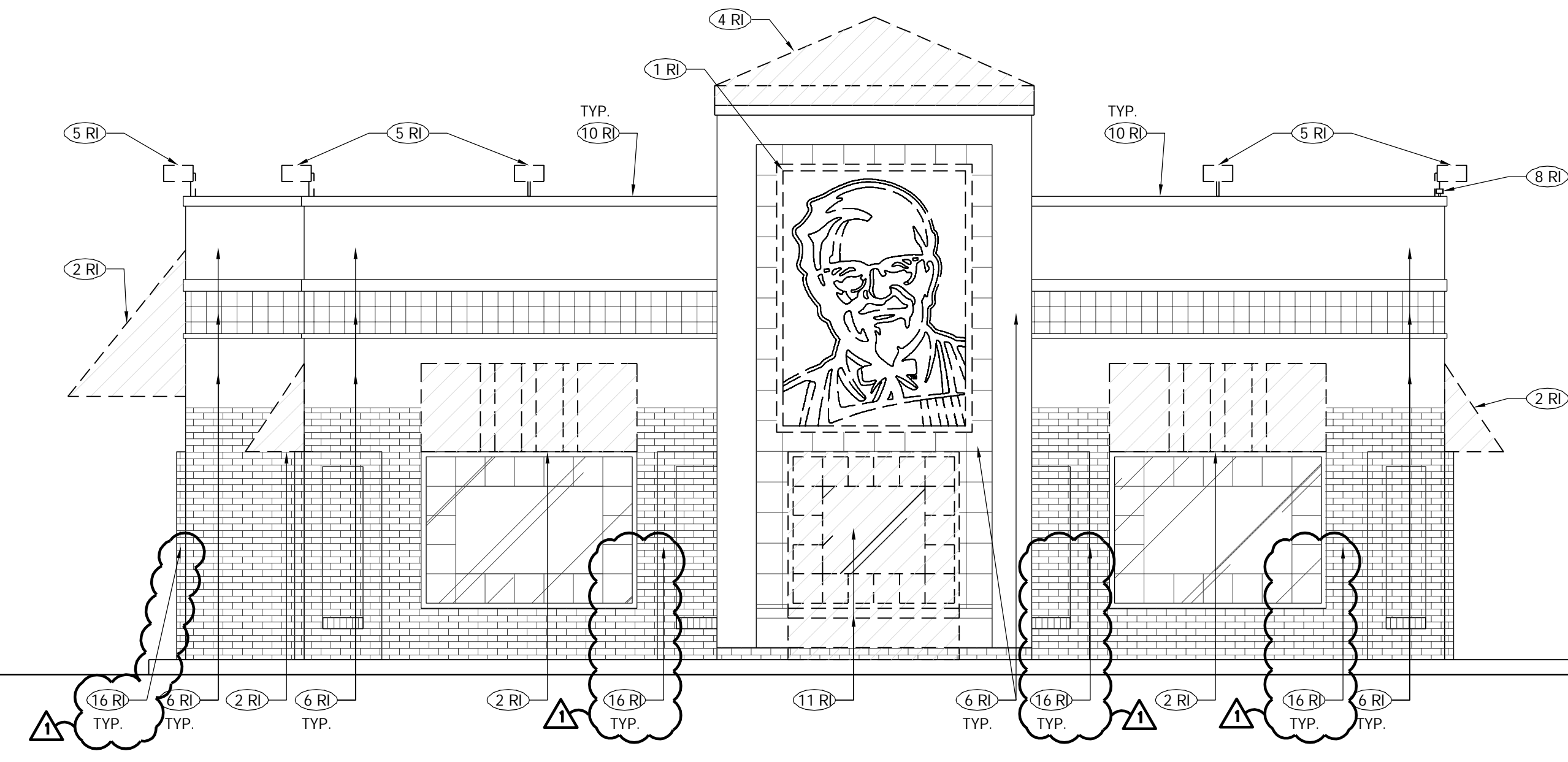
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SEE D-3.0 FOR KEY NOTES

3 - EXISTING REAR ELEVATION

Scale: 1/4" = 1'-0"



SEE D-3.0 FOR KEY NOTES

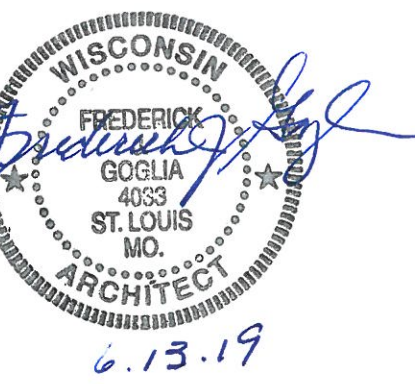
2 - EXISTING FRONT ELEVATION

Scale: 1/4" = 1'-0"



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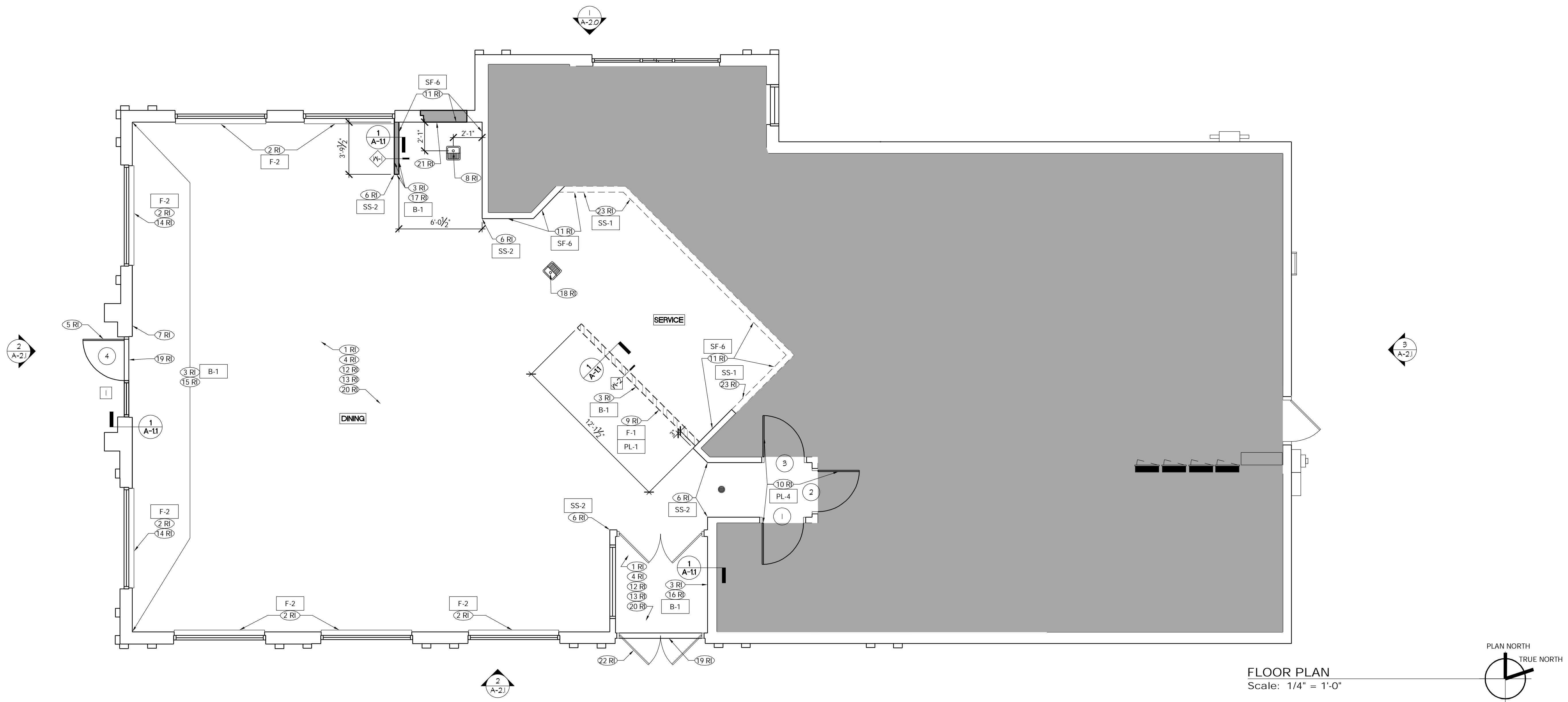
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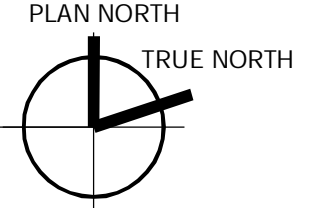
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 DEMOLITION:
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SHEET NO.
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FLOOR PLAN
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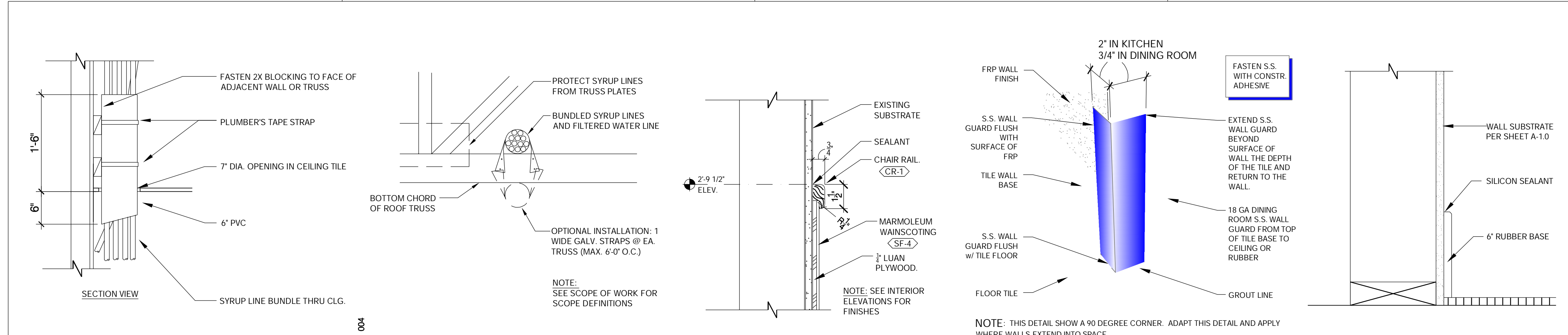
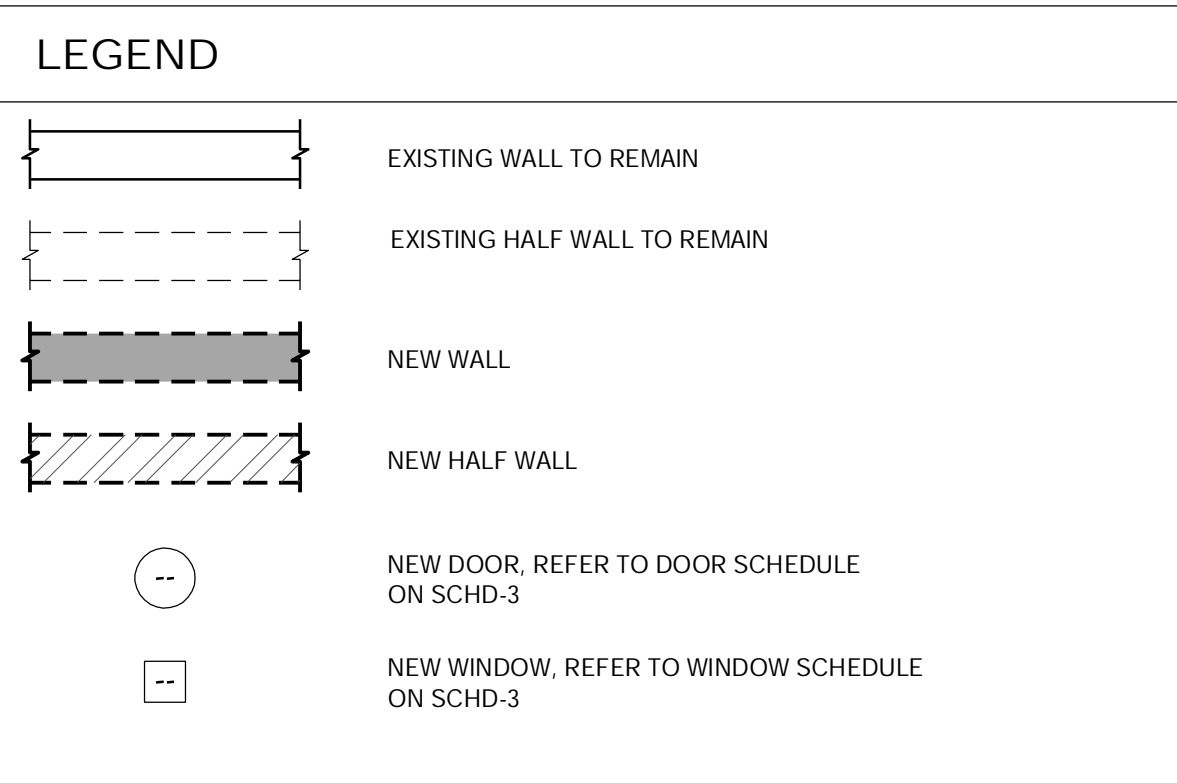


FLOOR PLAN KEY NOTES

- STANDARD SCOPE NOTES (RI)**
- EXISTING FLOOR TILE TO REMAIN. PATCH EXISTING FLOOR TILE WHERE POSTS, RAILS & WALLS ARE REMOVED OR WHERE DAMAGED OR MISSING WITH NEW FLOOR TILE. TO MATCH EXISTING DINING ROOM FLOOR TILES. PATCH CONCRETE WHERE POSTS, RAILS & WALL ARE REMOVED.
 - NEW DECORATIVE WHITE CORIAN WINDOW SILLS AT EXISTING WINDOWS. PROVIDED AND INSTALLED BY G.C. REFER TO COUNTERTOP & SILL SCHEDULE FOR ADDITIONAL INFORMATION.
 - INSTALL NEW 6" RUBBER WALL BASE OVER NEW PANEL/NEW WALL. REFER TO INTERIOR ELEVATIONS A-2.2 FOR ADDITIONAL INFORMATION.
 - PREP EXISTING WALLS AS REQUIRED FOR NEW FINISHES. REFER TO INTERIOR ELEVATIONS A-2.2 FOR ADDITIONAL INFORMATION.
 - NEW STOREFRONT ENTRY DOOR TO BE INSTALLED IN NEW STOREFRONT ASSEMBLY. REFER TO DOOR SCHEDULE SCHD-1 AND INTERIOR ELEVATIONS A-2.2 FOR ADDITIONAL INFORMATION.
 - NEW SURFACE MOUNTED STAINLESS STEEL CORNER GUARDS. G.C. TO PROVIDE & INSTALL ON EXPOSED SURFACES WITH SILICONE ADHESIVE. REFER TO 2/A-1.0 FOR ADDITIONAL INFORMATION.
 - POST MAXIMUM OCCUPANCY LOAD ON WALL ADJACENT TO MAIN ENTRY. MAXIMUM OCCUPANCY IS 94.
 - NEW FLOOR SINK. PROVIDE NEW WASTE AND VENT PIPING AS REQUIRED. FIELD VERIFY LOCATION. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 - NEW KNEE WALL BY G.C. TO BE INSTALLED BY G.C. AT 33" AFF. COVER NEW KNEE WALL WITH NEW DECORATIVE PANELS. REFER TO INTERIOR ELEVATIONS A-2.2 FOR ADDITIONAL INFORMATION. COUNTERTOP, PROVIDED BY VENDOR.
 - NEW FRP OVER EXISTING SERVICE AREA BULKHEAD. EXISTING/NEW SIDE WALLS AND NEW BEVERAGE STATION WALLS. REFER TO INTERIOR ELEVATIONS A-2.2 AND WALL COVERING SCHEDULE FOR ADDITIONAL INFORMATION.
 - INSTALL CHAIR RAIL ABOVE WAINSCOT. REFER TO INTERIOR ELEVATIONS A-2.2 AND DETAIL 3/A-1.0 FOR ADDITIONAL INFORMATION.
 - INSTALL NEW WAINSCOT PANELS THROUGHOUT DINING ROOM AND PASSAGE. PREP WALLS BY SANDING PRIOR TO INSTALLATION OF NEW FULLY ADHERED PLANK WALL PANEL SYSTEM. REFER TO WALL COVERING SCHEDULE A-2.2 FOR ADDITIONAL INFORMATION.
 - NEW PRE-PRIMED VENDOR PROVIDED 4" WINDOW TRIM TO BE PAINTED P-6. REFER TO INTERIOR ELEVATIONS A-2.2 FOR ADDITIONAL INFORMATION.
 - NEW PRE-FINISHED FLOOR TO CEILING "QUOTE WALL" PANEL. INSTALL PANELS 1/2" BELOW CEILING FOR VENTILATION PURPOSES.
 - NEW VENDOR PROVIDED FLOOR TO CEILING "QUOTE WALL" PANEL. REFER TO INTERIOR ELEVATIONS A-2.2.
 - NEW FULL HEIGHT WALL. REFER TO WALL TYPES THIS SHEET FOR ADDITIONAL INFORMATION.
 - NEW FLOOR SINK AT EXISTING FLOOR DRAIN. PROVIDE NEW WASTE AND VENT PIPING AS REQUIRED. FIELD VERIFY LOCATION. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

- WALL TYPES**
- INTERIOR WALL:** 2x4 WOOD STUDS (2x6 WHERE NOTED) @ 16" O.C., SECURED TO SLAB OR OPENING BASE AND TO TOP OF OPENING. T.E.I.F.S WALL 5/8" SHEATHING FLUSH @ ALL SIDES. PROVIDE SMOOTH, FLUSH FINISH WITH ADJACENT SURFACES (EXTERIOR SIDE). 1/2" CEMENT BOARD FULL HEIGHT OF OPENING BEHIND TILE (TILED WALL IN DINING ROOM). 1/2" PLYWOOD FROM BOTTOM OF OPENING TO TOP OF OPENING FLUSH ON ALL SIDES (KITCHEN AREA).
 - SERVICE COUNTER KNEE WALL:** 33" HIGH. 2x4 WOOD STUDS AT 16" O.C. SECURED TO SLAB. 1/2" PLYWOOD (CUSTOMER FACING SIDE). 1/2" CEMENT BOARD TO 12" A.F.F. (KITCHEN SIDE). 1/2" PLYWOOD FROM TOP OF CEMENT BOARD TO TOP OF FRAMING (KITCHEN SIDE).
- INSTALL NEW ADA COMPLIANT THRESHOLD AT ENTRY DOORS.
 - EXISTING WALL BASE TILE TO REMAIN, UNLESS NOTED OTHERWISE. PATCH EXISTING BASE TILE WHERE WALLS ARE REMOVED OR WHERE DAMAGED OR MISSING WITH NEW BASE TILE. TO MATCH EXISTING DINING ROOM BASE TILES.
 - INFILL OPENING IN WALL AS REQUIRED WITH WOOD STUDS @ 16" O.C., 1/2" GYPSUM BOARD ON INTERIOR SIDE OF WALL, AND 5/8" SHEATHING REQUIRED ON EXTERIOR SIDE OF WALL. PROVIDE SMOOTH, FLUSH FINISH WITH ADJACENT SURFACES. REFER TO INTERIOR AND EXTERIOR ELEVATIONS A-2.0, A-2.1, A-2.2.
 - EXISTING EXTERIOR DOORS TO REMAIN. REPLACE BRANDED PLASTIC DOOR PANEL INSERTS WITH NEW ALUMINUM PANEL INSERTS.
 - INSTALL STAINLESS STEEL CAP ON HEADER. REFER TO INTERIOR ELEVATIONS A-2.2.

- GENERAL NOTES**
- DO NOT SCALE THE DRAWINGS. ANY DIMENSIONAL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO COMMENCING CONSTRUCTION.
 - DIMENSIONS THAT ORIGINATE FROM EXISTING ELEMENTS OF THE BUILDING ARE FROM FACE OF FINISH. ALL OTHER DIMENSIONS ARE TO FACE OF STUD U.O.N.
 - DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MINIMUM REQUIRED NET CLEARANCE FROM FACE OF FINISH. VERIFY EQUIPMENT SIZES WITH VENDOR PRIOR TO INTERIOR WALL FRAMING.
 - G.C. SHALL VERIFY ALL ROUGH OPENINGS PRIOR TO FRAMING.
 - PROVIDE BLOCKING FOR SUPPORT OF FIXTURES, EQUIPMENT, SHELVING, MILLWORK ITEMS AND SIMILAR CONSTRUCTION AS REQUIRED FOR SOUND, STABLE INSTALLATION. FIELD VERIFY S LOCATIONS. BLOCKING TO CONSIST OF FIRE TREATED 8 PLYWOOD IN LIEU OF GYPSUM BOARD AT AREAS COVERED WITH FRP WALL FINISH. ALL BLOCKING IN WALLS SHALL BE FIRE TREATED.
 - EXTERIOR DOOR CLOSERS SHALL BE ADJUSTED TO HAVE A MAXIMUM 5 LBS OPENING FORCE.
 - BOTTOM 12" OF ALL NEW WALLS TO BE CONSTRUCTED WITH 1/2" CEMENT BOARD.

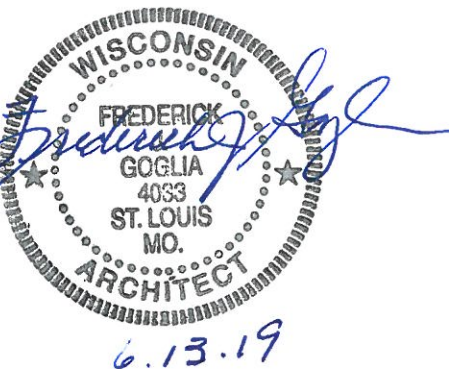


5 - SYRUP BUNDLE CEILING PENETRATION Scale: N.T.S.
 4 - SYRUP LINE IN CEILING Scale: N.T.S.
 3 - CHAIR RAIL & WAINSCOTING Scale: N.T.S.
 2 - S.S. CORNER & END WALL GUARD Scale: N.T.S.
 1 - RUBBER BASE Scale: 3" = 1'-0"



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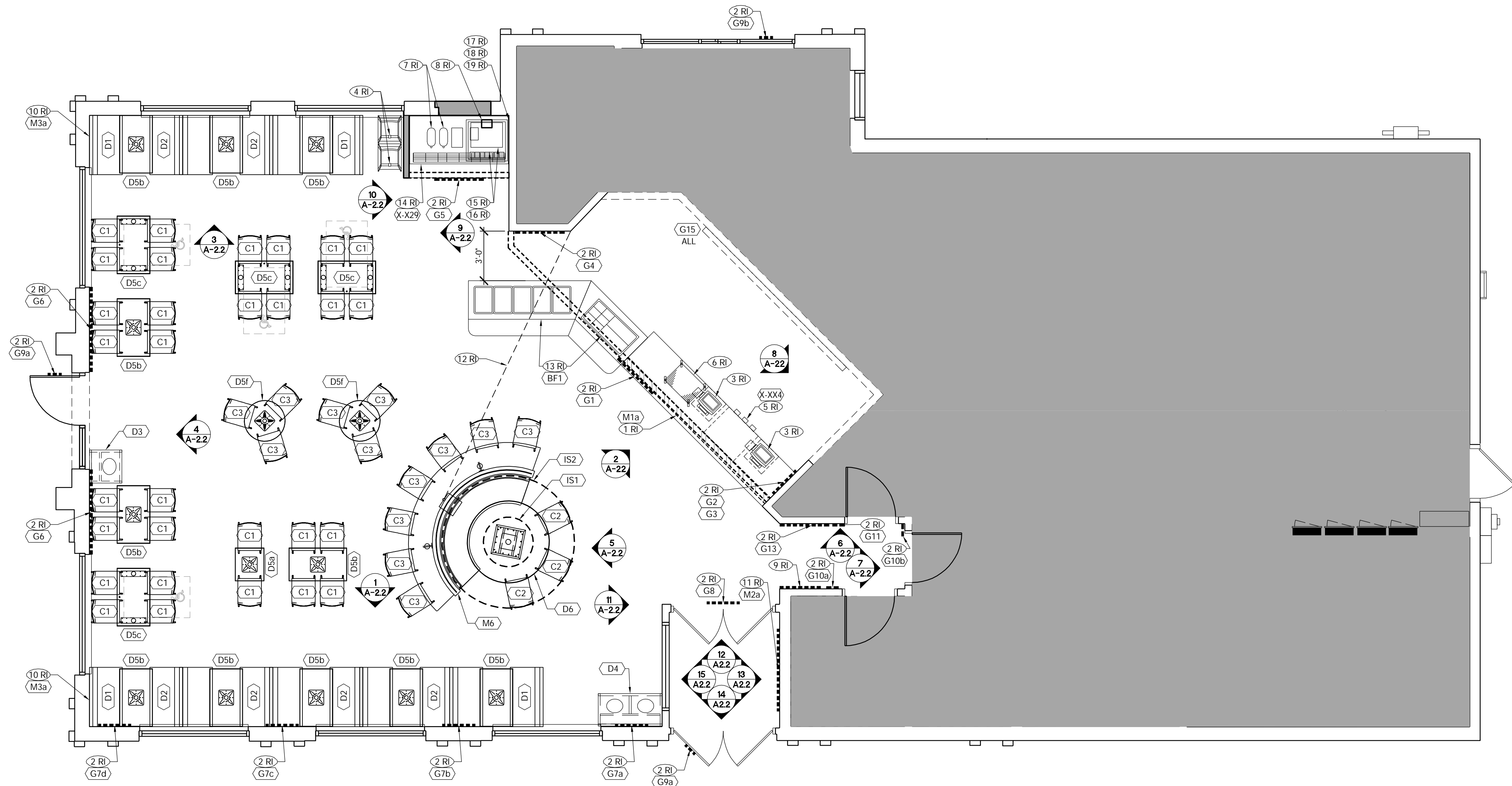
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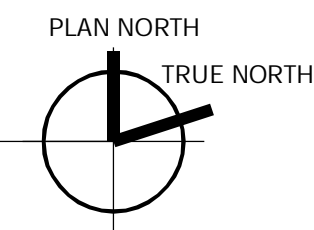
SHEET TITLE
FLOOR PLAN

SHEET NO.
A-1.0

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FIXTURE & GRAPHIC PLACEMENT PLAN
Scale: 1/4" = 1'-0"



FIXTURE & GRAPHIC PLAN KEY NOTES

- STANDARD SCOPE NOTES (RI)**
- NEW SERVICE COUNTER ON NEW KNEE WALL; PROVIDED BY VENDOR, INSTALLED BY G.C.
 - VENDOR PROVIDED ARTWORK. USE VENDOR TEMPLATE TO INSTALL. REFER TO KFC INTERIOR GRAPHIC SCHEDULE. THIS SHEET FOR ADDITIONAL INFORMATION.
 - EXISTING POS. CASH DRAWER. HOLD UP BUTTON AND ALL HARDWARE TO BE RELOCATED AS SHOWN.
 - EXISTING HIGH CHAIRS TO BE RELOCATED AS SHOWN, STACKED.
 - NEW UNDER COUNTER CUP DISPENSER.
 - EXISTING SHELF TO BE RELOCATED AS SHOWN.
 - EXISTING TEA URNS TO BE RELOCATED AS SHOWN.
 - PROVIDE A NEW STAINLESS STEEL CHASE FOR DRINK STATION. ROUTE NEW REFRIGERANT LINE AND SYRUP BUNDLES WITH WATER TUBING IN CHASE AS REQUIRED. FIELD VERIFY LOCATION.
 - REINSTALL EXISTING KFC FOUNDATION ARTWORK.
 - NEW PRE-FINISHED FLOOR TO CEILING DECORATIVE WALL TRIM PANELS. INSTALL PANELS 1/2" BELOW CEILING FOR VENTILATION PURPOSES.
 - NEW VENDOR PROVIDED FLOOR TO CEILING "QUOTE WALL" PANEL. REFER TO INTERIOR ELEVATIONS A-2.2 FOR ADDITIONAL INFORMATION.
 - APPROXIMATE AREA OF PATCH FLOOR AND TILE TO MATCH EXISTING FOR INSTALLATION OF POWER TO HUB TABLE. G.C. TO VERIFY. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - NEW BUFFET BAR. CONFIRM WITH OWNER BEFORE ORDERING EQUIPMENT.
 - NEW 72" BEVERAGE STATION.
 - EXISTING BEVERAGE DISPENSER TO BE RELOCATED AS SHOWN. PROVIDE INDIRECT WASTE PIPING TO FLOOR SINK WITH A CODE REQUIRED AIR GAP. CONNECT FILTERED WATER LINE TO WATER FILTER AS REQUIRED. REFER TO PLUMBING DRAWING FOR ADDITIONAL INFORMATION.
 - EXISTING ICE MACHINE TO BE RELOCATED AS SHOWN ABOVE BEVERAGE DISPENSER. PROVIDE NEW INDIRECT WASTE PIPING TO FLOOR SINK AND PROVIDE A CODE REQUIRED AIR GAP. CONNECT REFRIGERANT PIPING AS REQUIRED. CONNECT 1/2" FILTERED WATER LINE TO WATER FILTER AS REQUIRED. FIELD VERIFY LOCATION. REFER TO PLUMBING DRAWING FOR ADDITIONAL INFORMATION.
 - EXISTING CARBONATOR TO BE RELOCATED AS SHOWN AT BEVERAGE DISPENSER. RE-WORK/RE-CONNECT FILTERED WATER PIPING AS REQUIRED. FIELD VERIFY EXACT LOCATION. CONTRACTOR SHALL PROVIDE AND INSTALL A DOUBLE CHECK VALVE BACKFLOW PREVENTOR WITH ATMOSPHERIC VENT (WATTS SD-3 OR EQUAL) INSTALL UPSTREAM OF CARBONATOR WITH NO COPPER DOWN STREAM AS PER SECTION 10.5.8 (G) OF THE 2015 NATIONAL STANDARD PLUMBING CODE REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 - EXTEND NEW SANITARY PIPING OF SIZE NOTED AND CONNECT TO NEAREST EXISTING SANITARY PIPING. FIELD VERIFY EXACT LOCATION. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 - EXISTING CONDENSING UNIT ON ROOF FOR DINING ROOM ICE MACHINE TO REMAIN. RECONNECT REFRIGERANT LINES AFTER EXISTING ICE MACHINE IS RE-INSTALLED ON COUNTER. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

KFC DECOR SCHEDULE - BY DECOR VENDOR U.N.O.

TAG	QTY.	ITEM	NOTES
C1	36	CAFE DINING CHAIRS	
C2	3	CAFE DINING CHAIRS - KFC RED SEAT	
C3	13	CAFE BAR CHAIRS - KFC RED SEAT	
D1	4	SANDERS BOOTH - SINGLE 43"	
D2	6	SANDERS BOOTH - DOUBLE 43"	
D3	1	TRASH UNIT - SINGLE	
D4	1	TRASH UNIT - DOUBLE	
D5a	1	TABLE TOP - 21" x 24"	
D5b	11	TABLE TOP - 24" x 42"	
D5c	4	TABLE TOP - 24" x 42" WITH HC SYMBOL	
D5d	-	TABLE TOP - 30" x 42" WITH HC SYMBOL	
D5e	-	TABLE TOP - 30" x 33.5"	
D5f	2	TABLE TOP - 30" ROUND	
D5g	-	TABLE TOP - 30" ROUND WITH HC SYMBOL	
D5h	-	TABLE TOP - 36" ROUND	
D6	1	FOCAL TABLE 60" WITH CUSTOM BASE	PROVIDE ACCESSIBLE SYMBOL AS SHOWN
D7a	-	PATIO TABLE WITH BENCHES (4 SEATS)	TF312512
D7b	-	ADA PATIO TABLE WITH BENCHES (3 SEATS)	TF3128
D8a	-	BANQUETTE BOOTH 60"	
D8b	-	BANQUETTE BOOTH 48"	
IS1	1	BUCKET	
IS2	1	RING CEILING ELEMENT	
M1a	1	K30 FRONT COUNTER SYSTEM - FRONT COUNTER BEAM SYSTEM.	SINGLE BEAM
M2a	1	ENTRY FOCAL WALL WITH REAL MEALS QUOTE - STANDARD (ALL REMODEL EXCEPT K50)	
M3a	1	ENTRY FOCAL WALL PANELS - CELEBRITY RED WALL INCLUDING WINDOW AND TOP TRIM (ALL REMODEL EXCEPT K50)	
M4	TBD	WINDOW TRIM	
M5	TBD	CROWN TRIM	
M6	1	BUCKET BOOTH WITH CAR COUNTER/CURVED GLASS DIVIDER SCREEN	
M7	-	CONDIMENT STATION WITH RAIL ASSEMBLY	
M8	-	DIVIDER WALL PANELS, HALF WALL COCOA PANELS	

KFC INTERIOR GRAPHIC SCHEDULE

TAG	QTY.	ITEM	NOTES
G1	1	'KITCHEN' SIGN	
G2	1	CHALK BOARD - PRINTED	
G3	1	REAL MEALS GUARANTEE	
G4	1	SECRET PROCESS ART	
G5	1	PEPSI FILLING STATION SIGN	
G6	1	FOCAL WALL ART	
G7	TBD	POSTER ARTWORK HANGING RAIL SYSTEM	
G7a	1	POSTER ARTWORK - 2 SIDED - 'SOUTHERN INSPIRED' / 'BUCKET LIST'	
G7b	1	POSTER ARTWORK - 2 SIDED - 'SANDERS FOR SENATOR' / '4000 STATUES'	
G7c	1	POSTER ARTWORK - 2 SIDED - 'COLONEL 101' / 'SECRET RECIPE'	
G7d	1	POSTER ARTWORK - 2 SIDED - 'NO. 1 CHICKEN SALESMAN' / 'PRESSURE COOKER'	
G8	1	THANKS MESSAGE	
G9a	2	STORE HOURS - ENTRY DOOR	
G9b	1	STORE HOURS - DRIVE THRU WINDOW	
G9c	1	STORE HOURS - SPEAKER POST	
G10a	1	RESTROOM SIGN - LADIES	
G10b	1	RESTROOM SIGN - GENTS	
G11	1	COLONEL'S OFFICE SIGN	
G12	2	RESTROOM MIRROR MESSAGE	
G13	1	COMMUNITY BOARD	
G14	-	CONDIMENT STATION ARROW SIGN	
G15a	1	BOH ART - COMMUNICATION BOARD (VERTICAL & HORIZONTAL)	
G15b	1	BOH ART - FAMILY PRIDE BOARD	
G15c	1	BOH ART - COLONEL PROUD BANNER	
G15d	1	BOH ART - COLONEL TIE MIRROR	
G15e	1	BOH ART - GREATEST CHICKEN COLLAGE	
G15f	1	BOH ART - SERVICE PROMISE SIGN (STANDARD 60"x47" AND SMALL 30"x24")	
GXX	1	EMERGENCY EXIT ONLY	G.C. TO GET FROM VENDOR AND GET APPROVAL FROM OWNER

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING HALF WALL TO REMAIN
- NEW WALL
- NEW HALF HEIGHT WALL

GENERAL NOTES

- ALL ITEMS LISTED IN THE EQUIPMENT SCHEDULE SHALL BE FURNISHED BY THE OWNER (FIXTURE/EQUIPMENT VENDOR) AND INSTALLED BY THE G.C.
- SYMBOL TO BE ADDED TO TABLE TOPS WHERE SHOWN.

SEATING:

EXISTING:	88
PROPOSED:	81

KFC EQUIPMENT SCHEDULE

TAG	QTY.	ITEM	NOTES
X-X29	1	72" BEVERAGE COUNTER (RIGHT TO LEFT)	CUSTOMER AREA: E05230100
X-XX4	1	CUP DISPENSER & BRACKET	A.J. ANTUNES # DACS-50
BF1	1	BUFFET BAR / EQUIPMENT	CUSTOM SEATING INC. E8630P002



KFC

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6.13.19

TEMPLATE VERSION:
AMERICAN SHOWMAN
VER-1 DEC 2016

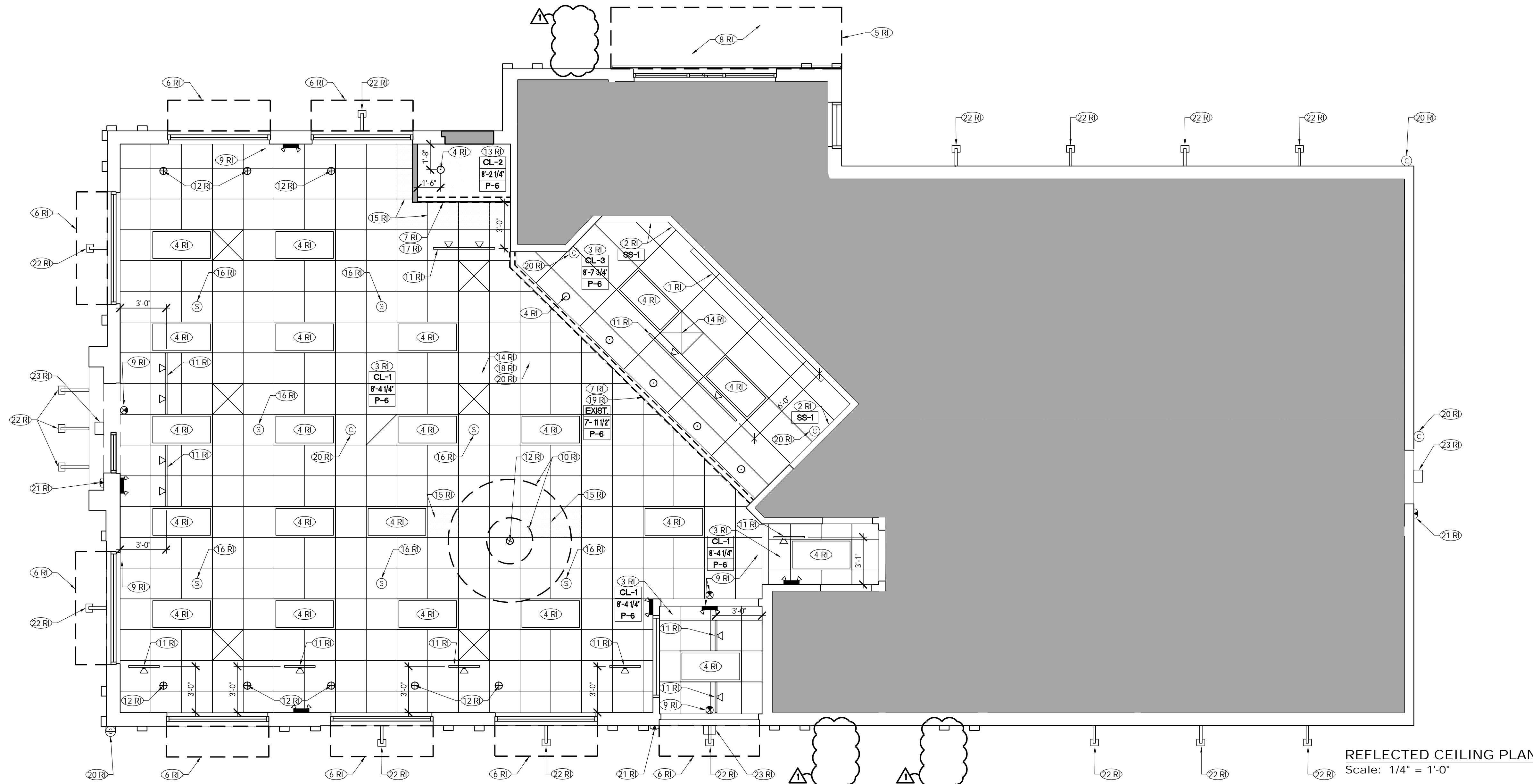
PROJECT TITLE
CD TEMPLATE
"K-38 SERIES 6000 TO AMERICAN SHOWMAN"
2090 GREEN BAY RD
RACINE, WI 53406

STORE NO. K071228
ISSUE DATE 05.31.19
ARC NUMBER 190040

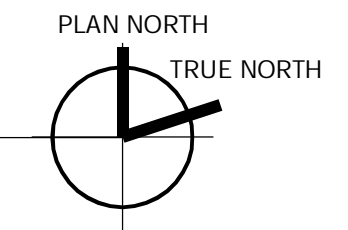
SHEET TITLE
FIXTURE & GRAPHIC PLACEMENT PLAN

SHEET NO.
A-1.2

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REFLECTED CEILING PLAN
Scale: 1/4" = 1'-0"



REFLECTED CEILING PLAN KEY NOTES *SEE ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION

- STANDARD SCOPE NOTES (RI)**
- 1 RE-INSTALL EXISTING MENU BOARD.
 - 2 NEW STAINLESS STEEL CAP AT UNDERSIDE OF EXISTING BULKHEAD (SS-1).
 - 3 NEW CEILING TILES IN EXISTING CEILING GRID. REPAIR EXISTING GRID AS NEEDED AND PAINT AS NOTED. REFER TO CEILING SCHEDULE, THIS SHEET, AND PAINT SCHEDULE, SHEET SCHD-1 FOR ADDITIONAL INFORMATION.
 - 4 NEW RECESSED LIGHT - CONNECT TO EXISTING LIGHT CIRCUITS. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 5 NEW DRIVE THRU CANOPY. REFER TO SHEETS EXTERIOR ELEVATIONS A-2.0, A-2.1 FOR ADDITIONAL INFORMATION.
 - 6 NEW EXTERIOR AWNING. REFER TO EXTERIOR ELEVATIONS A-2.0 & A-2.1 FOR ADDITIONAL INFORMATION.
 - 7 CUSTOM MILLWORK, FAUX WOOD BEAM BY VENDOR. REFER TO INTERIOR ELEVATIONS A-2.2 FOR MORE INFORMATION.
 - 8 WIRING OF LIGHTS IN CANOPY BY VENDOR. E.C. SHALL MAKE FINAL CONNECTION TO EXISTING LIGHTING CIRCUIT THIS AREA.
 - 9 NEW EMERGENCY LIGHTING & EXIT SIGNAGE (WHITE BACKGROUND).
 - 10 NEW BUCKET PENDANT LIGHT AND LIGHT RING. ELECTRICAL CONTRACTOR TO VERIFY CAPACITY ON EXISTING CIRCUITS FOR LIGHTS.
 - 11 NEW TRACK LIGHTING, POSITION AT 3'-0" FROM WALL U.N.O.
 - 12 NEW PENDANT LIGHTING CENTERED ABOVE TABLE.
 - 13 NEW GYPSUM BOARD CEILING. PAINT AS NOTED. REFER TO PAINT SCHEDULE, SHEET SCHD-1 FOR ADDITIONAL INFORMATION.
 - 14 INSTALL NEW HVAC DIFFUSERS AND GRILLES (WHITE). REFER TO MECHANICAL DRAWINGS.
 - 15 NEW CEILING GRID TO MATCH EXISTING. NEW CEILING TILES. REFER TO CEILING SCHEDULE, THIS SHEET, FOR ADDITIONAL INFORMATION.
 - 16 EXISTING SPEAKERS TO BE RE-INSTALLED IN SAME LOCATION AFTER FINISH WORK. PAINT WHITE (P-6) SATIN FINISH.
 - 17 INSTALL NEW PEPSI SIGN.
 - 18 RELOCATE EXISTING WI-FI ROUTER AS SHOWN. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 19 EXISTING GYPSUM BOARD SOFFIT. REFER TO INTERIOR ELEVATIONS A-2.2.
 - 20 EXISTING CCTV/CAMERA/SMOKE DETECTORS TO BE REMOVED AND RE-INSTALLED AFTER FINISH WORK BY OWNER'S VENDOR.
 - 21 NEW EMERGENCY EGRESS LIGHT FIXTURE. REFER TO SHEETS A-2.0, A-2.1 AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 22 NEW EXTERIOR LIGHT. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 23 NEW EXTERIOR SCENCE, REFER TO SHEETS A-2.0, A-2.1, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

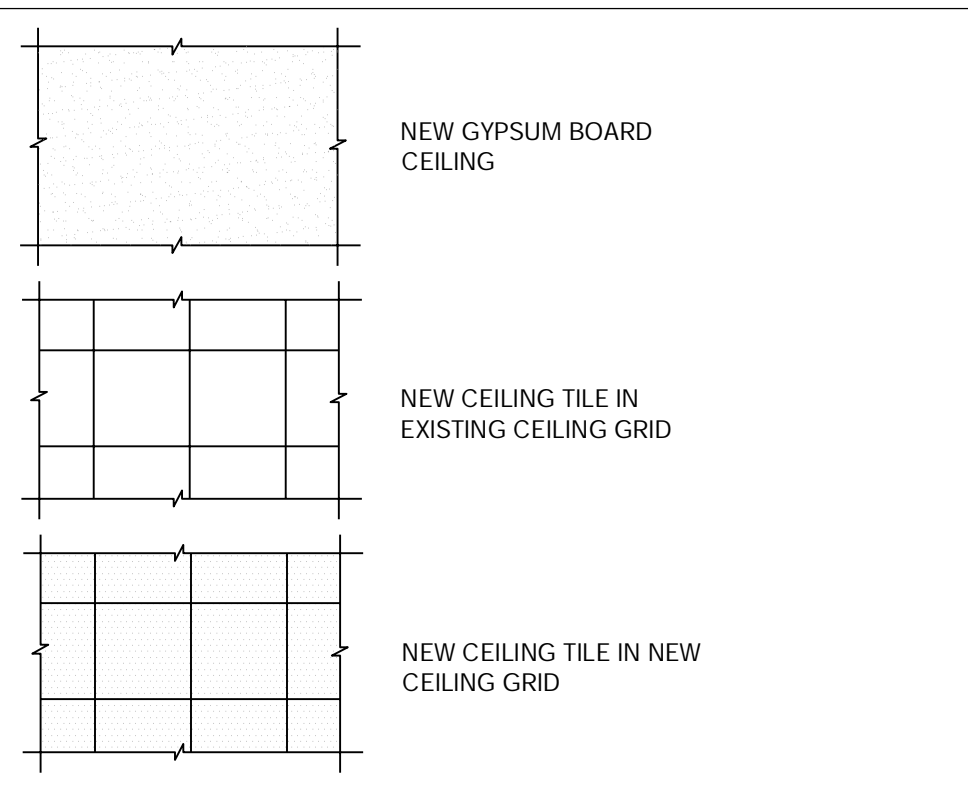
CEILING SCHEDULE

TAG	LOCATION	DESCRIPTION	MFR/CONTACT	REMARKS
CL-1	DINING AREA CEILING	MFR: USG TYPE: 414, FROST, 24" x 24" x 1/2" COLOR: WHITE GRID COLOR: WHITE		
CL-2	SOFFITS: BEVERAGE AREA CEILING	GYPSUM BOARD TYPE: 1/2" THICK COLOR: REFER TO SHEET A-1.3 NOTE: OVER 2x FRAMING AT 24" O.C COORDINATE FRAMING WITH MECHANICAL AND ELECTRICAL FIXTURES		
CL-3	SERVICE AREA CEILING	MFR: ACOUSTIFLEX CORP TYPE/COLOR: CAPUL VINYL ROCK #1140, WHITE, WASHABLE SIZE: 24" x 48" x 1/2" GRID: WHITE SUSPENDED GRID WITH ALUMINUM FACE		

SYMBOLS LEGEND

- 2'-0" x 4'-0" LED LIGHT FIXTURE
- PENDANT FIXTURE
- DOWN LIGHT
- EMERGENCY LIGHT
- COMBINATION EXIT/EMERGENCY LIGHT
- EXIT SIGN
- EXTERIOR EMERGENCY LIGHT
- TRACK
- TRACK LIGHT
- EXTERIOR LIGHT FIXTURE
- SECURITY CAMERA
- SPEAKER
- EXHAUST FAN
- HVAC RETURN GRILLE
- HVAC SUPPLY DIFUSSER

LEGEND



GENERAL NOTES

- A. CONFIRM LIGHTING FIXTURE QUANTITIES WITH SUPPLIER
- B. EMERGENCY AND STANDARD LIGHTING MARKED WITH 'NL' SUBSCRIPT SHALL OPERATE CONTINUOUSLY. PROVIDE UNSWITCHED HOT TO STANDARD AND EMERGENCY BALLASTS. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- C. EMERGENCY LIGHTING NOT MARKED WITH 'NL' SUBSCRIPT: PROVIDE UNSWITCHED CONSTANT HOT TO EMERGENCY BALLAST AND SWITCHED HOT TO STANDARD BALLAST
- D. CONTRACTOR SHALL FIELD VERIFY CEILING TYPE AND PROVIDE PROPER MOUNTING HARDWARE
- E. ELECTRICAL CONTRACTOR SHALL VERIFY AVAILABLE CIRCUITS IN ELECTRICAL PANELS AND REUSE EXISTING CIRCUITS AS AVAILABLE
- F. CONNECT LIGHTING CIRCUITS TO EXISTING LIGHTING CONTROL PANEL. COORDINATE CONTROL SEQUENCE AND TIME OF DAY SCHEDULING WITH FRANCHISEE
- G. REFER TO A2.0 FOR ADDITIONAL EXTERIOR LIGHTS NOT SHOWN ON PLAN
- H. ALL NEW LIGHTING TO BE COORDINATED WITH EXISTING MECHANICAL GRILLES
- I. EXISTING ELECTRICAL PANEL LOCATIONS & NEW CIRCUITS SHALL BE VERIFIED BY E.C. E.C. SHALL COORDINATE & VERIFY FINAL ELECTRICAL WITH LIGHTING / SIGNAGE SUPPLIERS
- J. PROVIDE ESCUTCHEON PLATES AND SEALANT AT ALL UTILITY PENETRATIONS FOR WALLS, CEILINGS, AND FLOORS. DO NOT USE CAULK OR EXPANDING FOAM FOR SEALANT
- K. ALL WIRING TO BE PER NEC INSTALLATION REQUIREMENTS SIZED FOR 40% MAX FILL PER NEC
- L. RELOCATED DEVICES TO BE ROUTED IN FLEXIBLE METAL CONDUIT.
- M. G.C./E.C. IS RESPONSIBLE FOR FIELD VERIFYING THE EXISTING ELECTRICAL CAPACITY AND CONFIRMING THAT THE NUMBER OF SPARES AT THE PANELS IS ADEQUATE FOR THE ADDITION/RELOCATION OF THE SERVICES SHOWN. G.C. TO NOTIFY KFC PM IF EITHER SERVICE OR NUMBER OF SPARES IS FOUND TO NOT MEET THE NECESSARY REQUIREMENTS
- N. E.C. SHALL PROVIDE J-BOX FOR SIGNAGE BY SIGN VENDOR. FINAL CONNECTION TO BUILDING POWER BY E.C.
- O. E.C. SHALL PROVIDE J-BOX FOR NEW EXTERIOR LIGHT FIXTURE. FINAL CONNECTION TO BUILDING POWER BY E.C.
- P. E.C. SHALL COORDINATE EXACT ROUTING OF ALL NEW AND RELOCATED CIRCUITS. FIELD VERIFY EXISTING CONDITIONS. ALL WORK AND WIRING PER NEC. INSTALLATION REQUIREMENTS. ALL WORK TO BE CONCEALED. SURFACE MOUNT RACEWAYS ARE NOT PERMITTED



KFC

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6.13.19
TEMPLATE VERSION:
AMERICAN SHOWMAN
VER-1 DEC 2016

REVISION:

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PROJECT TITLE
CD TEMPLATE
"K-38 SERIES 6000 TO AMERICAN SHOWMAN"
2090 GREEN BAY RD
RACINE, WI 53406

STORE NO. K071228
ISSUE DATE 05.31.19
ARCV NUMBER 190040

SHEET TITLE
REFLECTED CEILING PLAN

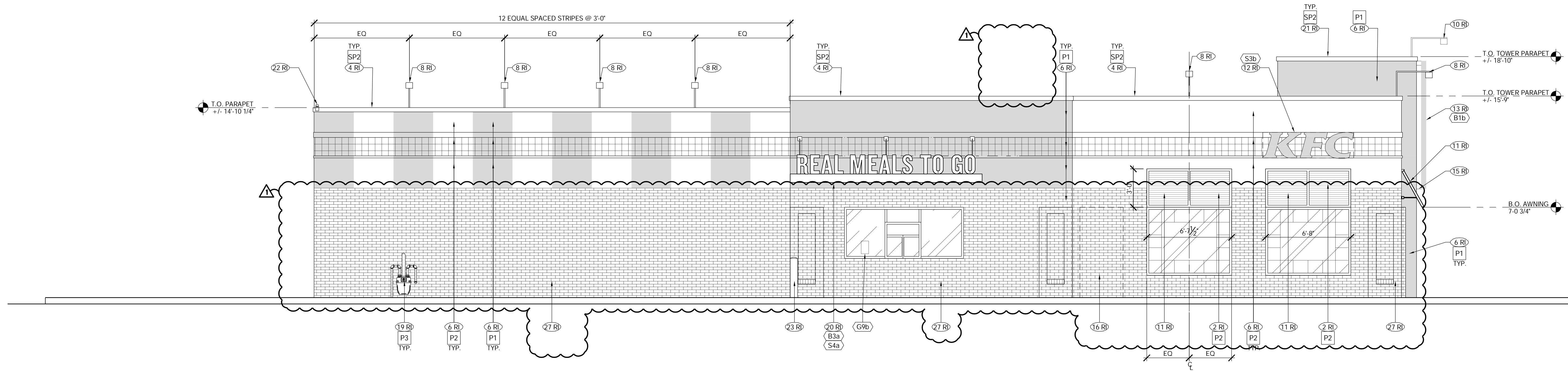
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1 - DRIVE THRU ELEVATION
 Scale: 1/4" = 1'-0"

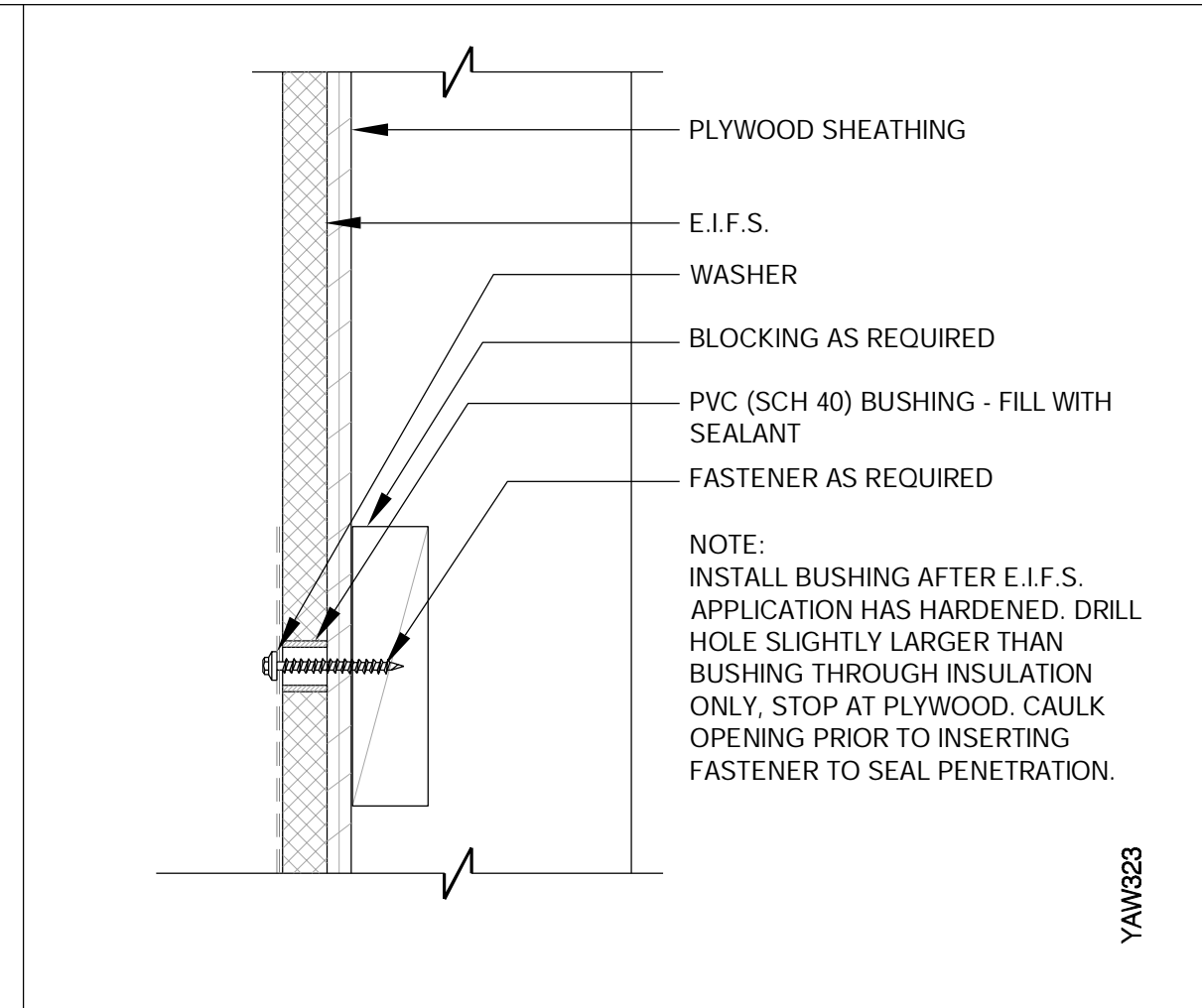
EXTERIOR ELEVATION KEY NOTES:

STANDARD SCOPE NOTES (RI)

- 1 NEW LIGHT FIXTURE CENTERED OVER DOOR OR AS NOTED. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 2 WALL SURFACE BEHIND NEW AWNINGS TO BE PAINTED AS INDICATED. REFER TO PAINT SCHEDULE, THIS SHEET, FOR ADDITIONAL INFORMATION.
- 3 NOT USED
- 4 EXISTING PARAPET COPING TO BE REPAIRED, SEALED AND PAINT AS INDICATED. REFER TO PAINT SCHEDULE, THIS SHEET, FOR ADDITIONAL INFORMATION.
- 5 STENCIL PAINTED GRAPHIC ELEMENT.
- 6 PAINT EXISTING SURFACE AS INDICATED. REFER TO PAINT SCHEDULE, THIS SHEET, FOR ADDITIONAL INFORMATION.
- 7 NEW VINYL GRAPHICS APPLIED TO NEW TOWER PANELS.
- 8 NEW LIGHT FIXTURE CENTERED ON WINDOW OR GRAPHIC OR OTHERWISE AS INDICATED IN ELEVATION. PATCH AND REPAIR ROOF MEMBRANE AT FIXTURE ATTACHMENT POINT. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 9 INSTALL NEW ADDRESS NUMBERS (911 COMPLIANT; BRASS OR BRONZE) AFTER FINISH WORK.
- 10 NEW ACCENT LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. PATCH AND REPAIR ROOF MEMBRANE AT FIXTURE ATTACHMENT POINT.
- 11 NEW PRE-FINISHED METAL LOUVERED AWNINGS (AWNINGS ABOVE DOORS TO HAVE RAIN DIVERTERS).
- 12 NEW LED KFC CHANNEL LETTER SIGN.
- 13 NEW METAL PANEL SYSTEM ATTACHED TO AND HELD OFF EXISTING TOWER. TOP OF PANELING TO ALIGN WITH BOTTOM OF EXISTING TOWER COPING.
- 14 NEW EMERGENCY EGRESS LIGHT FIXTURE. PROVIDE REQUIRED FIRE TREATED BLOCKING AT EACH FIXTURE AS NECESSARY FOR SECURE INSTALLATION. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 15 G.C. TO INSTALL METAL CAP AT BOTTOM OF METAL PANEL SYSTEM TO EXISTING FINISH TO ENSURE NO OPENING BEHIND PANEL. PAINT TO MATCH ADJACENT SURFACES.
- 16 AREA OF WALL INFILL WITH MATERIALS TO MATCH EXIST ADJACENT SURFACES ON EXTERIOR SIDE OF WALL. PROVIDE SMOOTH, FLUSH FINISH WITH ADJACENT SURFACES. REFER TO FLOOR PLAN A-1.0.
- 17 PAINT EXISTING DOOR AS NOTED. REFER TO FINISH SCHEDULE, SHEET SCHD-1, FOR ADDITIONAL INFORMATION.
- 18 EXISTING ELECTRICAL EQUIPMENT AND METER. PAINT TO MATCH ADJACENT SURFACE.
- 19 EXISTING GAS METER. PAINT AS NOTED. REFER TO FINISH SCHEDULE, SHEET SCHD-1, FOR ADDITIONAL INFORMATION.
- 20 NEW DRIVE-THRU CANOPY.
- 21 NEW PARAPET COPING. REFER TO PAINT SCHEDULE, SHEET SCHD-1 FOR ADDITIONAL INFORMATION.
- 22 EXISTING SECURITY CAMERA TO BE RE-INSTALLED AFTER FINISH WORK. G.C. TO PROTECT FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- 23 EXISTING BOLLARDS TO REMAIN. PROVIDE NEW YELLOW BOLLARD COVER. REFER TO DETAIL 1/C-1.0 FOR ADDITIONAL INFORMATION.
- 24 EXISTING ROOF ACCESS LADDER. DO NOT PAINT.
- 25 NEW ENTRY DOOR IN NEW STOREFRONT SYSTEM. REFER TO WINDOW AND DOOR SCHEDULE SCHD-1 FOR MORE INFORMATION.
- 26 EXISTING EXTERIOR DOORS TO REMAIN. REPLACE BRANDED PLASTIC DOOR PANEL INSERTS WITH NEW ALUMINUM PANEL INSERTS.
- 27 EXISTING BRICK TO REMAIN. CLEAN, PATCH, AND REPAIR AS REQUIRED.

GENERAL NOTES

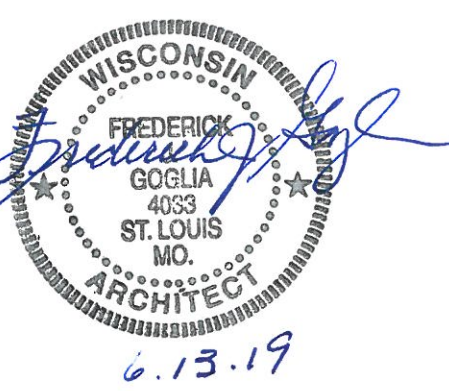
1. G.C. TO PROVIDE VERIFICATION OF EXISTING STRUCTURAL ATTACHMENTS FOR NEW BUILDING ELEMENTS. IF REQUIRED PROVIDE ADDITIONAL BLOCKING PER VENDORS RECOMMENDATION.
2. APPROVED PAINT MANUFACTURERS: BENJAMIN MOORE



2 - CONNECTION THRU E.I.F.S.
 Scale: N.T.S.

IMAGE COMPONENTS SCHEDULE

SIGNAGE			
TAG	QTY.	ITEM DESCRIPTION	ELEC.
S1a	0	VINYL LOGO/GRAPHICS FOR TOWER PANEL - FULL HT.	
S1b	1	VINYL LOGO/GRAPHICS FOR TOWER PANEL - HALF HT.	
S3a	0	KFC CHANNEL LETTERS - 30" RED	X
S3b	2	KFC CHANNEL LETTERS - 24" RED	X
S3c	0	KFC CHANNEL LETTERS - 30" WHITE	X
S3d	0	KFC CHANNEL LETTERS - 24" WHITE	X
S4a	1	"REAL MEALS TO GO" DIMENSIONAL LETTERS FOR 15' DT CANOPY	
S4b	0	"REAL MEALS TO GO" VINYL LETTERS FOR 8' DT CANOPY	
S5b	0	"WORLD FAMOUS CHICKEN" 16" LETTERS - PAINT	
S5c	1	"WORLD FAMOUS CHICKEN" 12" LETTERS - PAINT	
S5d	0	"WORLD FAMOUS CHICKEN" STACKED LETTERS-PAINT	
S6	0	"REAL MEALS" BUCKET SIGN	
S7	0	"REAL MEALS TO GO" BUCKET SIGN	X
S8a	0	"HARD WAY" PAINT TEMPLATE - 57" ROUND	
S8d	0	"HARD WAY" PAINT TEMPLATE - HORIZONTAL (MEDIUM)	
G9a	2	STORE HOURS - ENTRY	
G9b	1	STORE HOURS - DT WINDOW	
BUILDING EXTERIOR ELEMENTS			
B1a	0	TOWER PANEL WITH LOGO AND GRAPHICS - FULL HEIGHT WITH EXTENDER	
B1b	1	TOWER PANEL WITH LOGO AND GRAPHICS - HALF HT.	
B2	0	TOWER LID CANOPY	
B3a	1	DT WINDOW CANOPY - 15' WIDE	X
B3b	0	DT WINDOW CANOPY - 8' WIDE	X



TEMPLATE VERSION:
 AMERICAN SHOWMAN
 VER-1 DEC 2016

REVISION:

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PROJECT TITLE
CD TEMPLATE
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 2090 GREEN BAY RD
 RACINE, WI 53406

STORE NO. **K071228**
 ISSUE DATE **05.31.19**
 ARCV NUMBER **190040**

SHEET TITLE
EXTERIOR ELEVATIONS

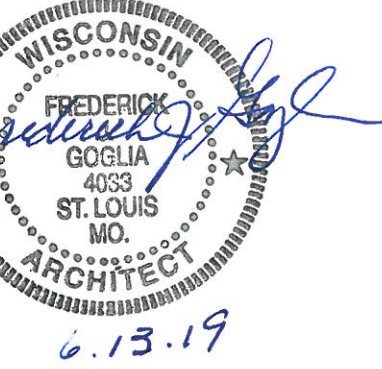
SHEET NO.
A-2.0

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TEMPLATE VERSION:
AMERICAN SHOWMAN
VER-1 DEC 2016

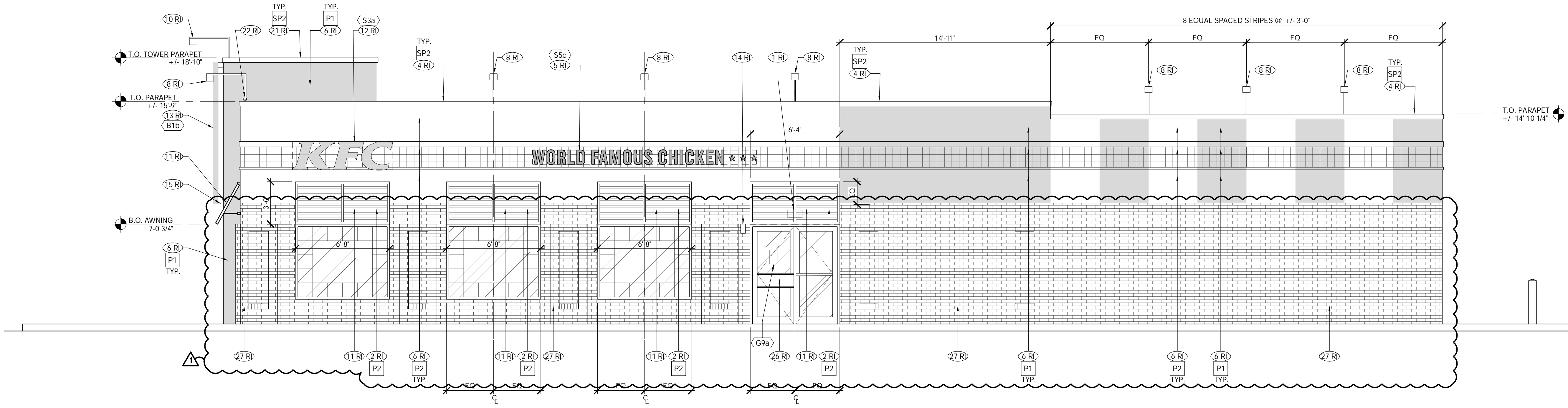
Mark	Date	By
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PROJECT TITLE
CD TEMPLATE
"K-38 SERIES 6000 TO
AMERICAN SHOWMAN"
2090 GREEN BAY RD
RACINE, WI 53406

STORE NO. K071228
ISSUE DATE 05.31.19
ARCV NUMBER 190040

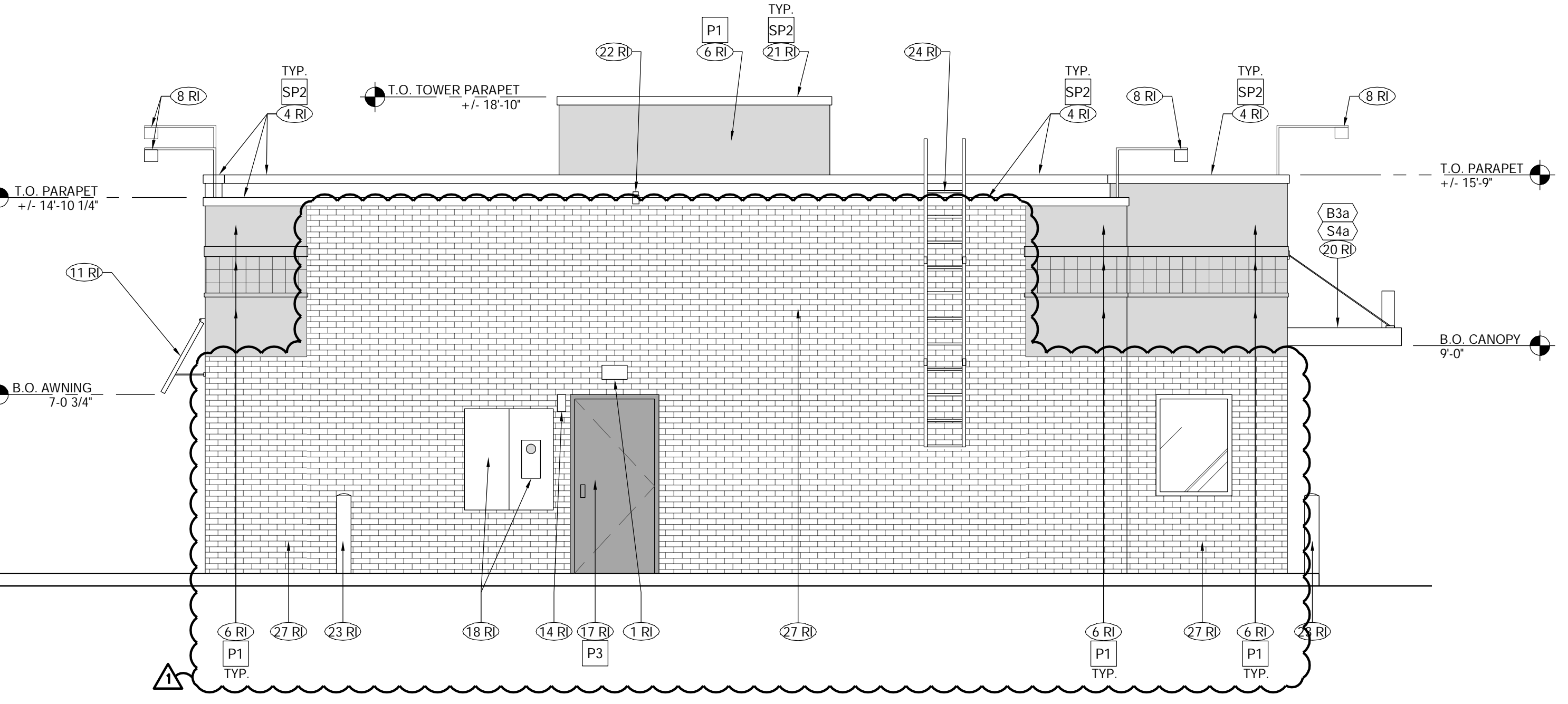
SHEET TITLE
EXTERIOR
ELEVATIONS

SHEET NO.
A-2.1



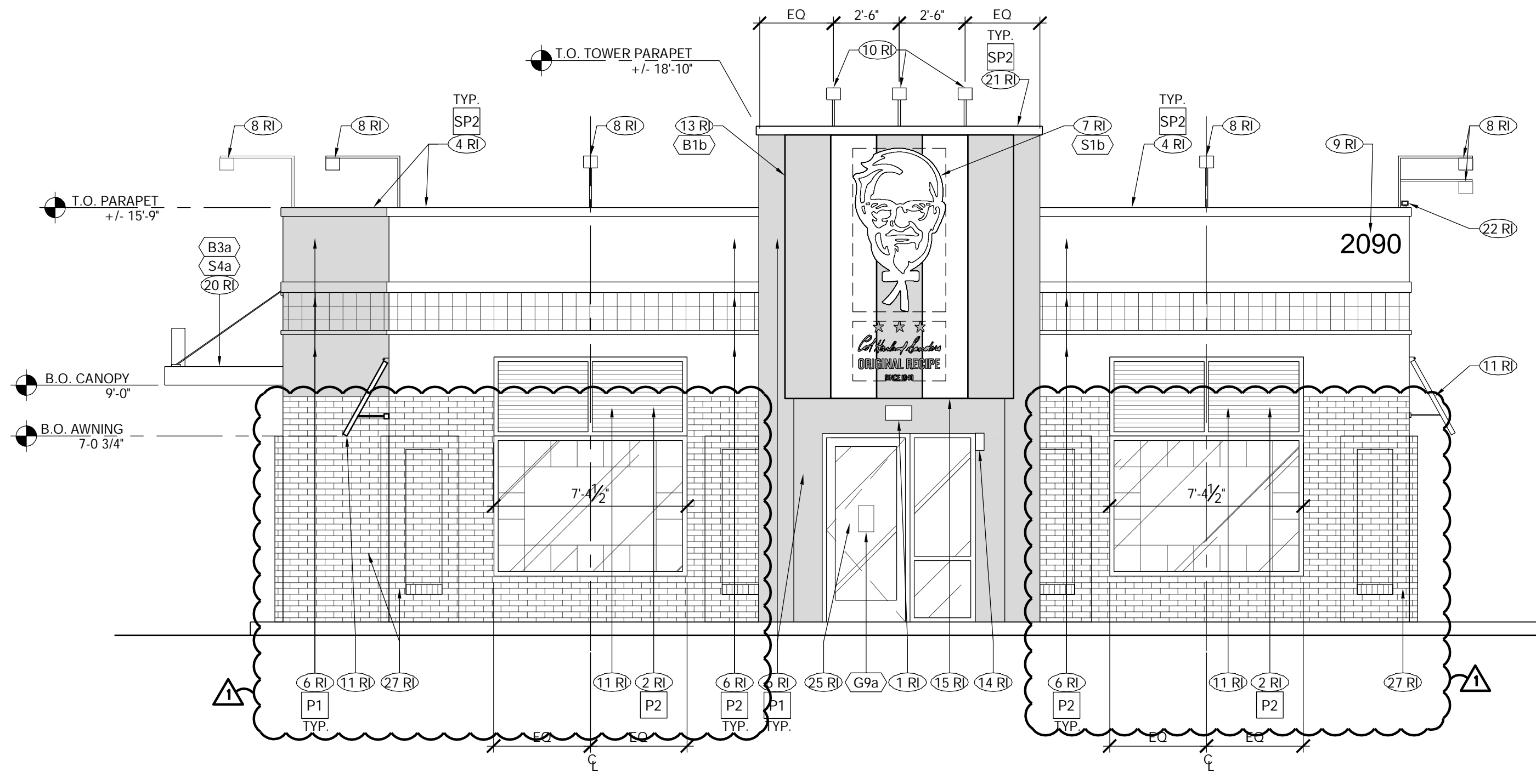
SEE A-2.0 FOR KEY NOTES

1 - ENTRY ELEVATION
Scale: 1/4" = 1'-0"



SEE A-2.0 FOR KEY NOTES

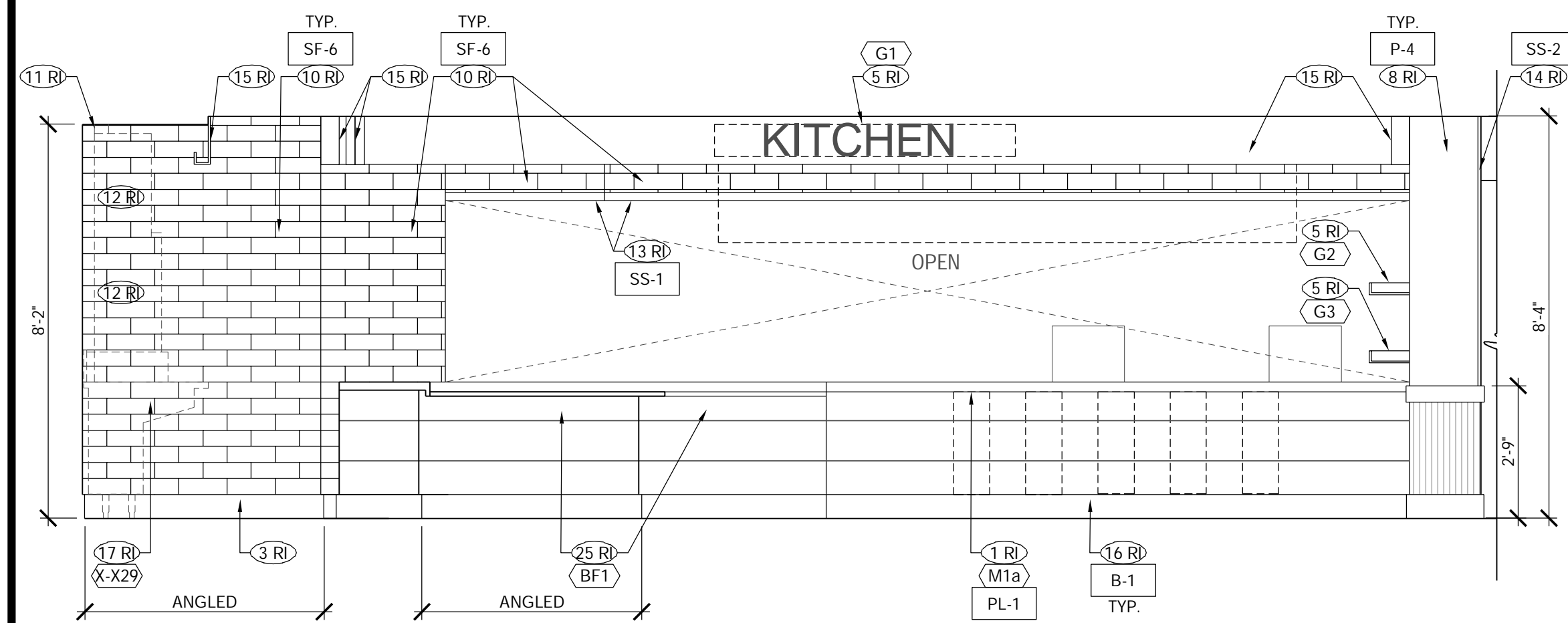
3 - REAR ELEVATION
Scale: 1/4" = 1'-0"



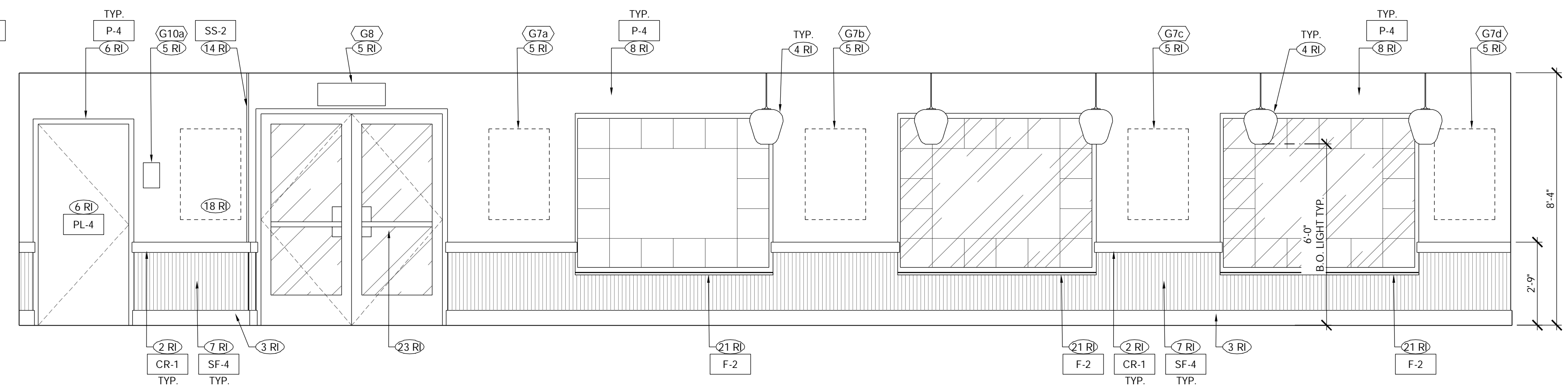
SEE A-2.0 FOR KEY NOTES

2 - FRONT ELEVATION
Scale: 1/4" = 1'-0"

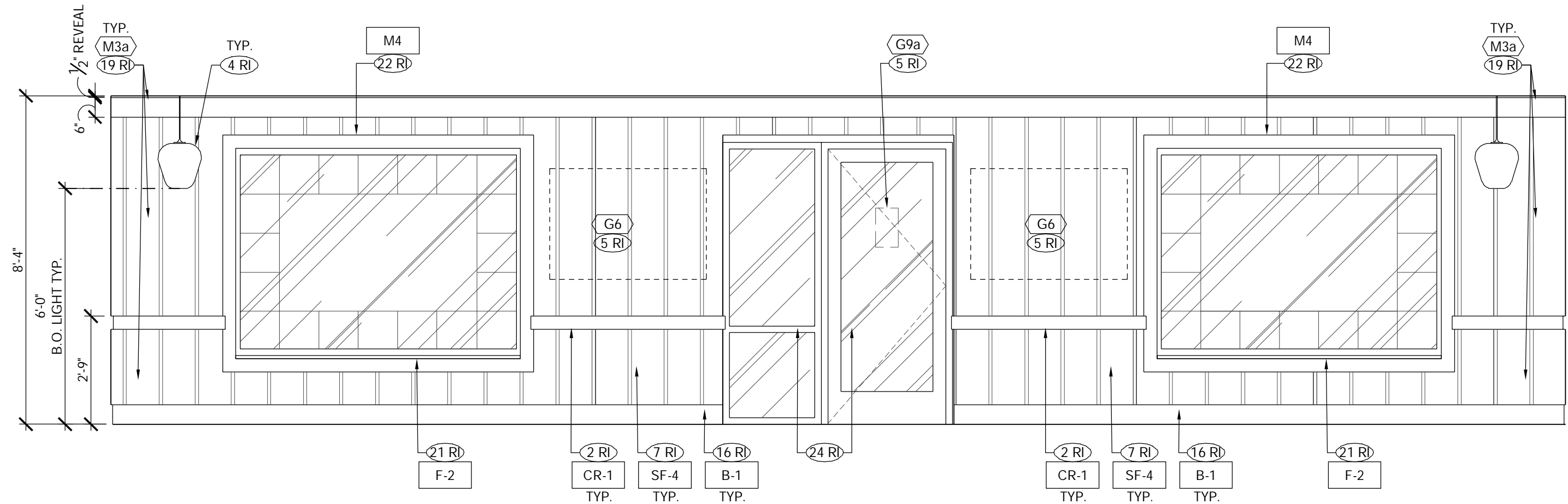
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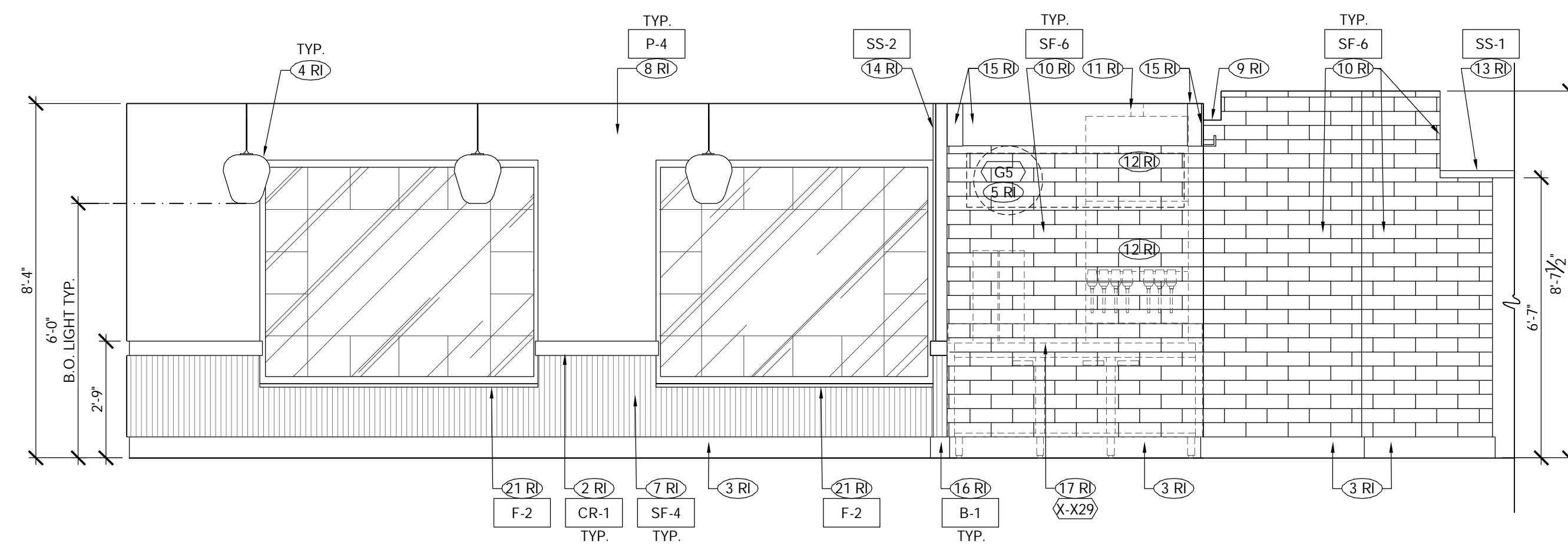
ELEVATION 2
Scale: 3/8" = 1'-0"



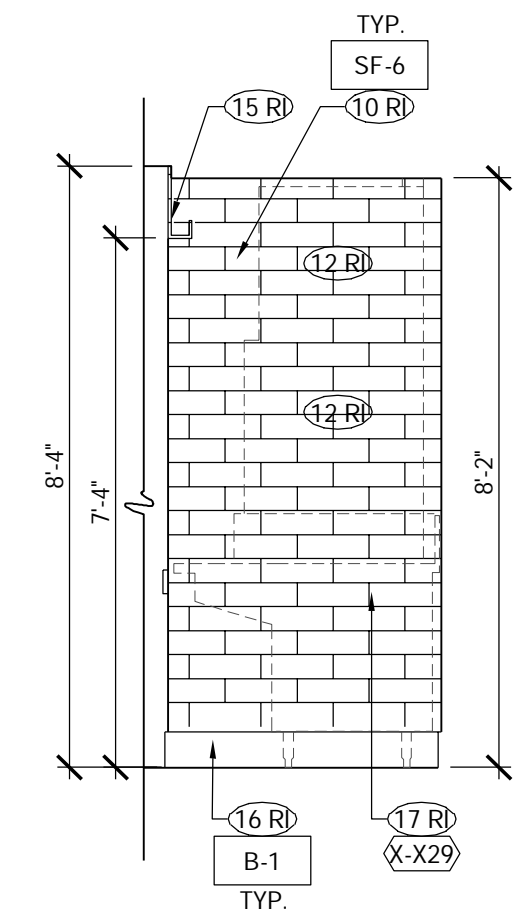
ELEVATION 1
Scale: 3/8" = 1'-0"



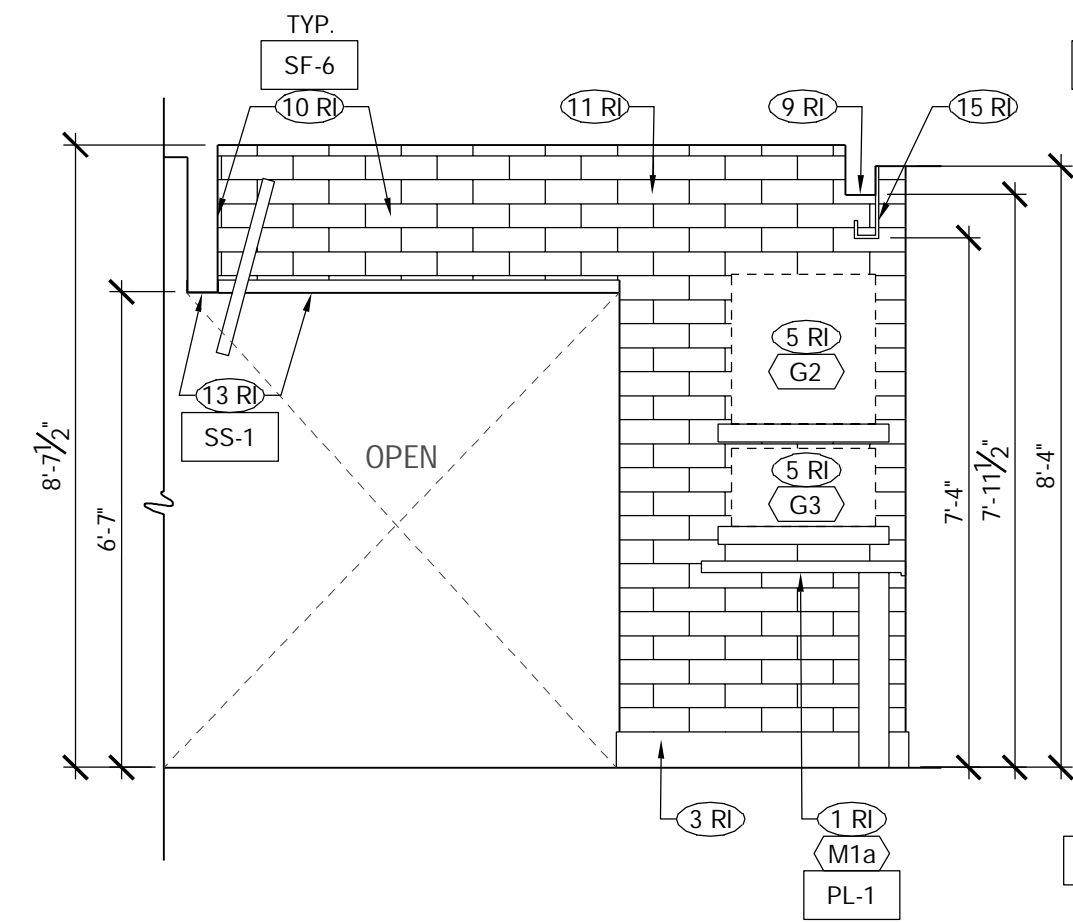
ELEVATION 4
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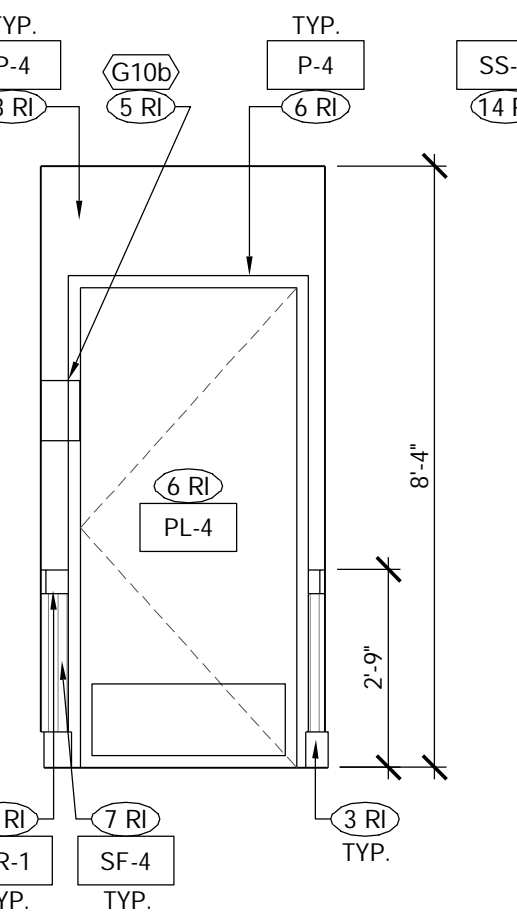
ELEVATION 3
Scale: 3/8" = 1'-0"



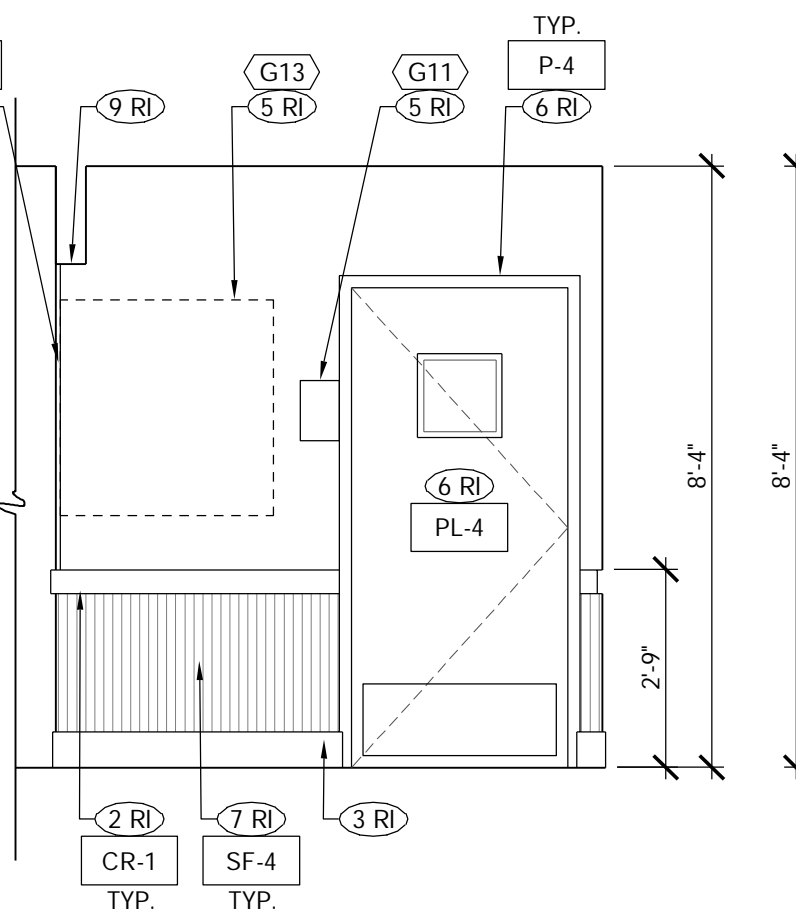
ELEVATION 9
Scale: 3/8" = 1'-0"



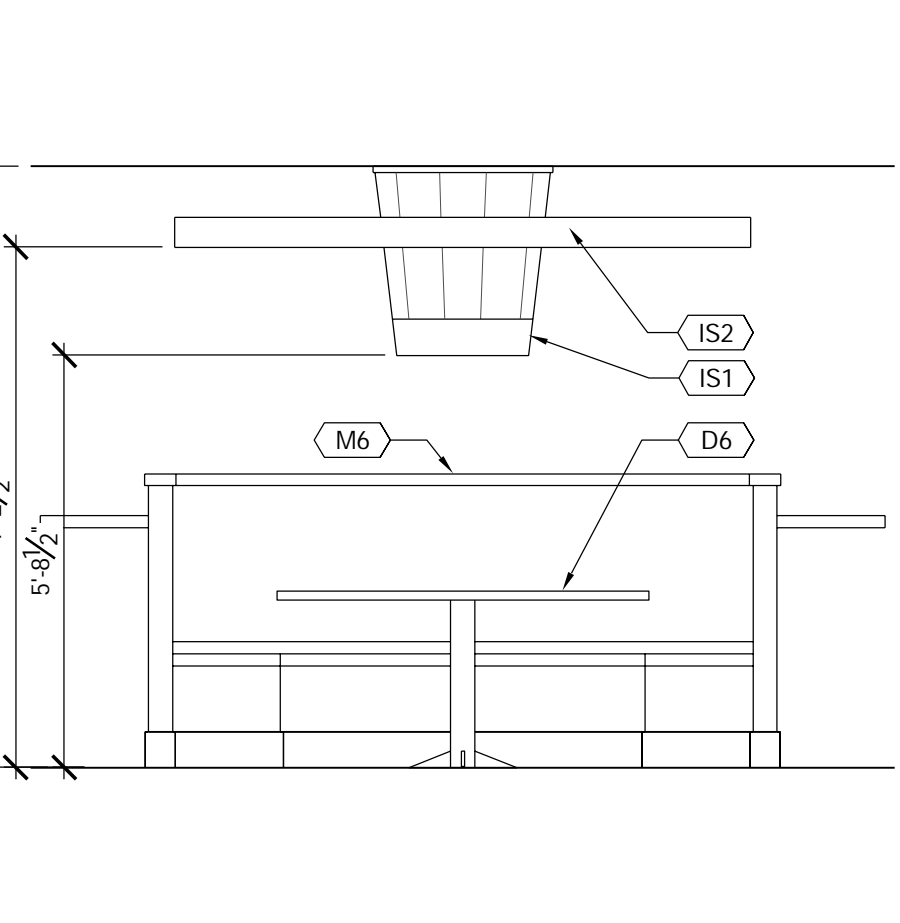
ELEVATION 8
Scale: 3/8" = 1'-0"



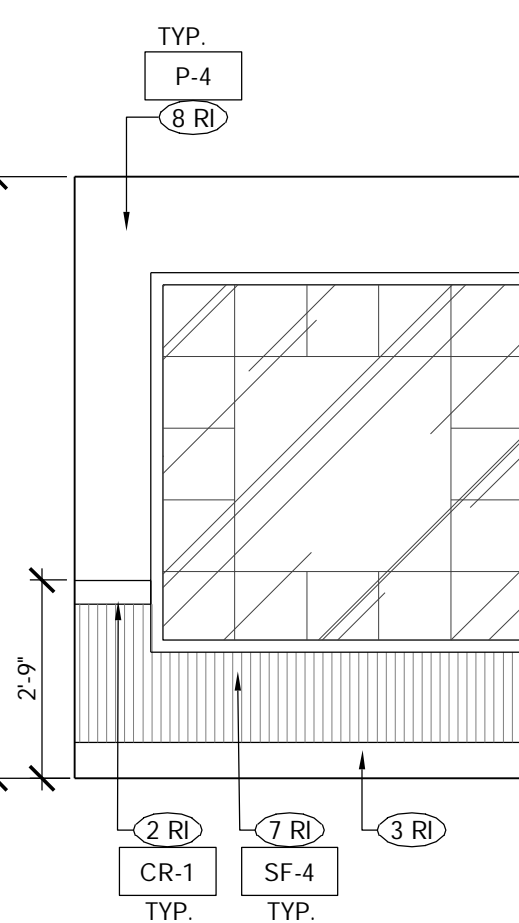
ELEVATION 7
Scale: 3/8" = 1'-0"



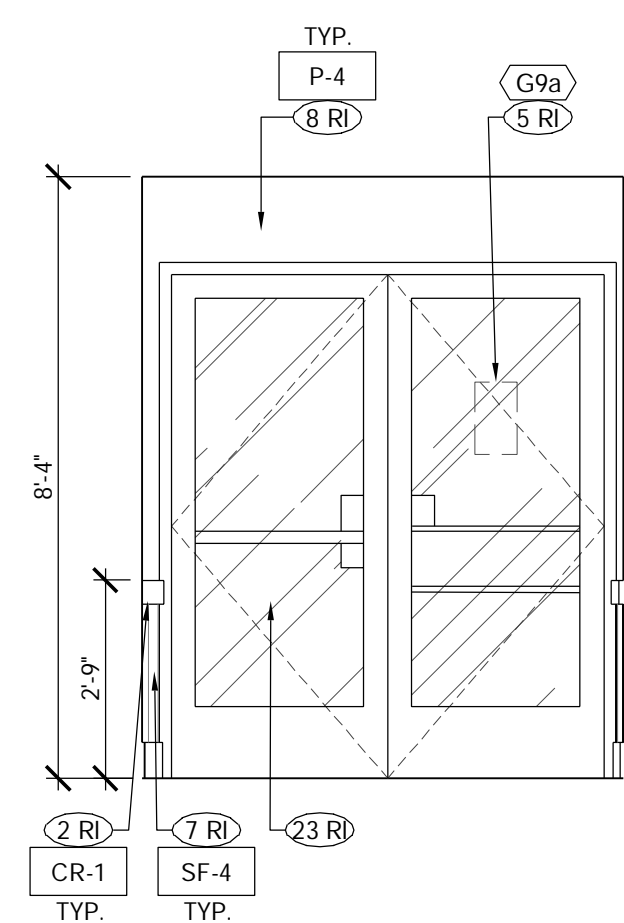
ELEVATION 6
Scale: 3/8" = 1'-0"



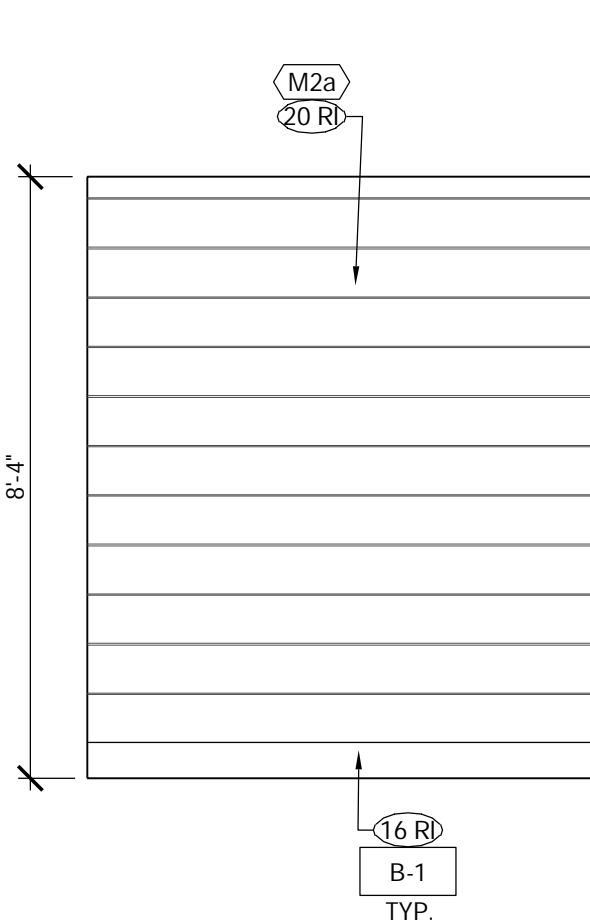
ELEVATION 5
Scale: 3/8" = 1'-0"



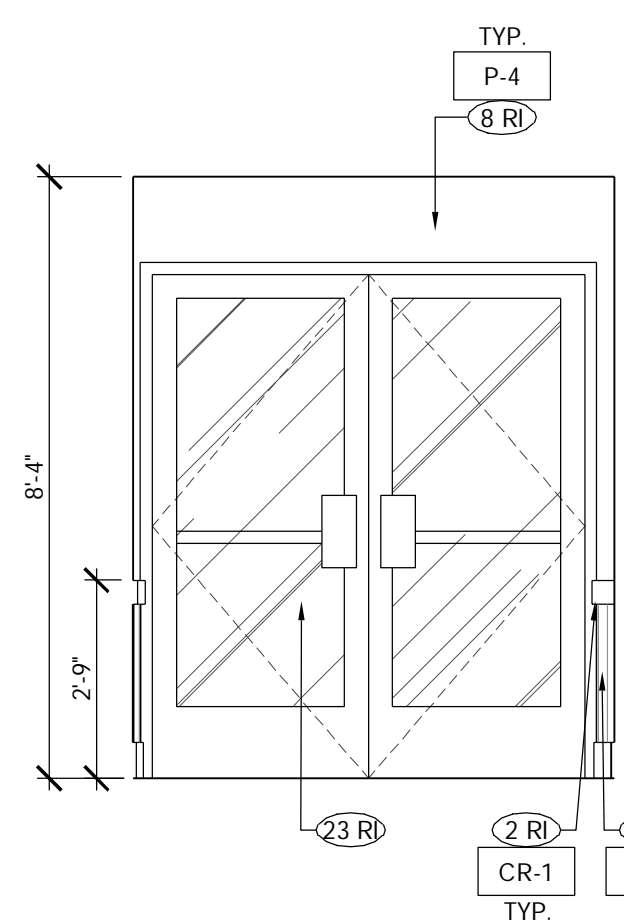
ELEVATION 15
Scale: 3/8" = 1'-0"



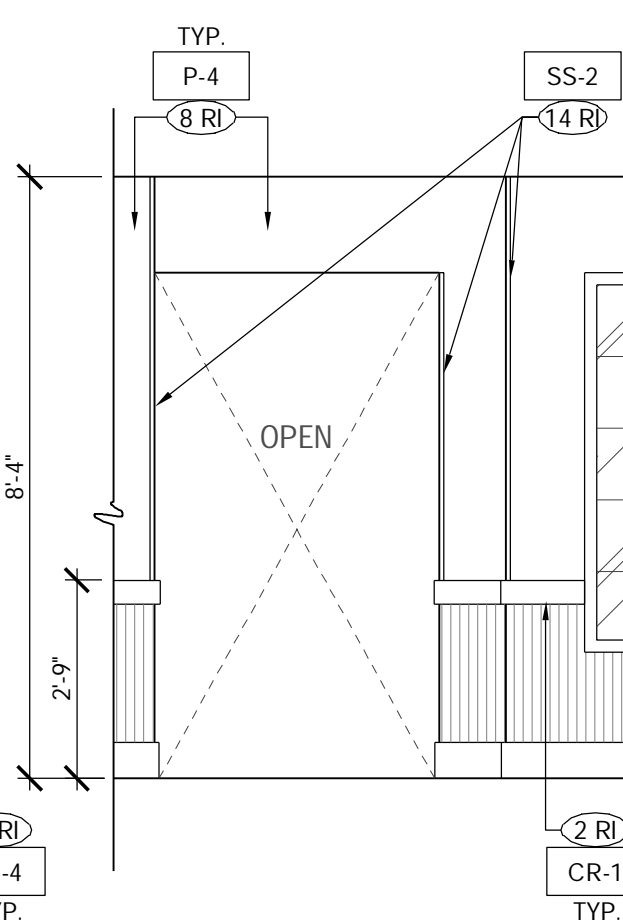
ELEVATION 14
Scale: 3/8" = 1'-0"



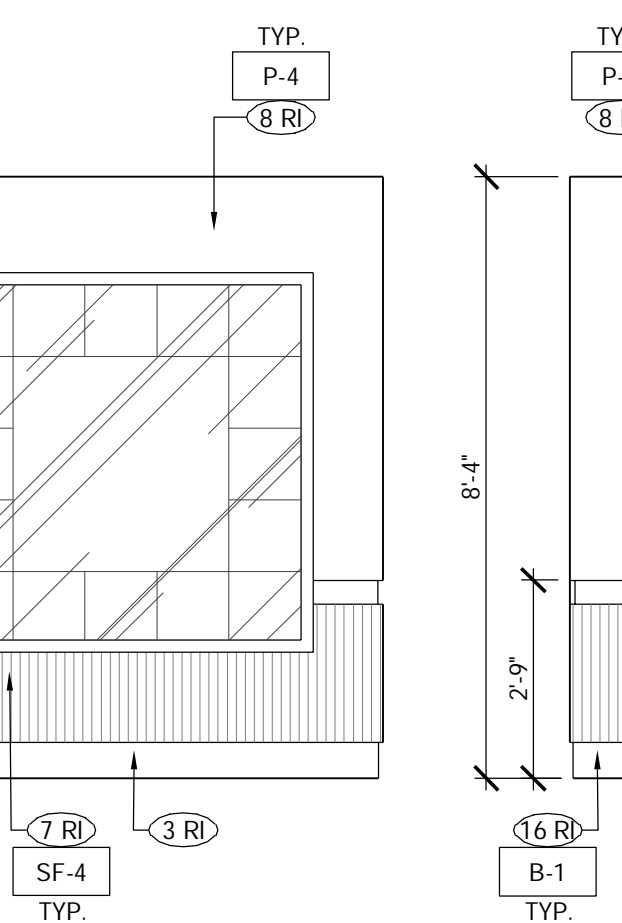
ELEVATION 13
Scale: 3/8" = 1'-0"



ELEVATION 12
Scale: 3/8" = 1'-0"



ELEVATION 11
Scale: 3/8" = 1'-0"



ELEVATION 10
Scale: 3/8" = 1'-0"

FOH INTERIOR ELEVATIONS KEY NOTES

SEE MASTER SCHEDULE (SCHD-1) FOR ALL LIGHTING, FINISH AND COMPONENT TAGS

- 1 NEW SERVICE COUNTER (PROVIDED BY VENDOR, INSTALLED BY G.C.), INSTALLED TO EXISTING KNEEWALL.
- 2 NEW CHAIR RAIL, PRE-FINISHED, BY VENDOR. SEE DETAIL 5/A-1.1
- 3 EXISTING TILE WALL BASE TO REMAIN. PATCH/REPAIR OR REPLACE AS REQUIRED FOR NEW WORK.
- 4 NEW PENDANT LIGHT FIXTURES. REFER TO REFLECTED CEILING PLAN A-1.3 FOR ADDITIONAL INFORMATION.
- 5 VENDOR PROVIDED ARTWORK, USE VENDOR TEMPLATE TO INSTALL.
- 6 NEW RESTROOM AND SERVICE DOOR INSTALLED IN EXISTING DOOR FRAME. REFER TO DOOR SCHEDULE SCHD-1 FOR ADDITIONAL INFORMATION.
- 7 INSTALL NEW WAINSCOT PRE-FINISHED. REFER TO WALL COVERING SCHEDULE, SCHD-1 FOR ADDITIONAL INFORMATION.
- 8 SKIM COAT EXISTING/NEW WALLS (TO LEVEL 3), PRIME AND PAINT ABOVE CHAIR RAIL AS NOTED. REFER TO PAINT SCHEDULE, SCHD-1 FOR ADDITIONAL INFORMATION.
- 9 EXISTING SOFFIT FACE TO BE PAINTED P-4, UNDERSIDE TO BE PAINTED P-6. REFER TO PAINT SCHEDULE, SCHD-1 FOR ADDITIONAL INFORMATION.
- 10 NEW FRP PANELS TO CEILING OVER NEW/EXISTING WALL/BULKHEAD.
- 11 INSTALL STAINLESS STEEL SHROUD AROUND EXPOSED BEVERAGE LINES.
- 12 EXISTING PEPSI DISPENSER / ICE MACHINE TO BE RELOCATED AS SHOWN.
- 13 NEW STAINLESS STEEL HEADER CAP ON EXISTING BULKHEAD.
- 14 NEW SURFACE MOUNTED STAINLESS STEEL CORNER GUARDS. PROVIDE AND INSTALL GUARD WIDE TO EXPOSED SURFACES WITH SILICONE ADHESIVE. REFER TO 3/A-1.0 FOR ADDITIONAL INFORMATION.
- 15 NEW ORDER COUNTER AND BEVERAGE COUNTER FAUX BEAM WITH DECORATIVE METAL BRACKETS. REFER TO REFLECTED CEILING PLAN A-1.3 FOR ADDITIONAL INFORMATION.
- 16 NEW 6' WALL BASE. REFER TO WALL BASE SCHEDULE, SCHD-1 FOR ADDITIONAL INFORMATION.
- 17 NEW BEVERAGE COUNTER.
- 18 REINSTALL EXISTING KFC FOUNDATION ARTWORK AS NOTED.
- 19 NEW PRE-FINISHED FLOOR TO CEILING DECORATIVE WALL TRIM PANELS. INSTALL PANELS 1/2" BELOW CEILING FOR VENTILATION PURPOSES.
- 20 NEW VENDOR PROVIDED FLOOR TO CEILING 'QUOTE WALL' PANEL.
- 21 NEW DECORATIVE WINDOW SILL. REFER TO COUNTERTOP AND SILL SCHEDULE, SCHD-1 FOR ADDITIONAL INFORMATION.
- 22 VENDOR PROVIDED WINDOW TRIM, JAMB, HEADER RETURNS ON RED WALL. TO BE PAINTED P-6.
- 23 EXISTING ENTRY DOOR IN EXISTING STOREFRONT FRAME.
- 24 NEW ENTRY DOOR IN NEW STOREFRONT ASSEMBLY.
- 25 NEW BUFFET.



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TEMPLATE VERSION:
AMERICAN SHOWMAN
VER-1 DEC 2016

REVISION:

Mark	Date	By
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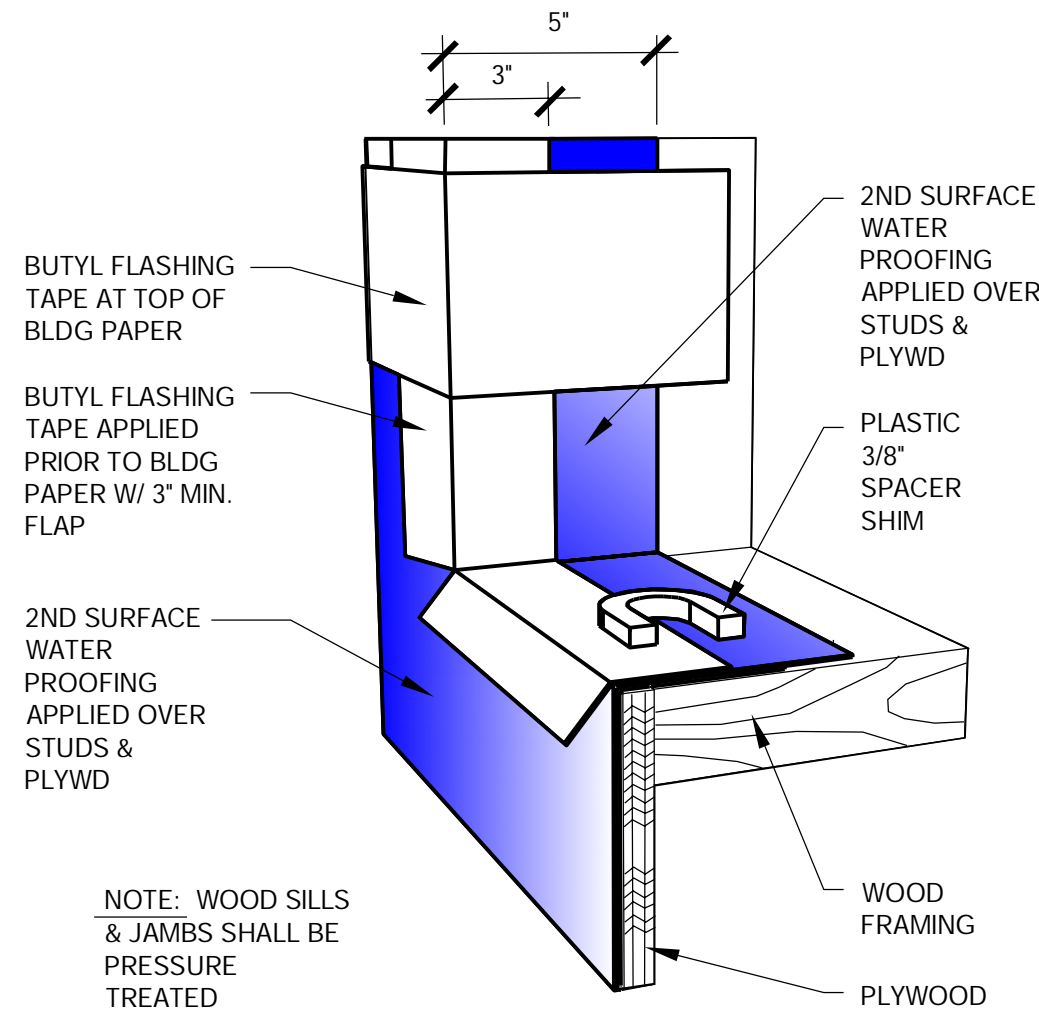
PROJECT TITLE
CD TEMPLATE
"K-38 SERIES 6000 TO AMERICAN SHOWMAN"
2090 GREEN BAY RD
RACINE, WI 53406

STORE NO. K071228
ISSUE DATE 05.31.19
ARC NUMBER 190040

SHEET TITLE
INTERIOR ELEVATIONS

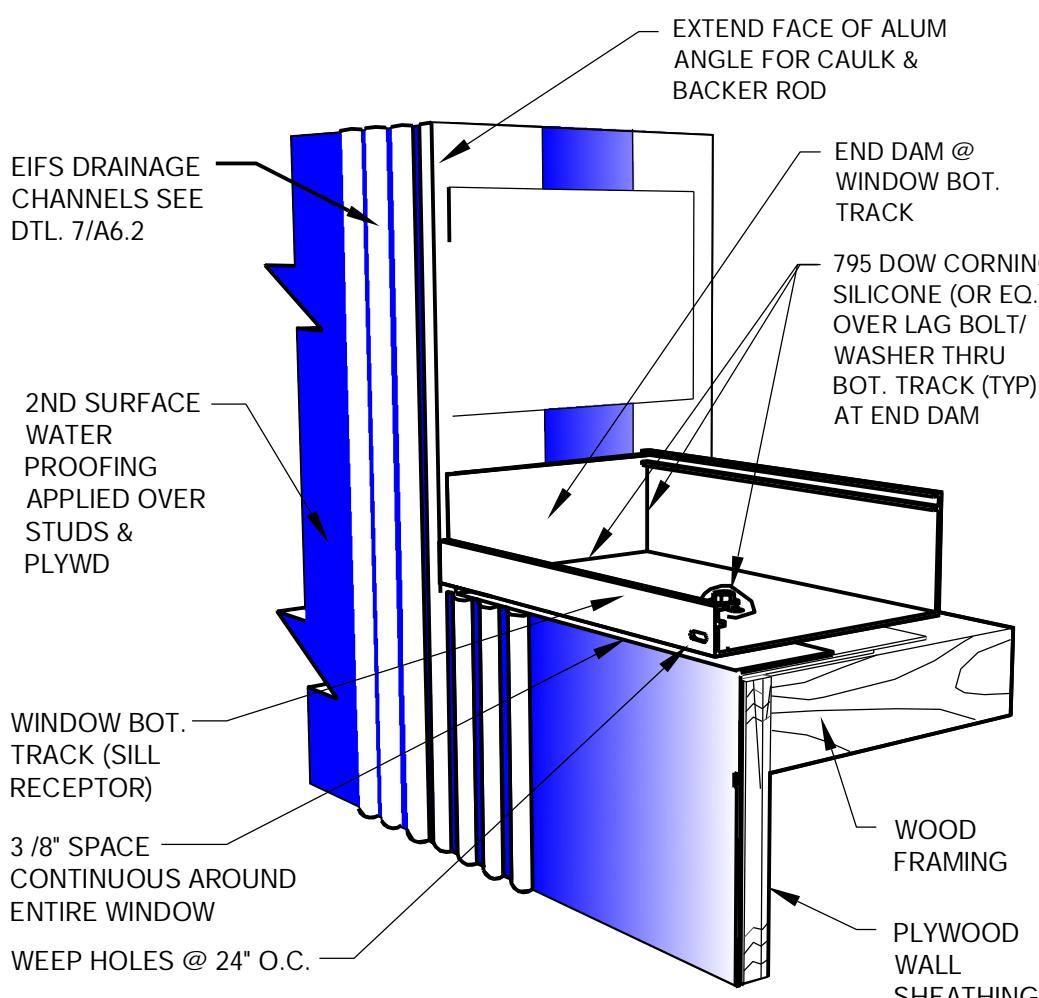
SHEET NO.
A-2.2

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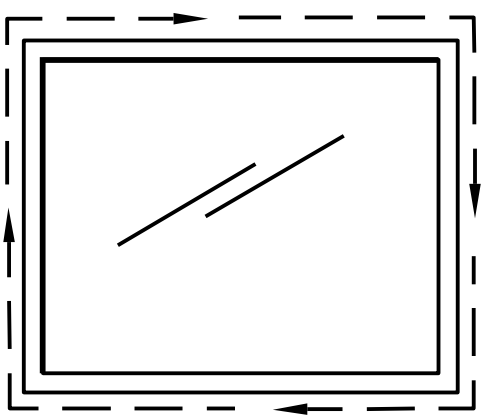
WATER PROOFING ROUGH OPENING (NOT USED)

AFTER FRAMING 2ND SURFACE WATER PROOFING PER EIFS MANUFACTURER. ADD FLASHING TAPE AROUND THE ROUGH OPENING FOR THE WINDOW AND DOOR OPENING



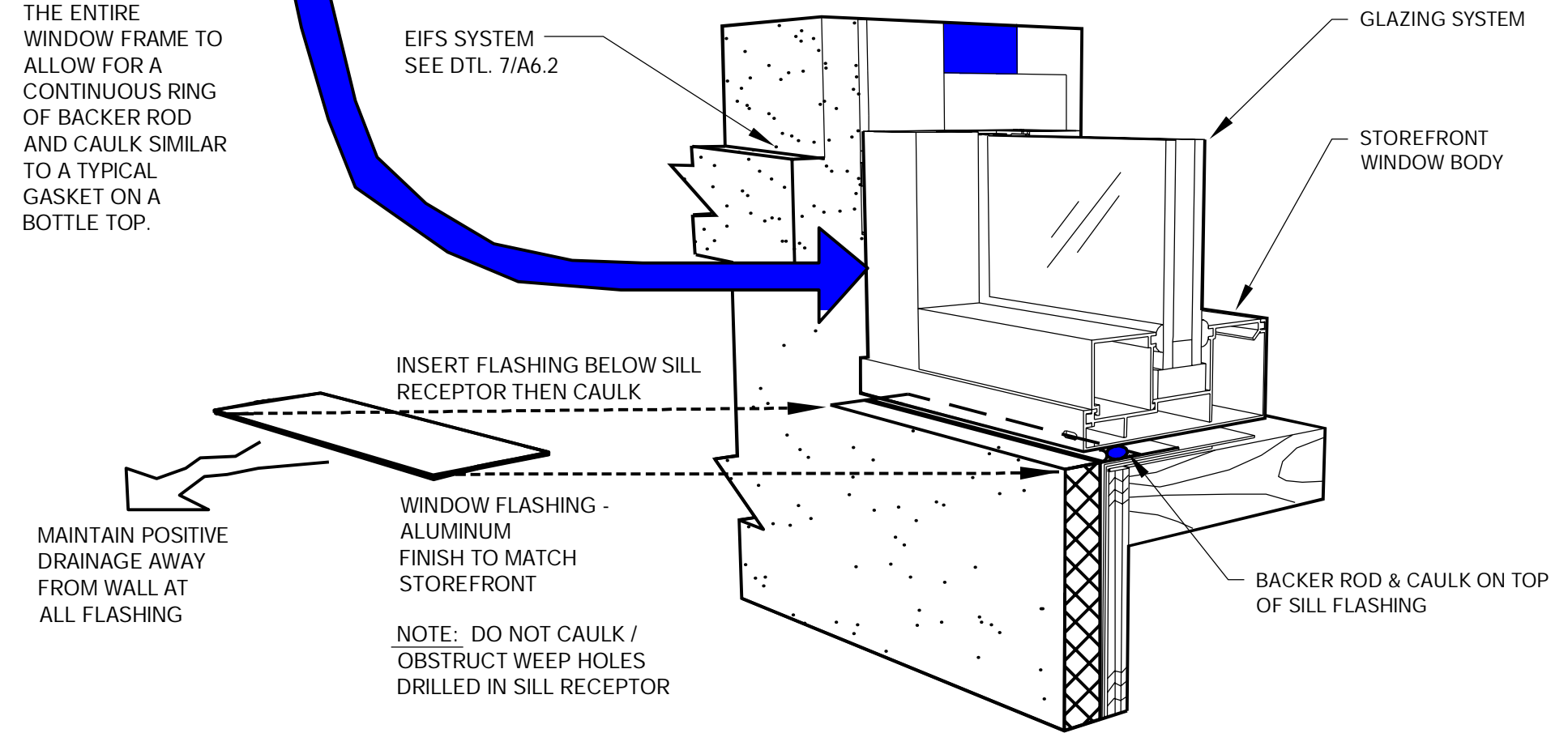
ADD SILL RECEPTOR AND END DAM (NOT USED)

THIS DIAGRAM SHOWS THE APPLICATION OF SILL RECEPTOR AND VERTICAL EIFS ADHESIVE DRAINAGE CHANNELS. USE 100% PURE ISOPROPYL ALCOHOL TO CLEAN METAL SURFACE PRIOR TO APPLYING SILICONE.



WINDOW ELEVATION

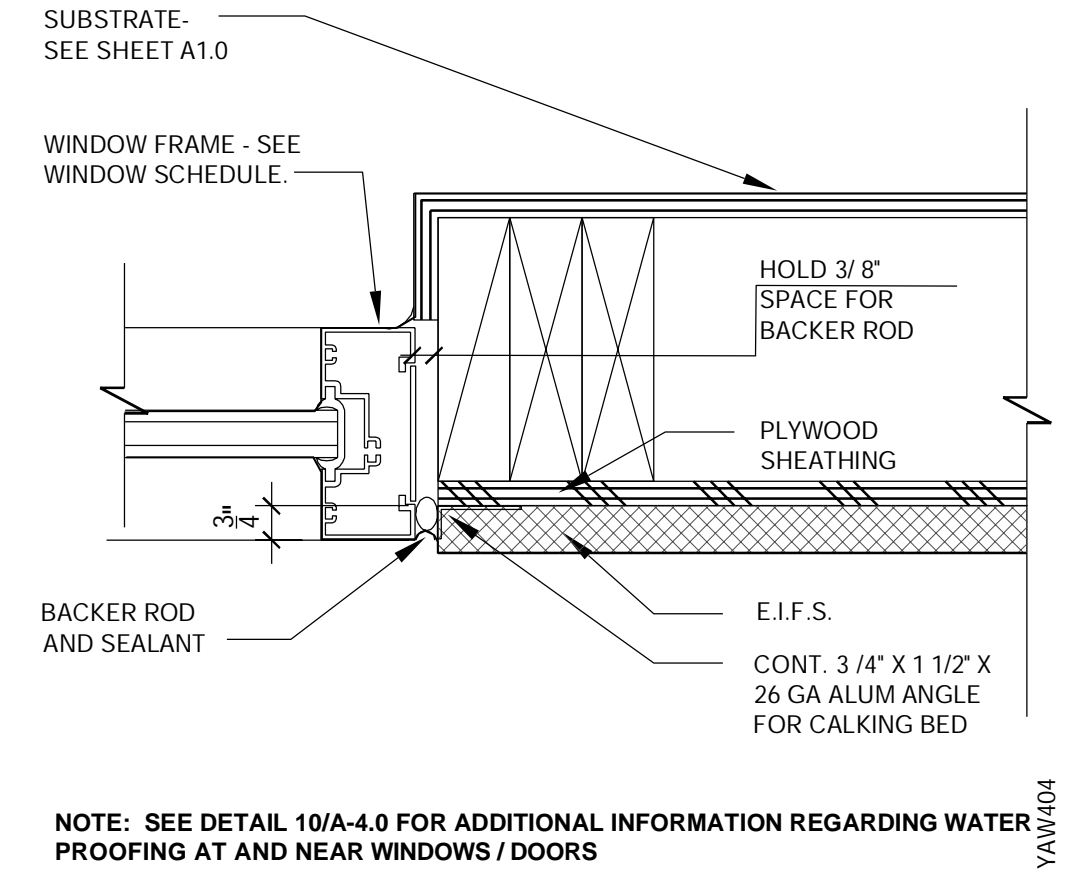
NOTE: THERE SHOULD BE A 3/8" SPACE AROUND THE ENTIRE WINDOW FRAME TO ALLOW FOR A CONTINUOUS RING OF BACKER ROD AND CAULK SIMILAR TO A TYPICAL GASKET ON A BOTTLE TOP.



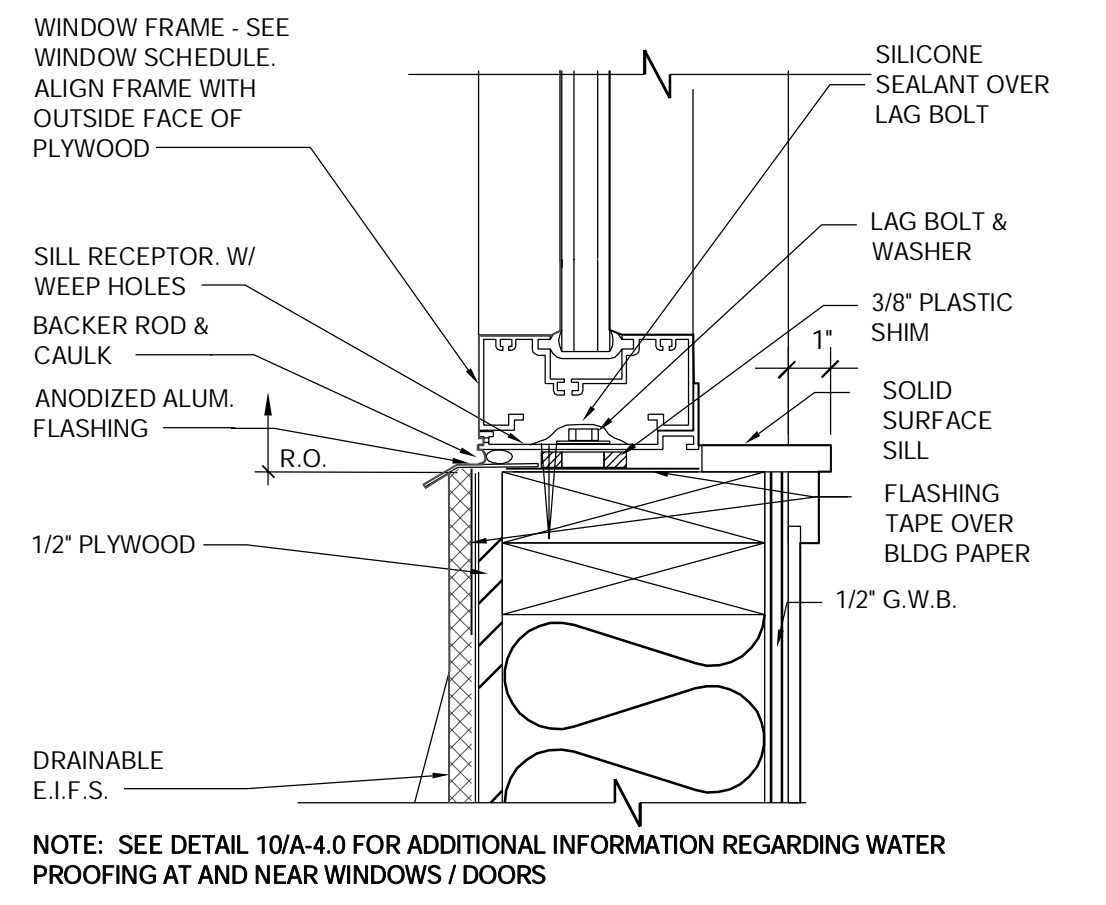
COMPLETING WINDOW SYSTEM (NOT USED)

SET STOREFRONT WINDOW, APPLY EIFS SYSTEM AND THEN ADD WINDOW FLASHING OVER TOP OF EIFS AT WINDOW SILL

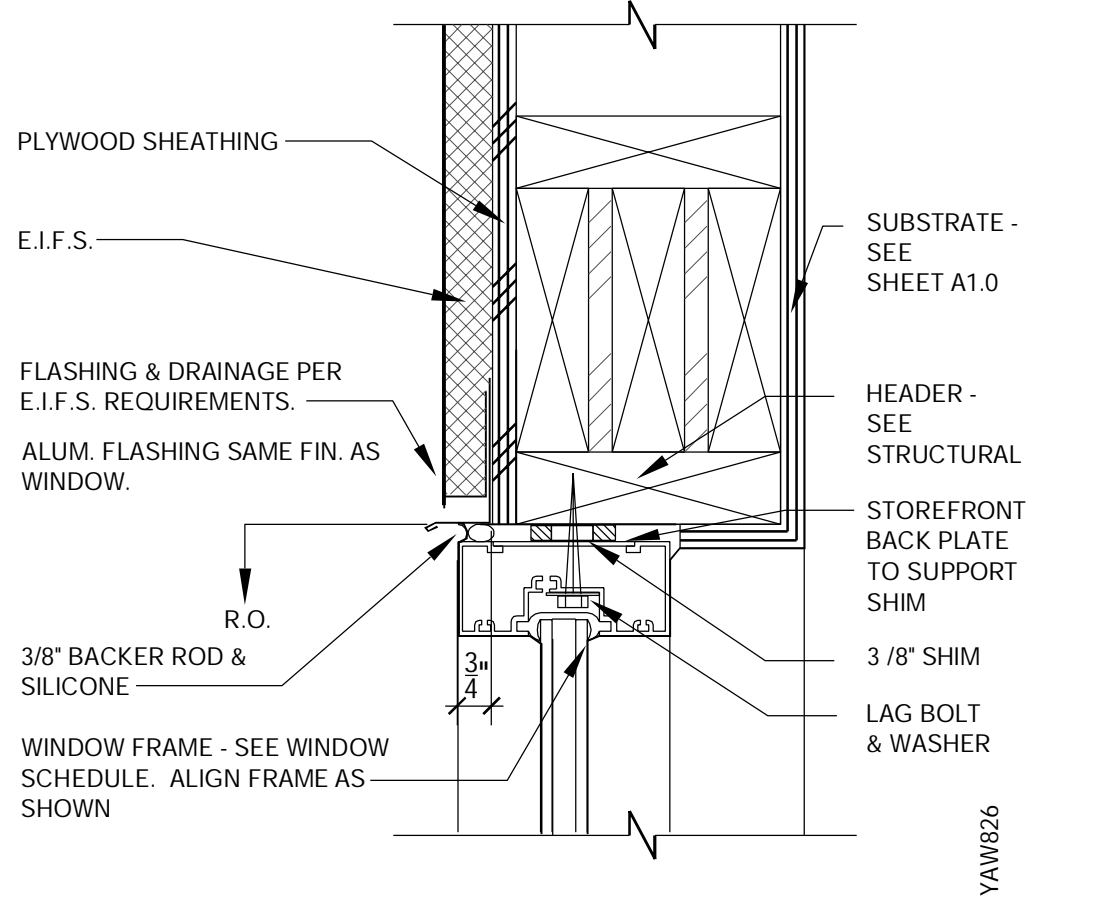
10 - TYPICAL WINDOW WALL WATER PROOFING
Scale: 3" = 1'-0"



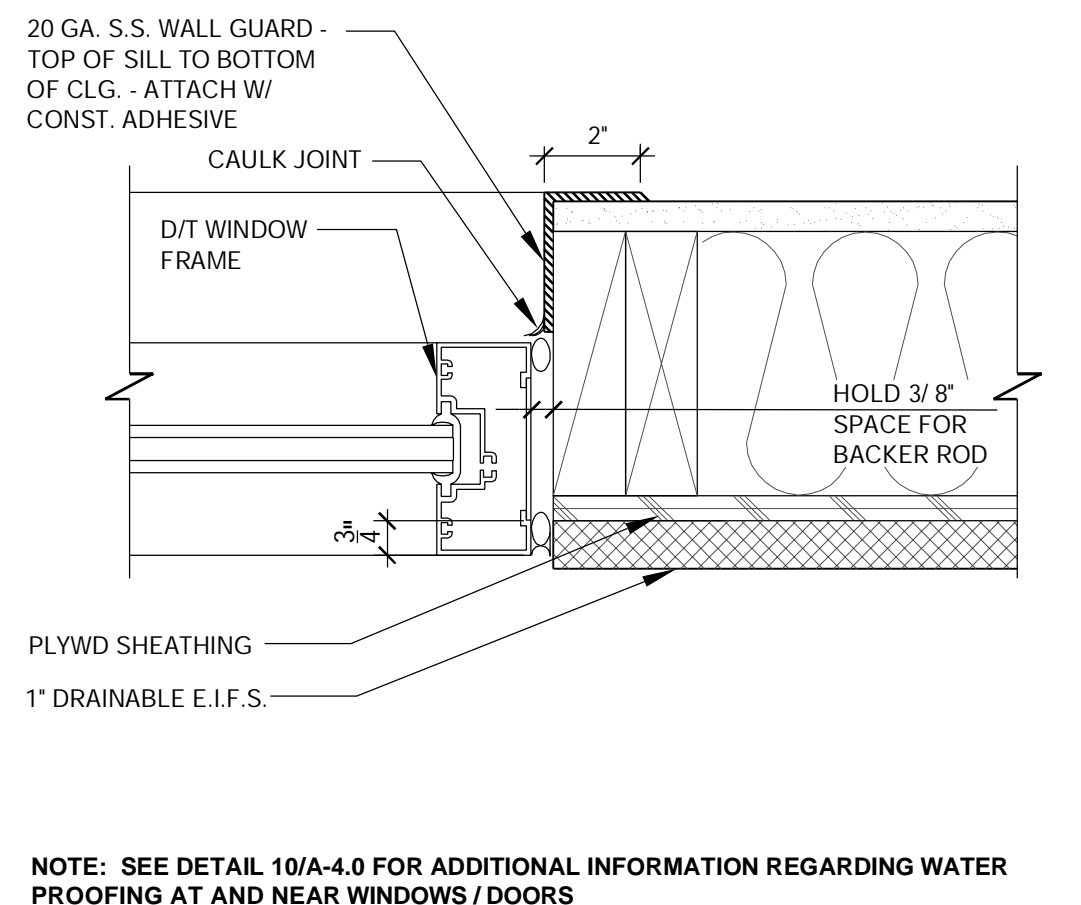
3 - TYPICAL WINDOW JAMB
Scale: 3" = 1'-0"



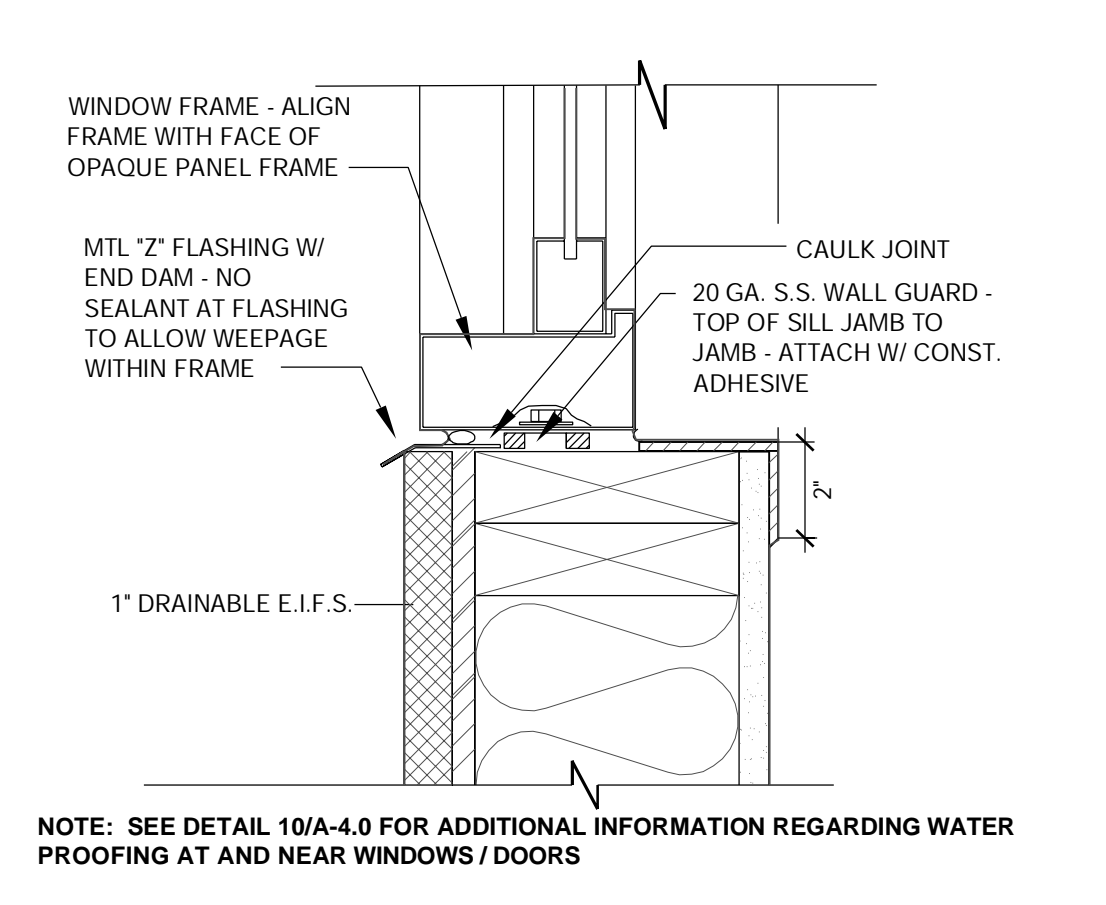
2 - TYPICAL WINDOW SILL (NOT USED)
Scale: 3" = 1'-0"



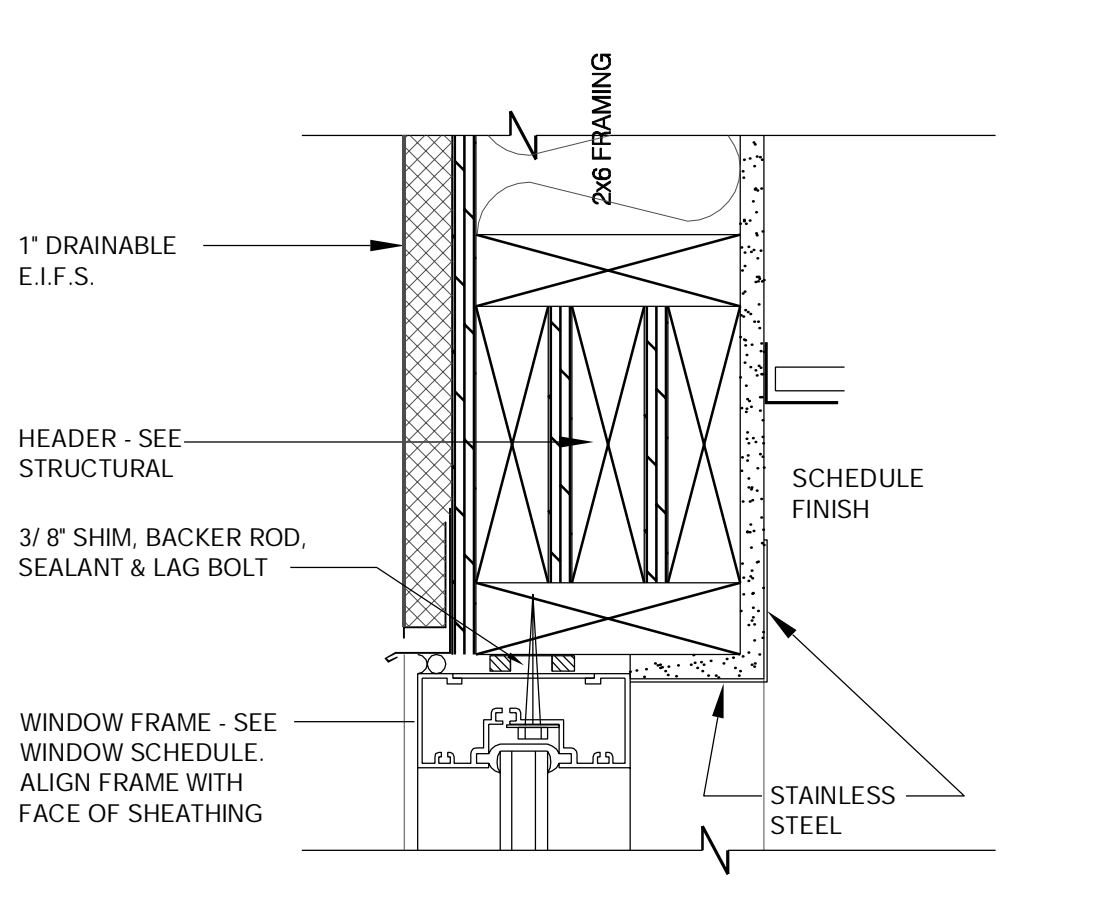
1 - TYPICAL WINDOW HEAD
Scale: 3" = 1'-0"



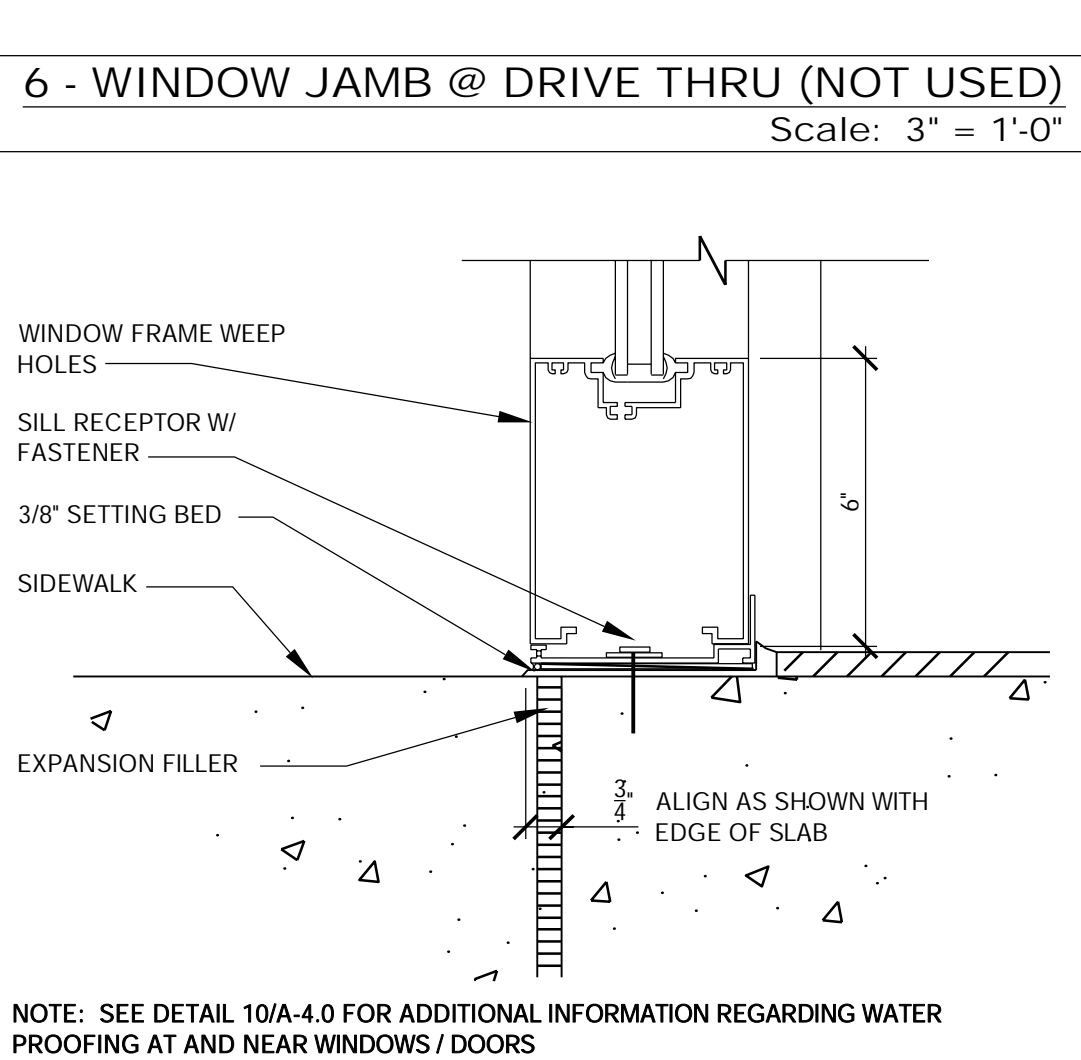
6 - WINDOW JAMB @ DRIVE THRU (NOT USED)
Scale: 3" = 1'-0"



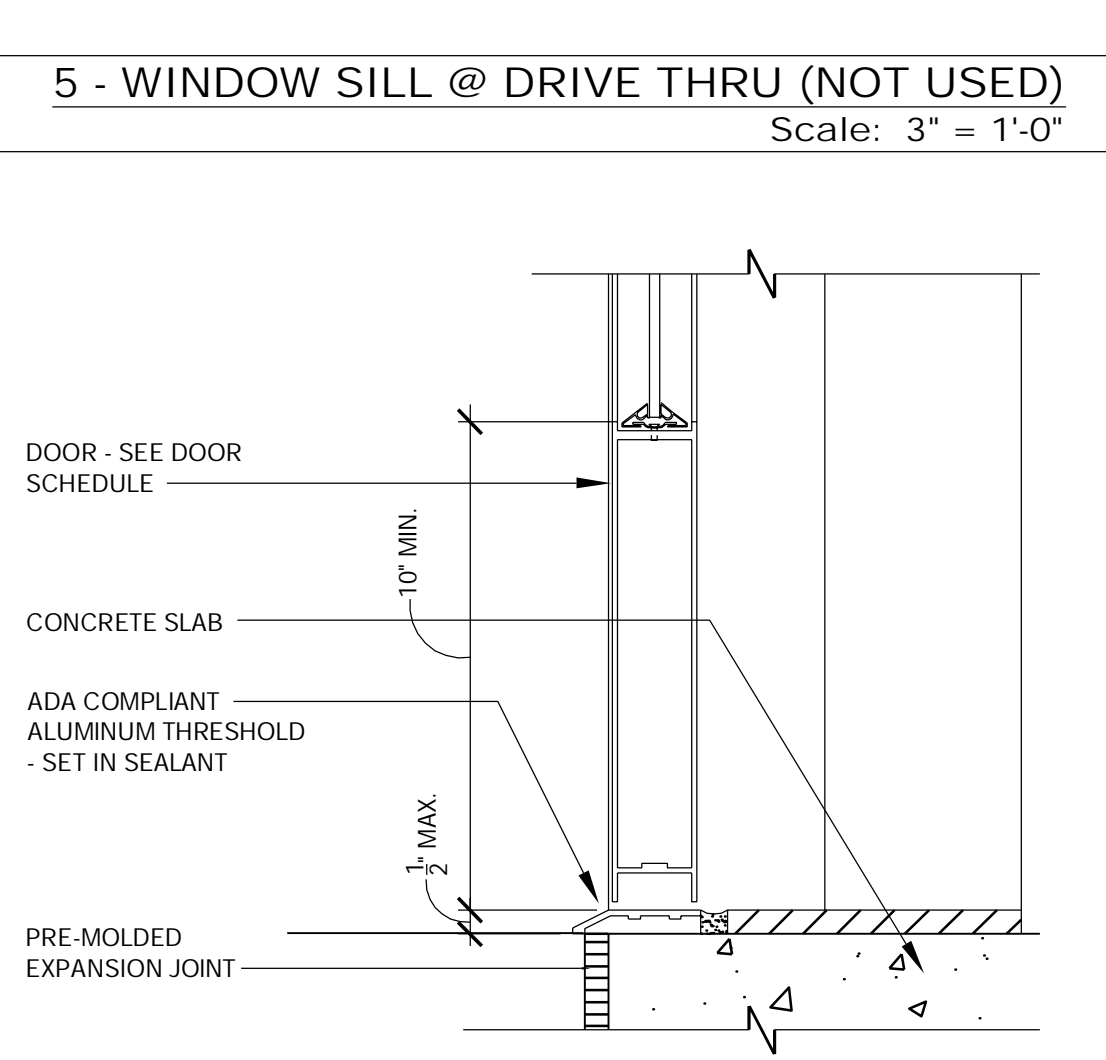
5 - WINDOW SILL @ DRIVE THRU (NOT USED)
Scale: 3" = 1'-0"



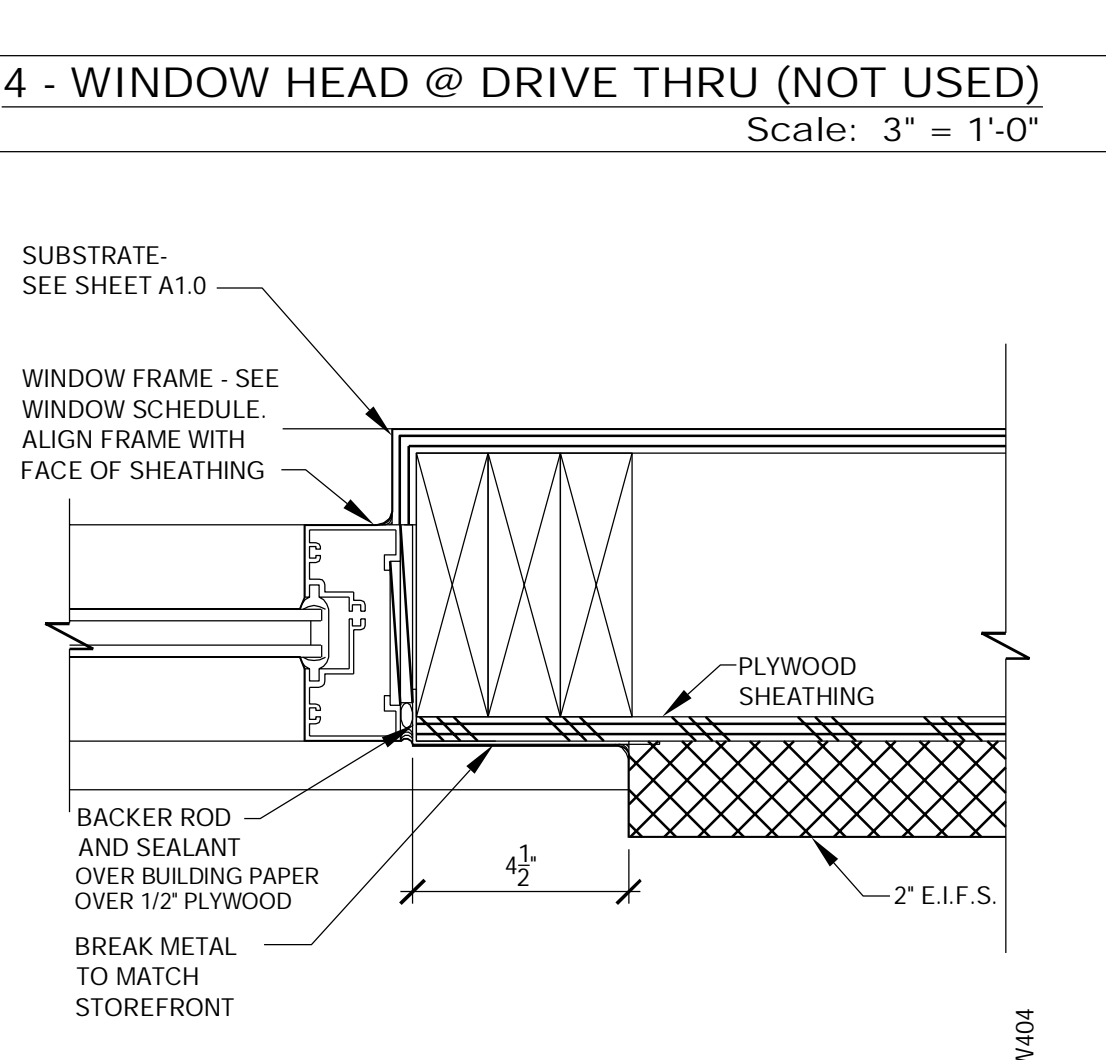
4 - WINDOW HEAD @ DRIVE THRU (NOT USED)
Scale: 3" = 1'-0"



9 - SILL @ FULL HEIGHT OPENINGS
Scale: 3" = 1'-0"



8 - STOREFRONT DOOR SILL
Scale: 3" = 1'-0"



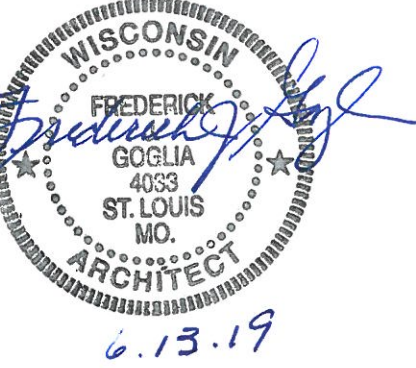
7 - STOREFRONT JAMB DETAIL
Scale: 3" = 1'-0"

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TEMPLATE VERSION:
AMERICAN SHOWMAN
VER-1 DEC 2016

REVISION:

Mark	Date	By
△		
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△		
△		

PROJECT TITLE
CD TEMPLATE
"K-38 SERIES 6000 TO AMERICAN SHOWMAN"
2090 GREEN BAY RD
RACINE, WI 53406

STORE NO. K071228
ISSUE DATE 05.31.19
ARCV NUMBER 190040

SHEET TITLE
CONSTRUCTION
DETAILS -
DOORS/WINDOWS

SHEET NO.
A-4.0

PAIN T SCHEDULE

Table with columns: TAG, LOCATION, DESCRIPTION, MFR/CONTACT, REMARKS. Includes exterior paint (P-1 to P-3), exterior metal (SP1 to SP3), and interior paint (P-4, P-6).

WALL COVERING SCHEDULE

Table with columns: TAG, LOCATION, DESCRIPTION, MFR/CONTACT, REMARKS. Includes dining room (SF-4), service area walls (SF-6), restroom (WT-1), dining room chair rail (CR-1), menu board (SS-1), dining room corner guard (SS-2, SS-3).

LAMINATE SCHEDULE

Table with columns: TAG, LOCATION, DESCRIPTION, MFR/CONTACT, REMARKS. Includes service area knee wall (PL-1), hub table & faux wood beam over service area (PL-2), table tops (PL-3, PL-4).

COUNTERTOP & SILL SCHEDULE

Table with columns: TAG, LOCATION, DESCRIPTION, MFR/CONTACT, REMARKS. Includes service area (F-1) and dining room window sill (F-2).

FLOORING SCHEDULE

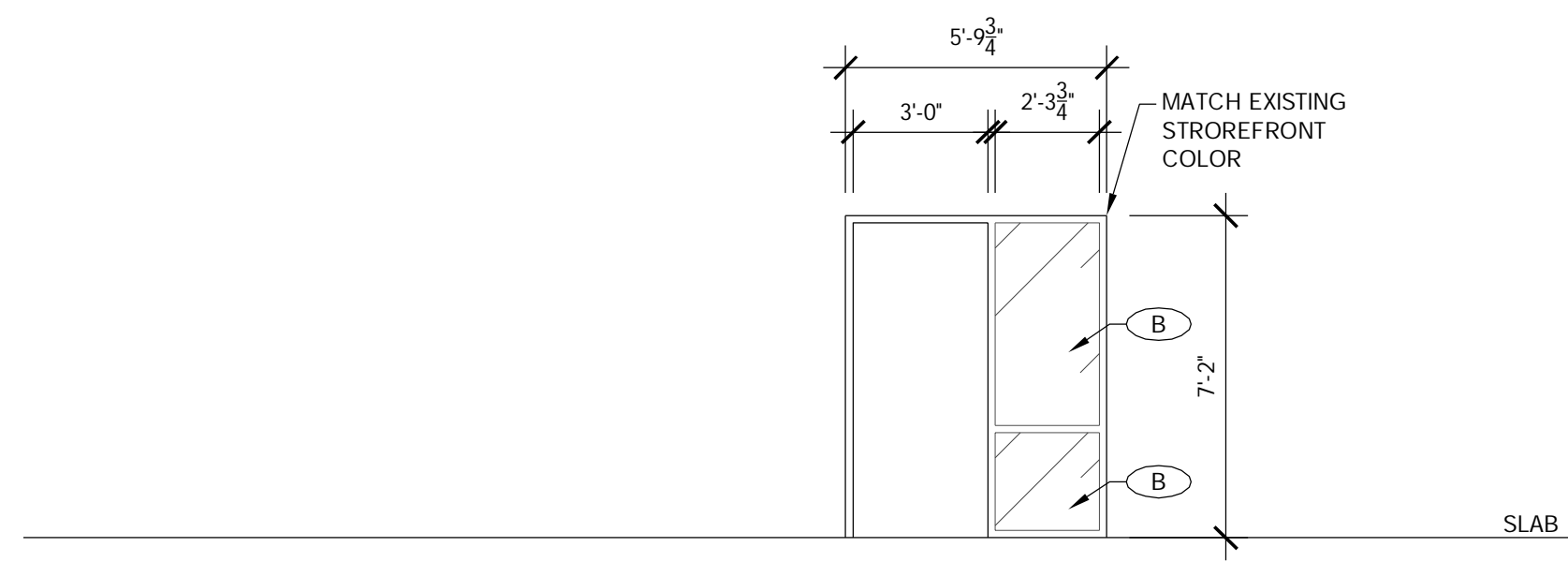
Table with columns: TAG, LOCATION, DESCRIPTION, MFR/CONTACT, REMARKS. Includes dining room (T-1), restroom (T-2), and walk-in cooler (T-3).

WALL BASE SCHEDULE

Table with columns: TAG, LOCATION, DESCRIPTION, MFR/CONTACT, REMARKS. Includes dining room (B-1), restrooms (B-2), and walk-in cooler (B-3).

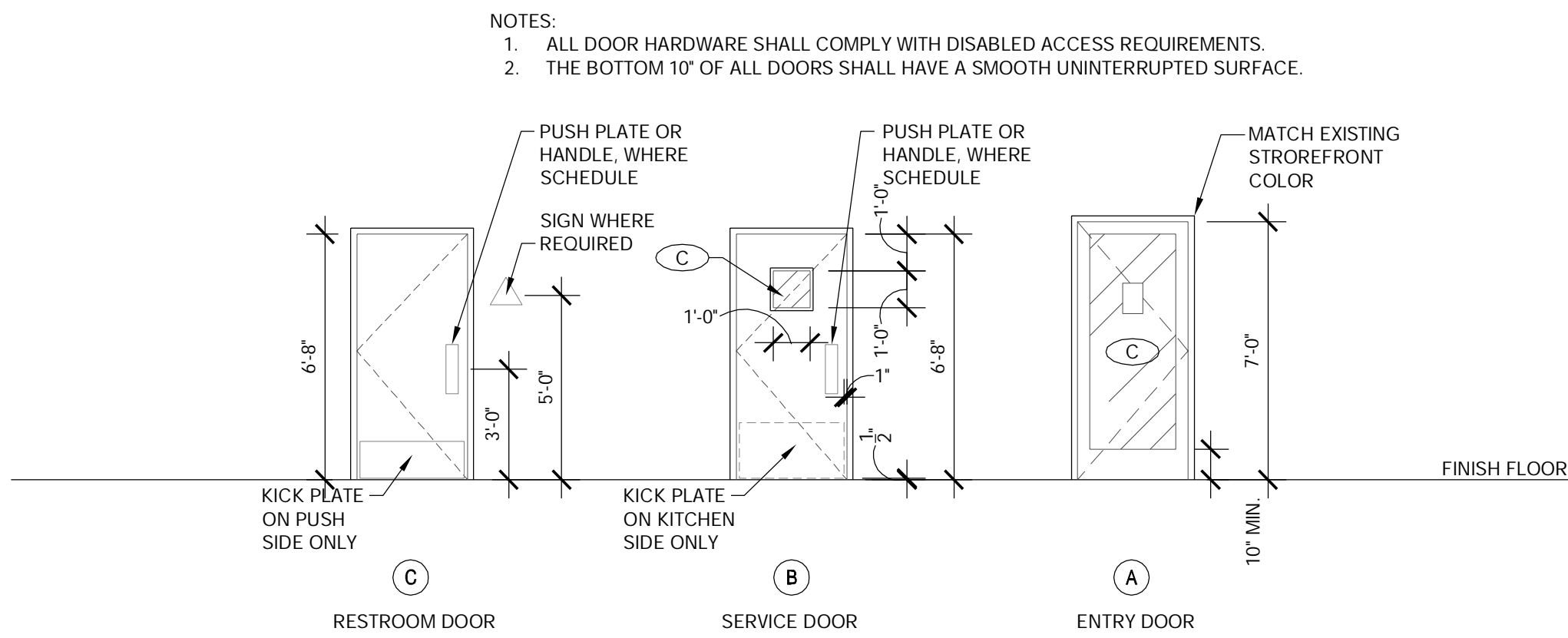
GENERAL NOTES

- A. APPROVED PAINT MANUFACTURERS: BENJAMIN MOORE
B. ALL PAINTED SURFACES SHALL HAVE A SMOOTH TEXTURE



NOTE: ELEVATIONS DRAWN AS VIEWED FROM EXTERIOR OF BUILDING.

2 - WINDOW TYPES
Scale: 1/4" = 1'-0"



1 - DOOR TYPES
Scale: 1/4" = 1'-0"

Large table with columns: DOOR NO., DOOR SIZE, TYPE, DOOR FRAME, BUTTS, LOCKS, CLOSERS, KICK PLATE, THRESHOLD, DOOR STOP, MISCELLANEOUS, DETAIL LOCATIONS, DOOR NOTES.

3 - DOOR SCHEDULE

GLAZING TYPES:

- GENERAL NOTES:
1. LOW-E COATING APPLICATION TO GLAZING IS OPTIONAL / RECOMMENDED TO REDUCE SOLAR HEAT GAIN AND ENERGY USE.
2. REFER TO SECTION 08800 OF THE SPECIFICATIONS MANUAL FOR GLAZING TYPES (GL-#).
3. VERIFY ANY SITE-SPECIFIC REQUIREMENTS FOR TEMPERED GLASS (PER LOCAL CODE).
4. OPTIONAL INTERIOR WINDOW SHADES:
ROLL - A - SHADE
3" BOTTOM FASCIA SYSTEM
OYSTER BEIGE
5% LIGHT PASS-THRU
METAL PULL STRING
VERIFY LOCATION / QUANTITY / EXTENTS WITH OWNER

KEYNOTES:

- (A) 1" INSULATED GLASS: TYPE GL-3. SEE GENERAL NOTE 2, THIS SHEET.
(B) 1" INSULATED TEMPERED GLASS: TYPE GL-3. SEE GENERAL NOTE 2, THIS SHEET.
(C) 3/4" TEMPERED GLASS: TYPE GL-2. SEE GENERAL NOTE 3, THIS SHEET.
(D) LOW-E COATING. SEE GENERAL NOTE 1, THIS SHEET.

NOTES:

- 1. MATCH EXISTING STOREFRONT COLOR.
2. SEE SCHEDULE FOR GLASS TYPES.
3. REFER TO FLOOR PLAN FOR ROUGH OPENING DIMENSIONS.
4. ALL STOREFRONT MATERIAL AND GLAZING SHALL BE SUPPLIED AND INSTALLED BY G.C. U.O.N.
5. ALL STOREFRONT WINDOW SYSTEMS SHALL HAVE A "SILL RECEPTOR" AT THE SILL ALONG WITH INDUSTRY STANDARD "ENDING DAMS". REFER TO DETAIL 100A-4.0 FOR ADDITIONAL INFORMATION.
6. ADJUST DOOR OPENING AND CLOSING PRESSURES. INTERIOR DOORS: 5 LBS. EXTERIOR DOORS: 8.5 LBS.

NATIONAL ACCOUNT SUPPLIER
SECURITY DOOR + INTERIOR DOORS, FRAMES & HARDWARE
LOCKNET
PAM PEEL
100 COURCHELLE DRIVE
NICHOLASVILLE, KY 40356
800-887-4307 EXT 133 FAX : 859-887-4958
CONSTRUCTION@LOCKNET.COM

DOOR SCHEDULE NOTES:

- 1. LAMINATE DOORS WITH PL-4. SEE FINISH SCHEDULE A-2.2.
2. ALL HARDWARE SHALL BE US32D U.O.N.
3. ALL HM FRAMES SHALL BE 16 GA STEEL U.O.N.
4. PERMANENT CORES SHALL BE SHIPPED TO THE RESTAURANT GENERAL MANAGER.
5. MOUNT DOOR CLOSERS ON RESTROOM OR KITCHEN SIDE ONLY.
6. LOCKNET SECURITY DOOR. COMPLETE DOOR, FRAME, AND HARDWARE PACKAGE PROVIDED BY RSCS FACILITIES CONNECTIONS.
7. PROVIDE PUSH/ PULL PLATES.
8. MOUNT KICKPLATE ON PUSH SIDE ONLY.
9. NEW STOREFRONT DOOR PULL.
10. NEW TOE PULLS TO BE INSTALLED ON RESTROOM DOORS ON RESTROOM SIDE WHEN SWINGING INTO RESTROOM.



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TEMPLATE VERSION: AMERICAN SHOWMAN VER-1 DEC 2016

Revision table with columns: Mark, Date, By. Includes revision symbols (triangles).

PROJECT TITLE: CD TEMPLATE
"K-38 SERIES 6000 TO AMERICAN SHOWMAN"
2090 GREEN BAY RD
RACINE, WI 53406

STORE NO.: K071228
ISSUE DATE: 05.31.19
ARC NUMBER: 190040

SHEET TITLE: DOOR, WINDOW AND FINISH SCHEDULE

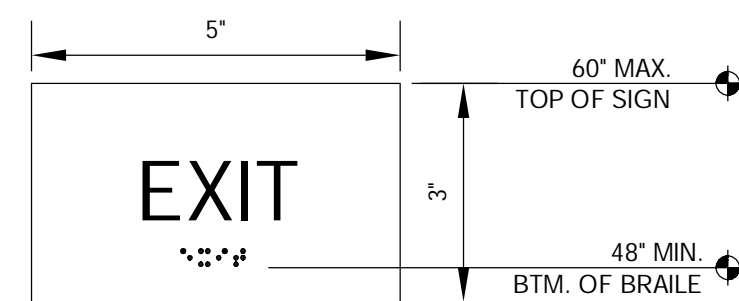
SHEET NO.: SCHD-1

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TOTAL SEATS ACCESSIBLE SEATS

1 - 20	1
21 - 40	2
41 - 60	3
61 - 80	4
81 - 100	5
101 - 120	6
121 - 140	7

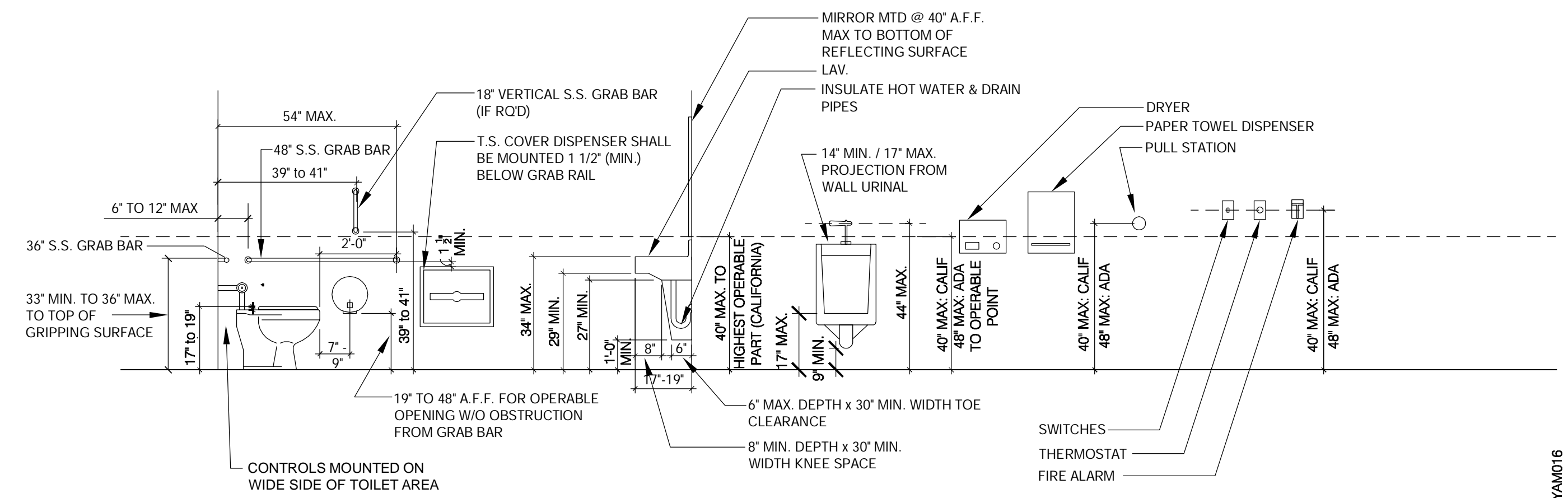
NUMBER OF ACCESSIBLE SEATS



NOTE: REQUIRE TACTILE EXIT SIGN PER DETAIL ADA1.0-13 WHEN EXISTING NOT PROVIDED

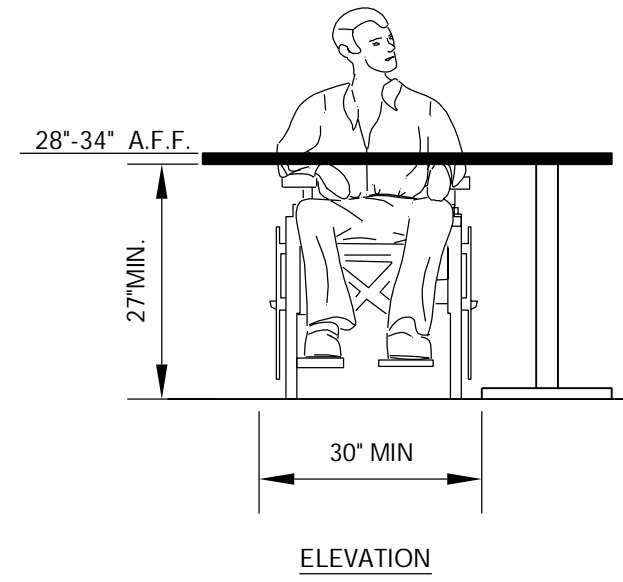
2 - TACTILE SIGN
Scale: N.T.S.

- NOTES:
- TOP OF GRIPPING SURFACE 33" TO 36" MAX TO THE TOP OF THE BAR. SEE NOTES BELOW
 - 12" MINIMUM CLEAR ABOVE GRAB BAR



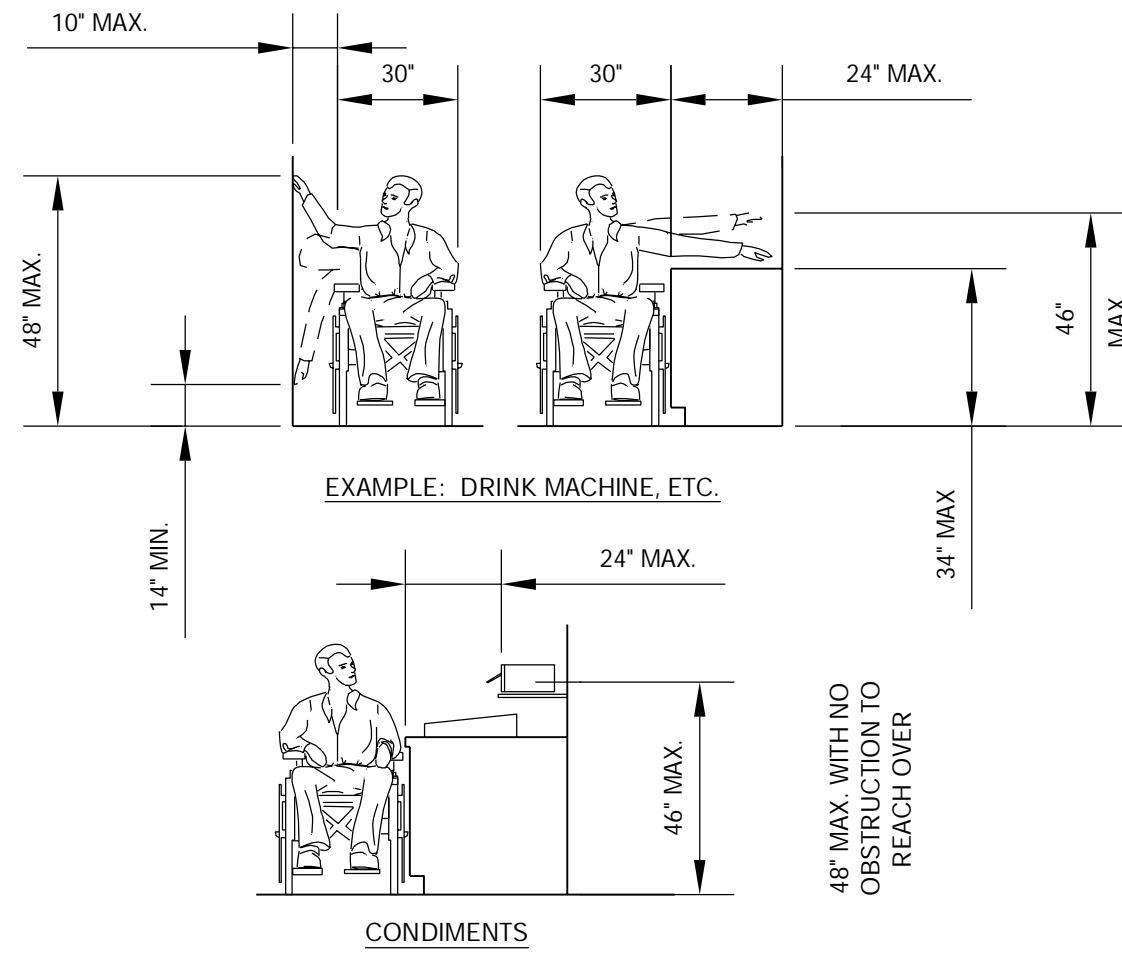
YAM016

1 - MOUNTING HEIGHTS & CLEARANCES FOR ACCESSIBILITY BY THE DISABLED
Scale: N.T.S.

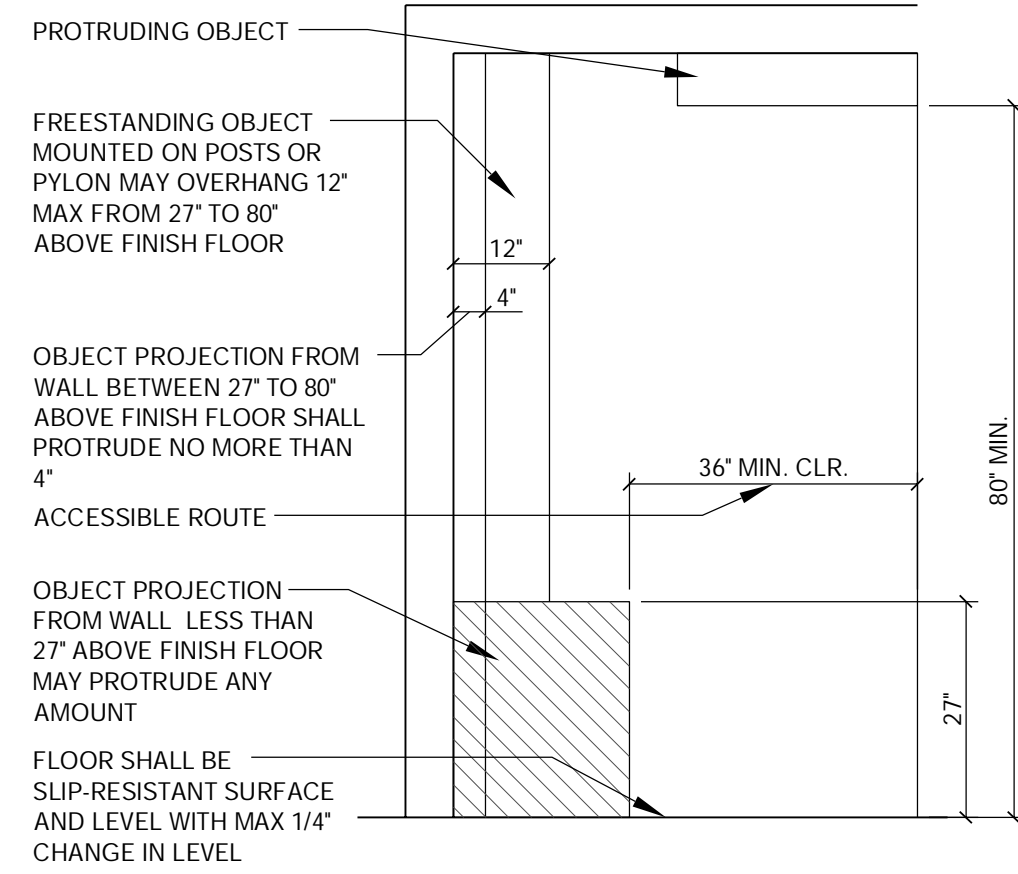


ELEVATION

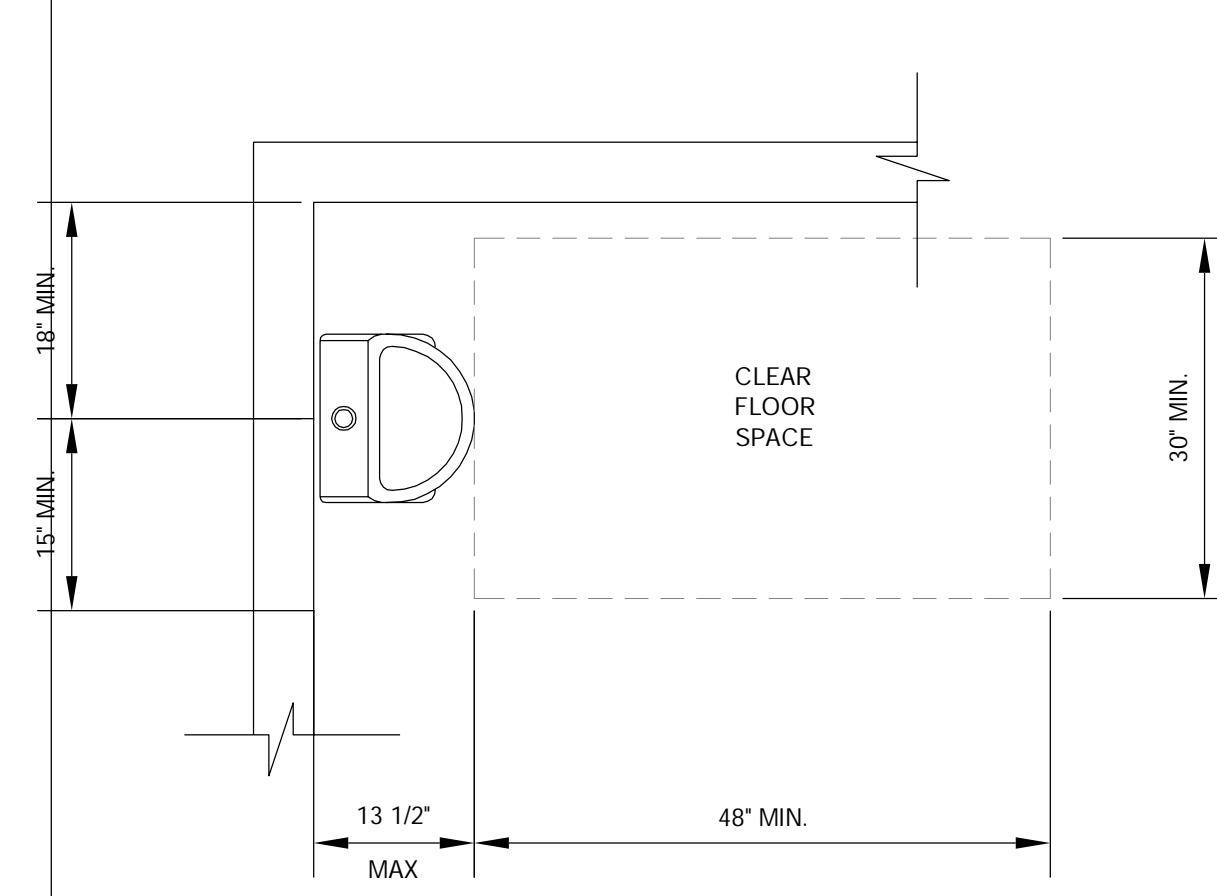
7 - SEATING AND TABLES
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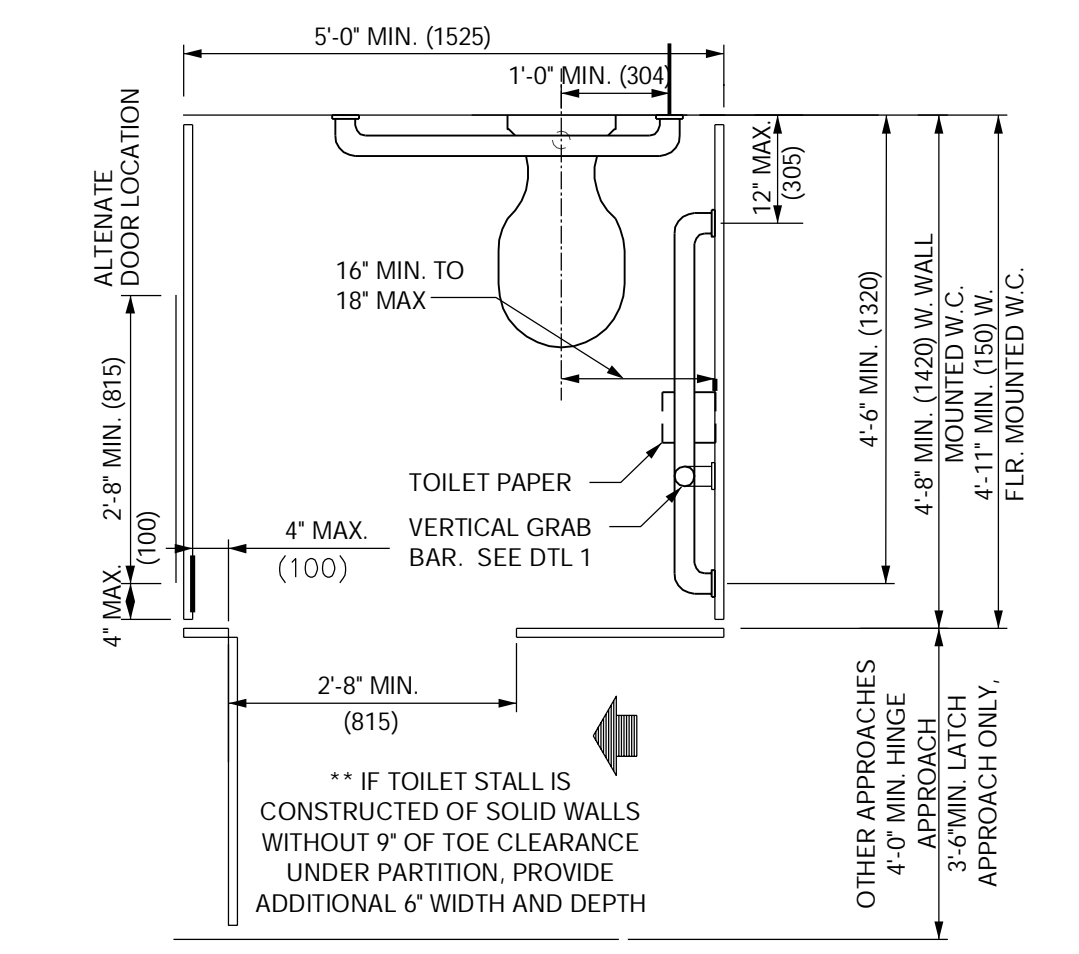
6 - REACH RANGES
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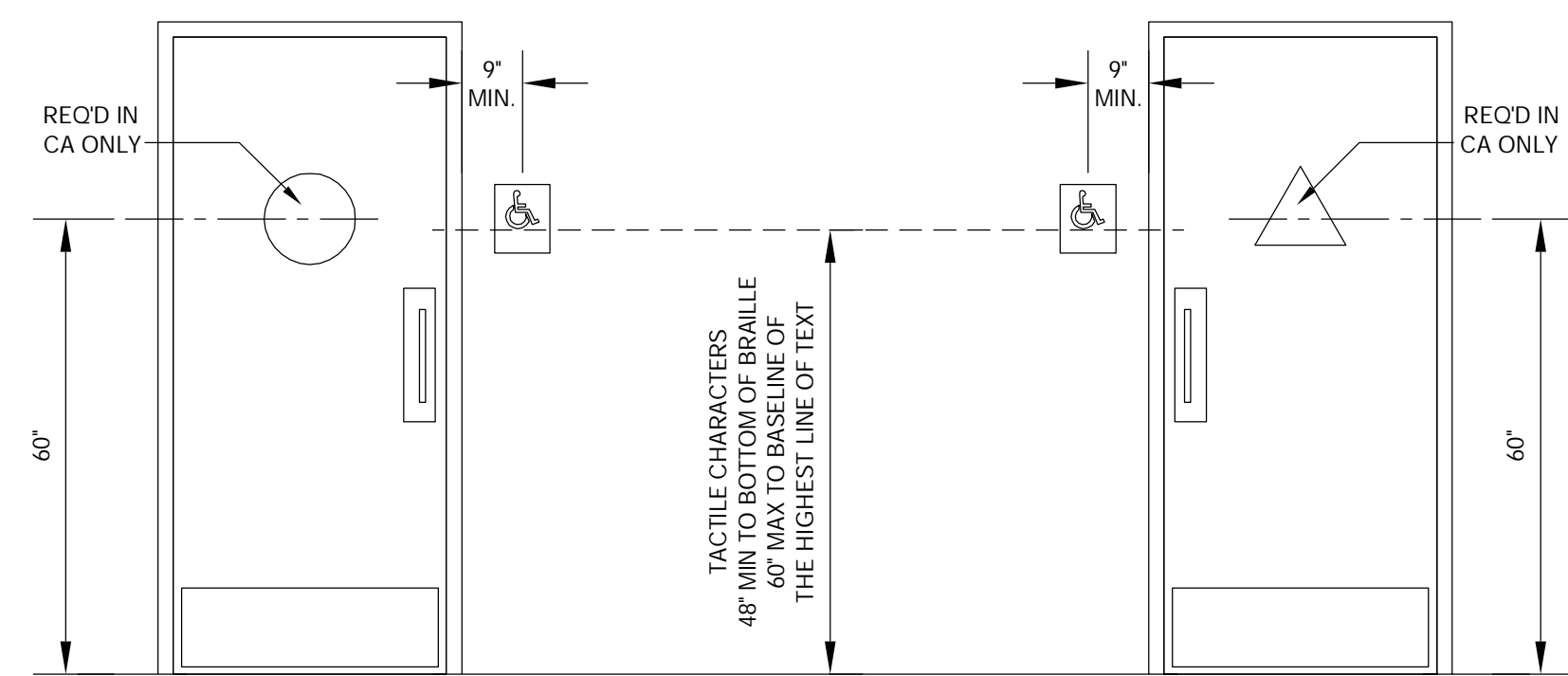
5 - INT. ACCESS. ROUTE CLEARANCES
Scale: 1/2" = 1'-0"



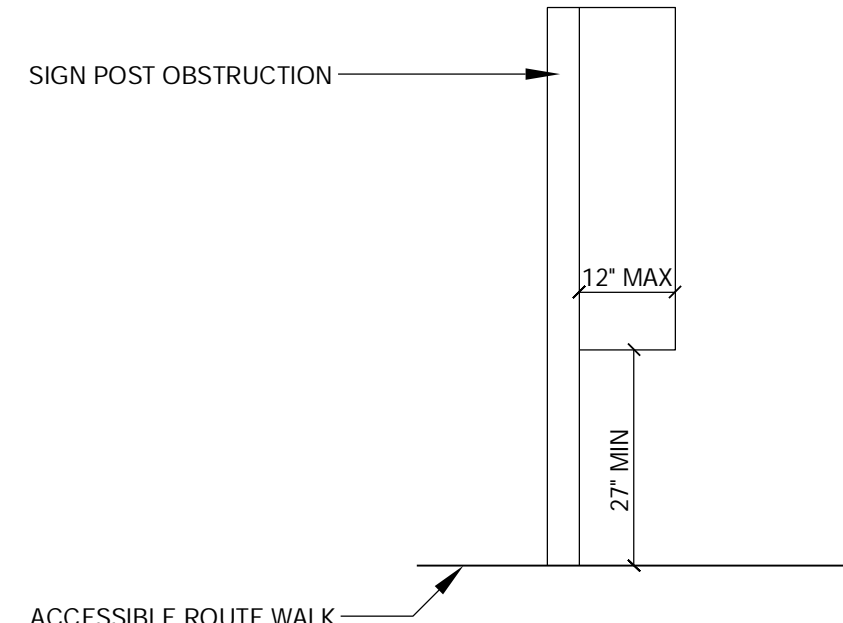
4 - ACCESSIBLE URINAL
Scale: 3/4" = 1'-0"



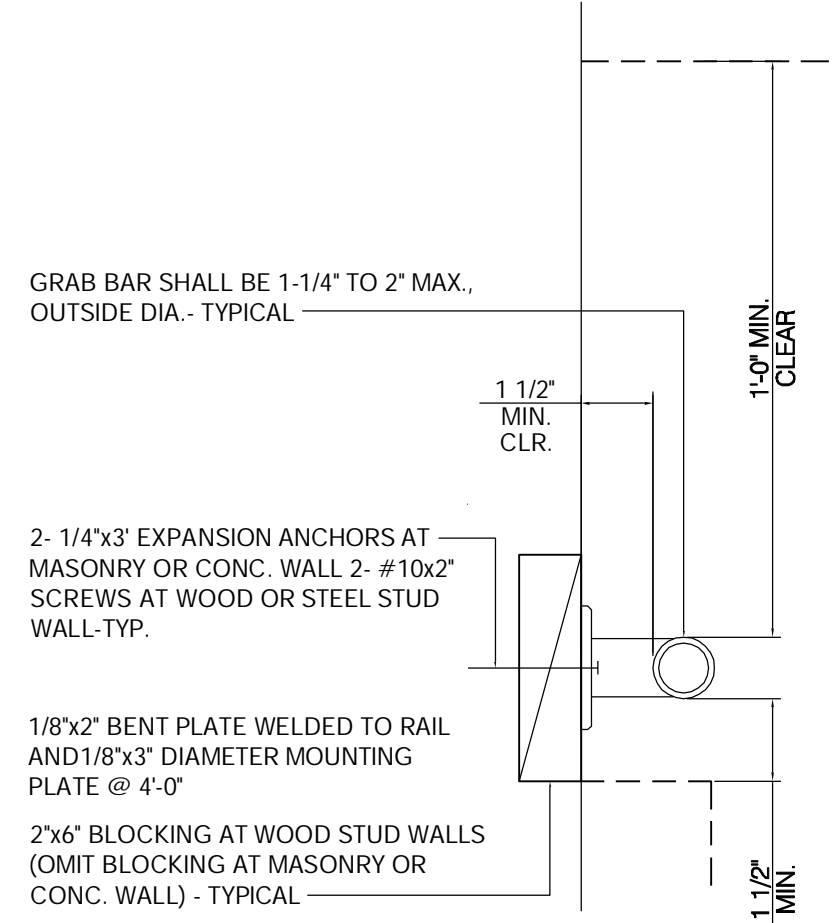
3 - STANDARD TOILET STALL
Scale: N.T.S.



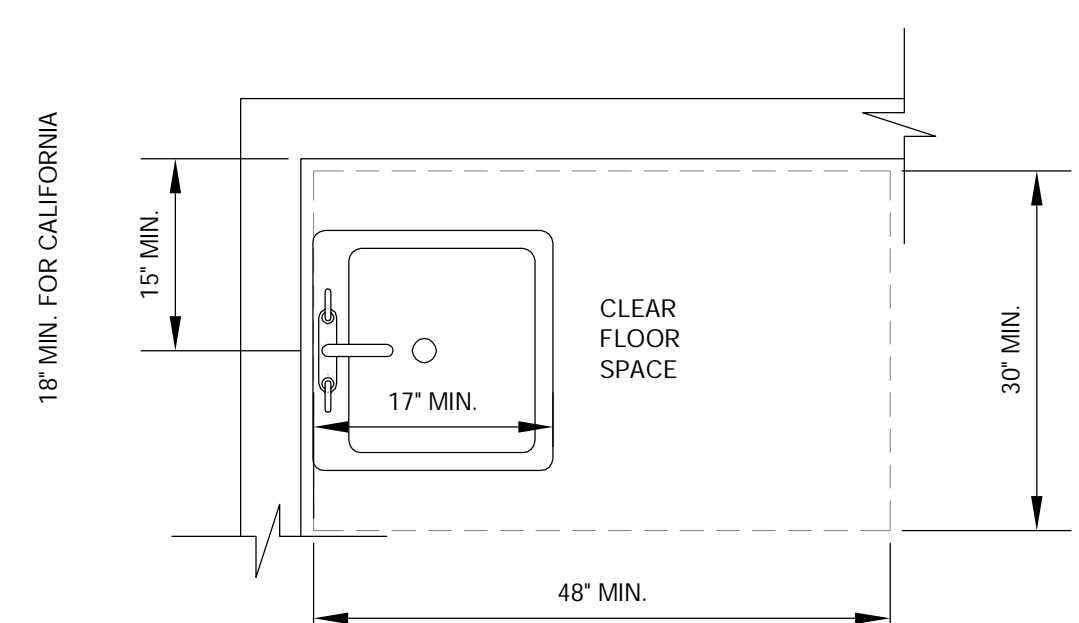
11 - ACCESSIBLE RESTROOM DOORS
Scale: N.T.S.



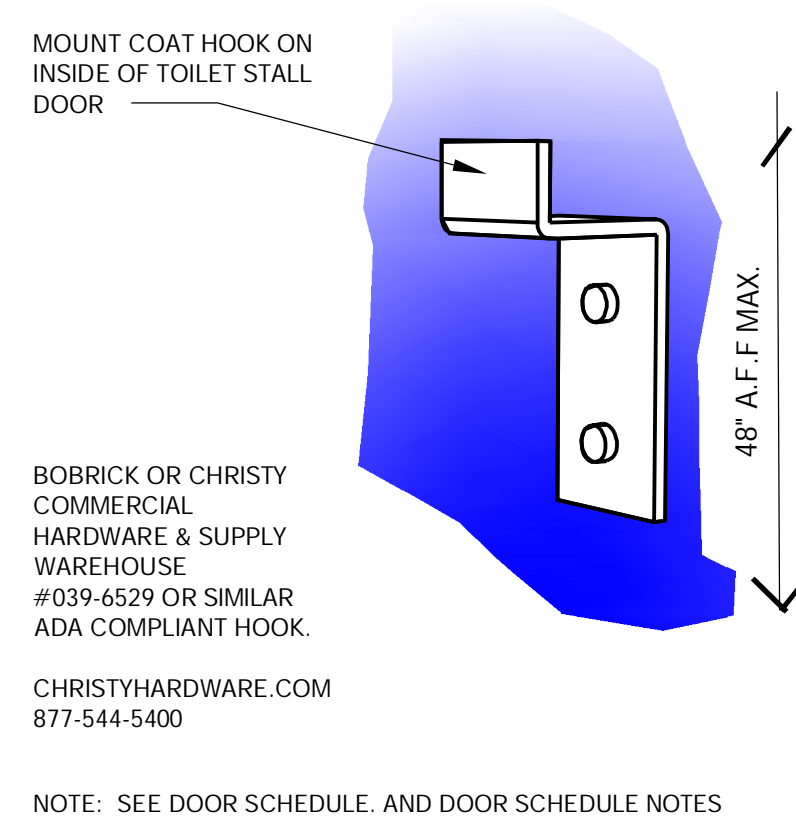
10 - PROTRUDING HAZARDS
Scale: 1/2" = 1'-0"



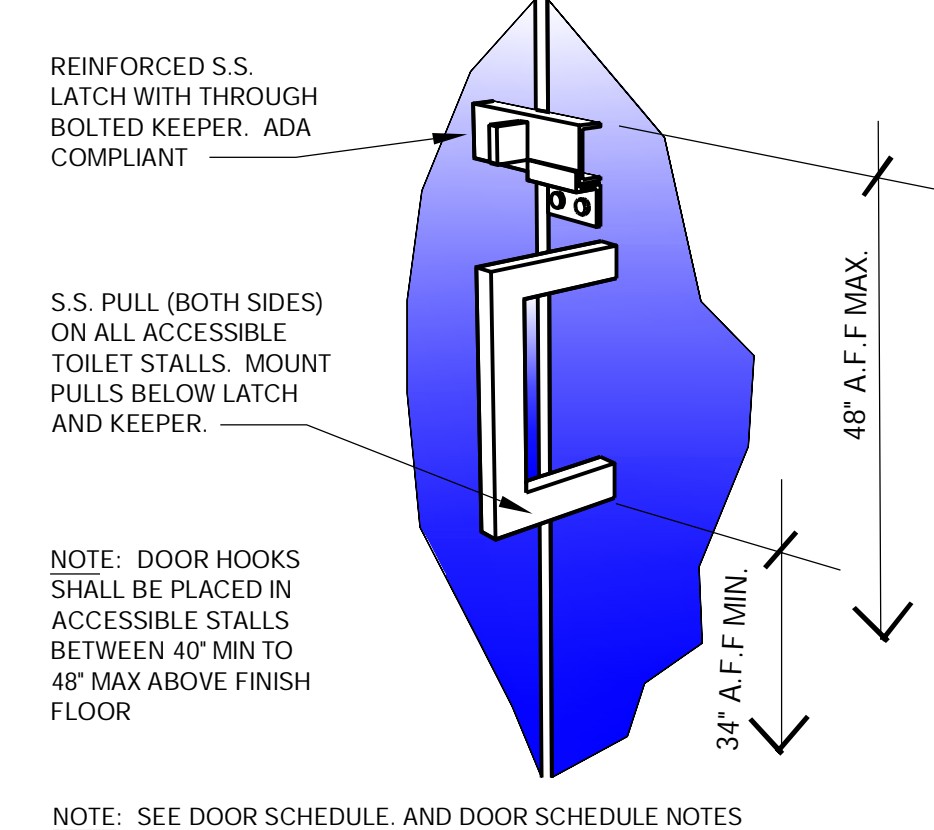
9 - GRAB BAR
Scale: 3" = 1'-0"



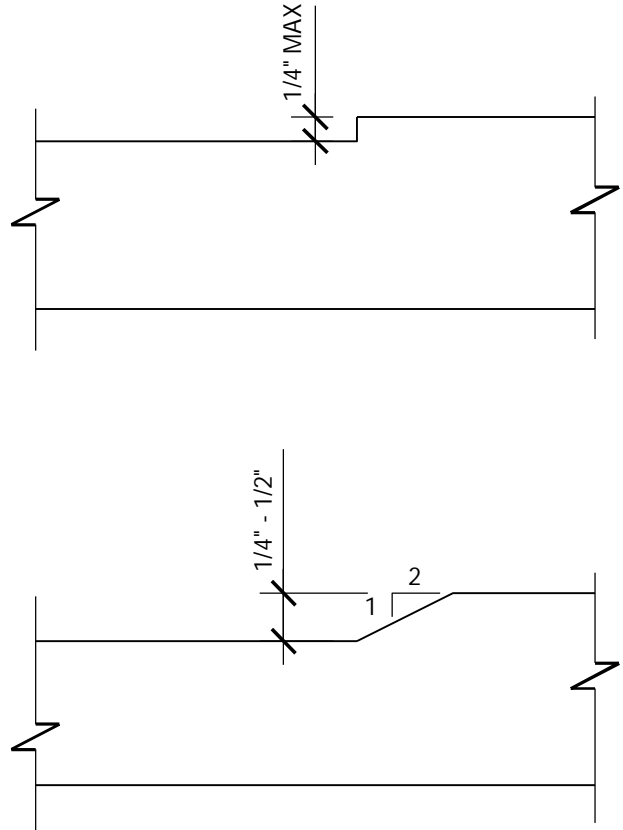
8 - ACCESSIBLE LAVATORY
Scale: 3/4" = 1'-0"



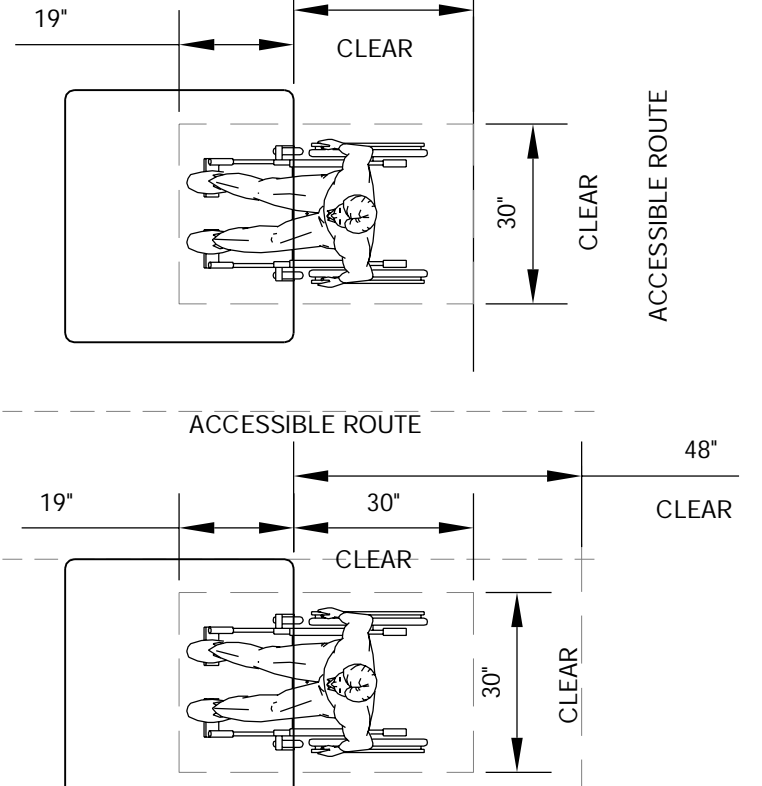
15 - COAT HOOK
Scale: N.T.S.



14 - PARTITION DOOR LATCH @ PULL
Scale: N.T.S.



13 - CHANGES IN LEVEL
Scale: N.T.S.



12 - DINING ROOM SEATING CLEARANCES
Scale: N.T.S.

GENERAL NOTES

- INDICATED DIMENSIONS, HEIGHTS, DEPTHS, AREAS AND OTHER GRAPHIC INFORMATION ARE PROVIDED AS MINIMUMS THAT MUST BE MAINTAINED. THESE MINIMUMS ARE BASED UPON YUM STANDARDS AND MAY EXCEED ADA REQUIREMENTS.

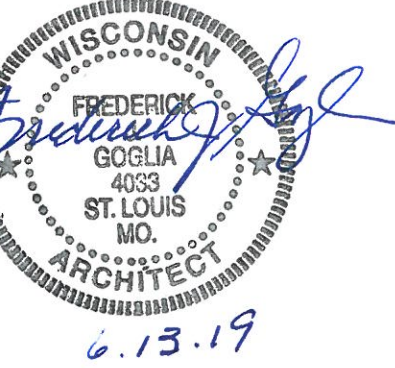
THE DETAILS SHOWN ARE CONCEPTUAL ONLY AND INTENDED TO SHOW ABSOLUTE MINIMUMS AND SHALL BE COORDINATED WITH THE OTHER CONSTRUCTION DOCUMENTS ASSOCIATED WITH THIS PROJECT.
- 60" TURNING SPACE
- PERMITTED OVERLAP LIMITED TO 1 ARM OF T-SHAPED SPACE
- CAN OVERLAP FIXTURE & DOOR CLEARANCE
- DOOR CAN SWING INTO TURNING SPACE A MAXIMUM OF 12"
- RESTROOM, IN GENERAL, DOOR SWING MUST BE OUTSIDE OF THE FIXTURE CLEAR FLOOR SPACE HOWEVER A DOOR CAN SWING INTO FIXTURE CLEAR FLOOR SPACE IF WHEELCHAIR SPACE 30"x48" IS PROVIDED BEYOND THE DOOR SWING.
- TOILET ROOM MUST ALLOW FOR SIDE TRANSFER - 42" BETWEEN FIXTURES

- NOTE:
- MAINTAIN 36" MIN. CLEAR AISLE EGRESS PATHS TO EXIT DOORS
 - INTERNATIONAL SYMBOL OF ACCESSIBILITY REQUIRED ON TOP EDGE OR FRONT OF ALL ACCESSIBLE TABLES.



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AMERICAN SHOWMAN
REV-1 DEC 2016

REVISION:

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PROJECT TITLE
CD TEMPLATE
"K-38 SERIES 6000 TO AMERICAN SHOWMAN"
2090 GREEN BAY RD
RACINE, WI 53406

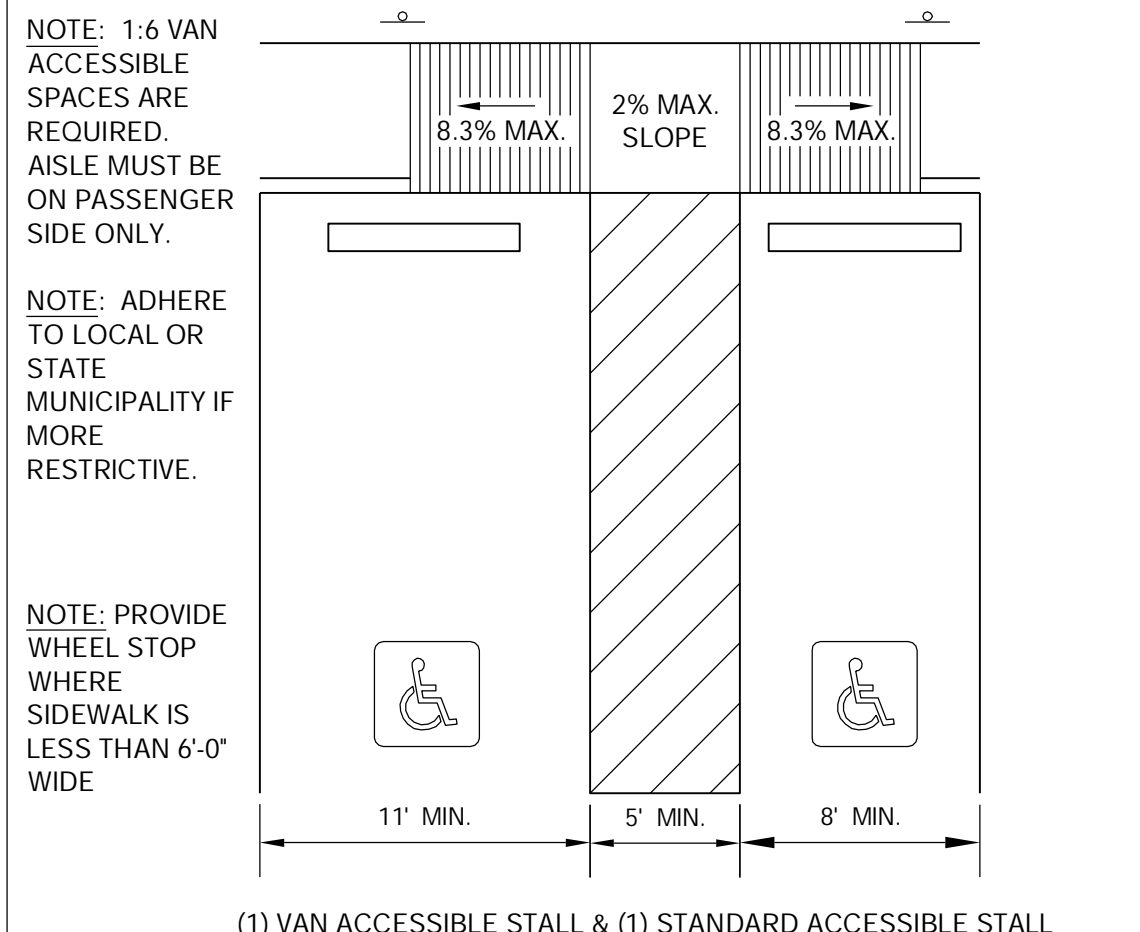
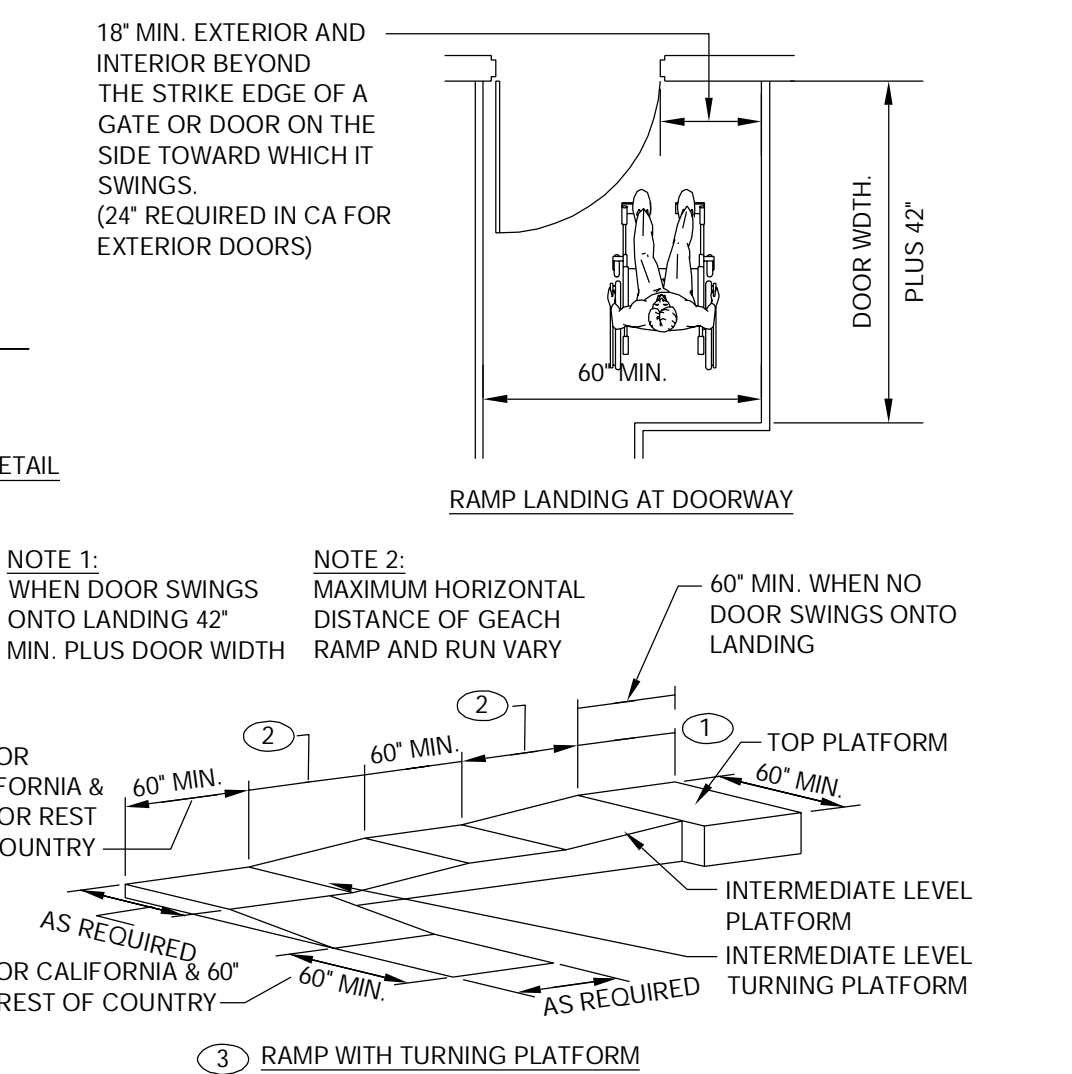
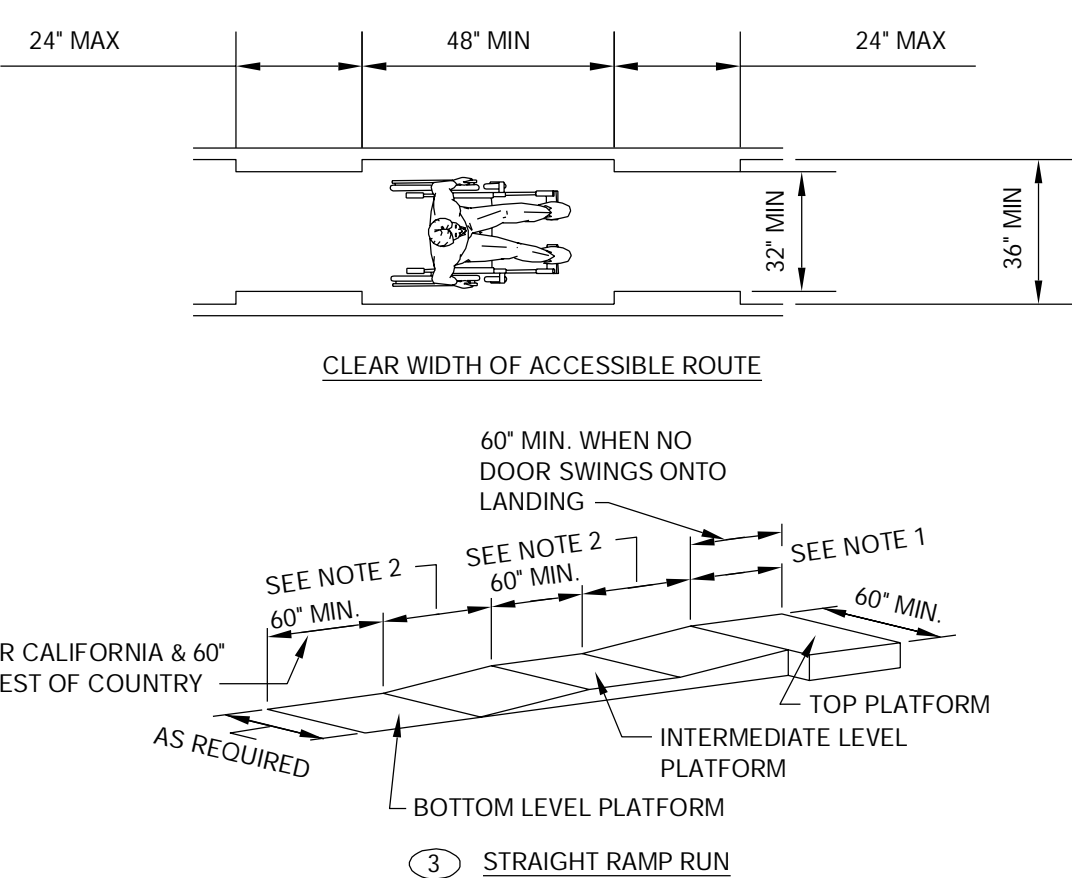
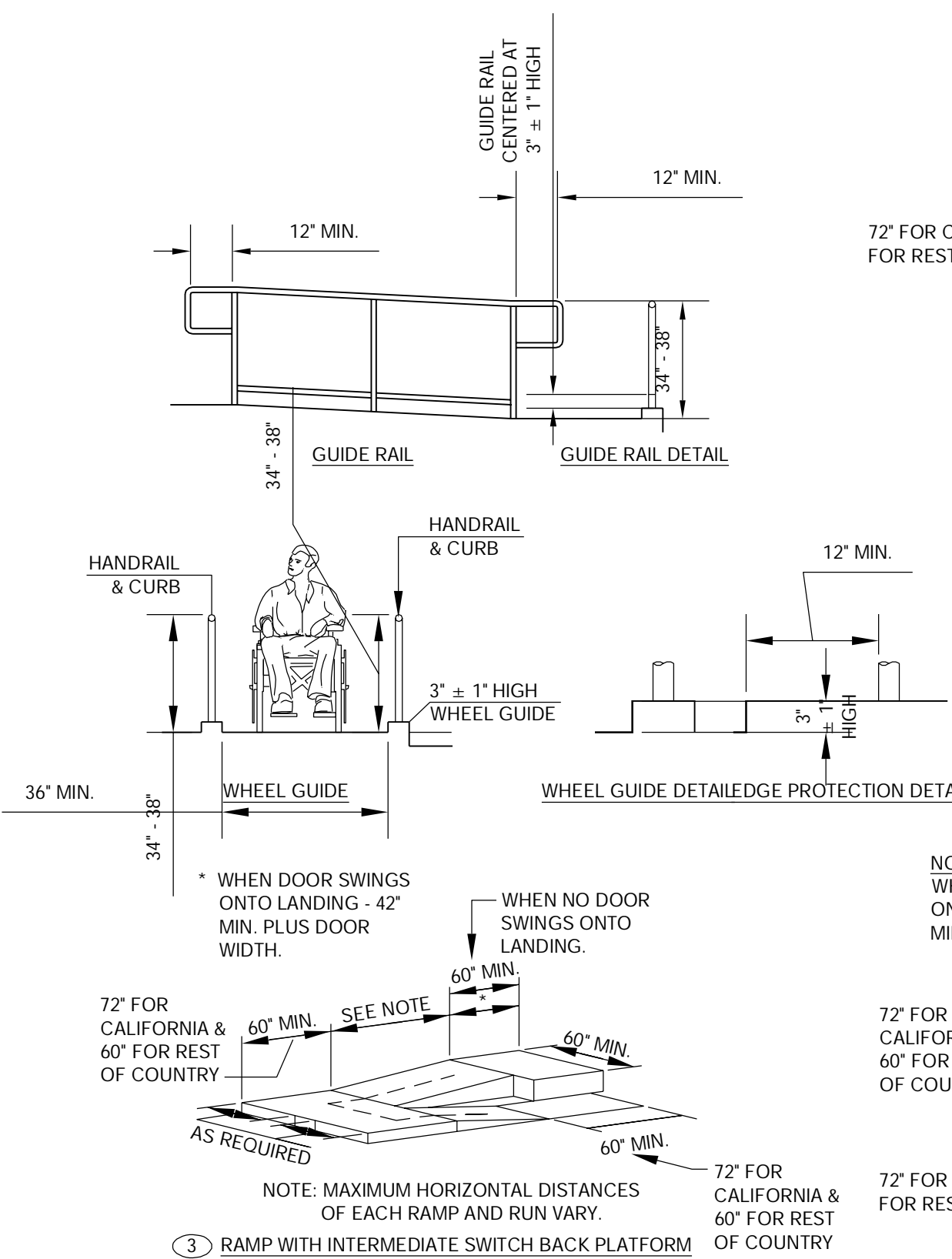
STORE NO. K071228
ISSUE DATE 05.31.19
ARCV NUMBER 190040

SHEET TITLE
ACCESSIBILITY REQUIREMENTS

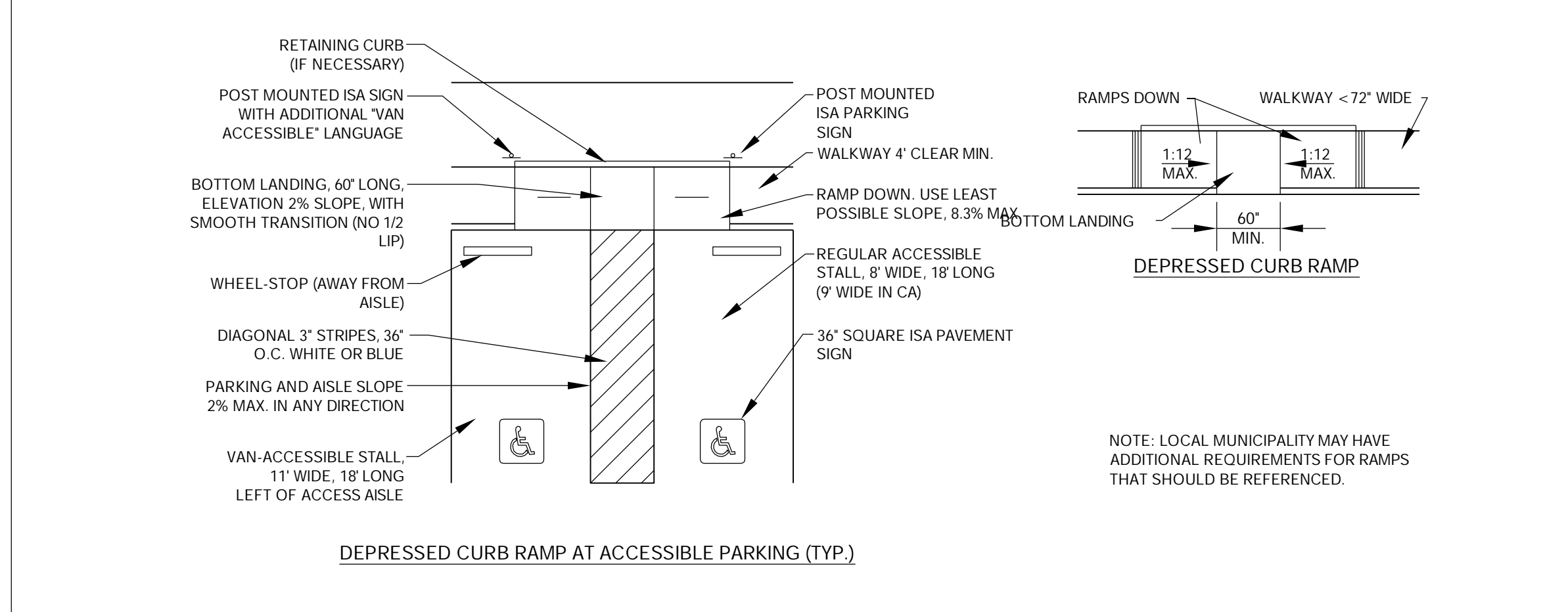
SHEET NO.
ADA-1.0

KEY NOTES

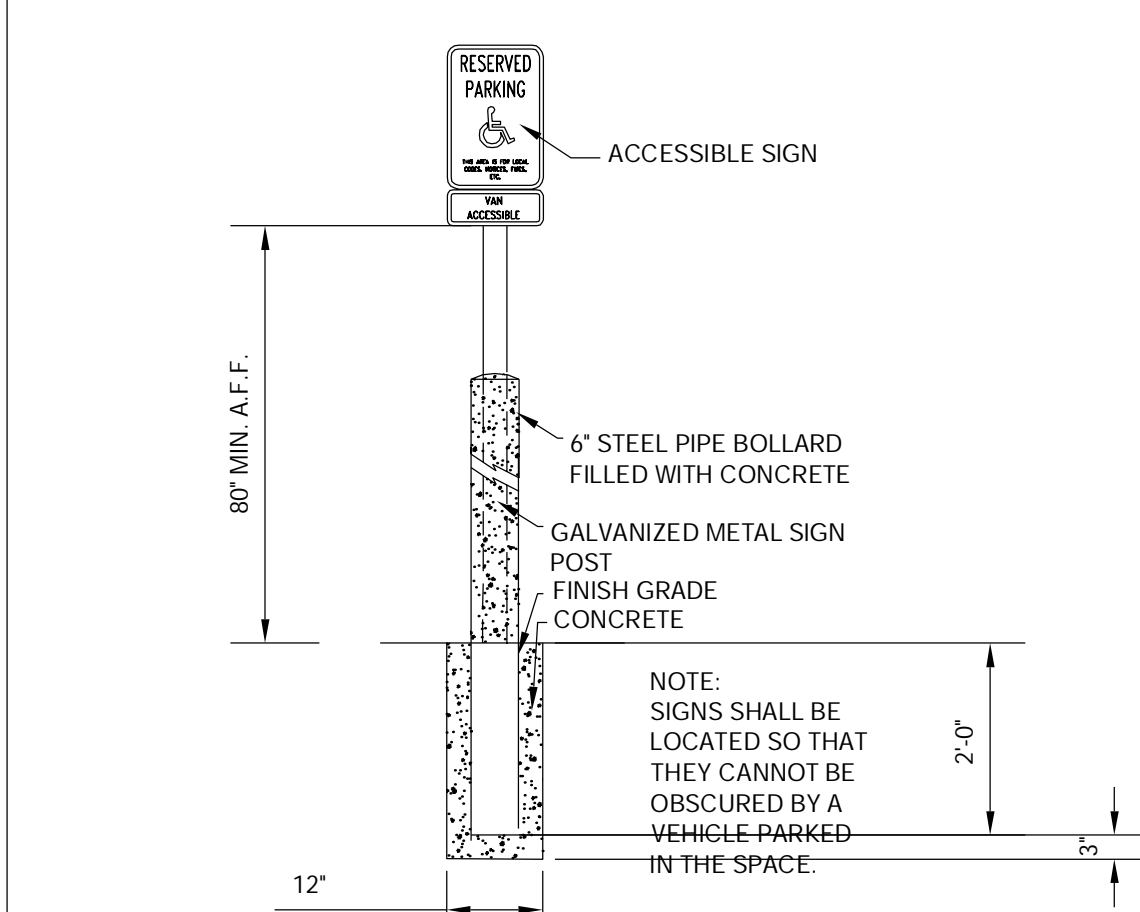
- 1 WHEN DOOR SWINGS ONTO LANDING 42" MIN. PLUS DOOR WIDTH
- 2 MAXIMUM HORIZONTAL DISTANCE OF EACH RAMP & RUN VARY
- 3 HANDRAILS NOT REQUIRED ON WALKING SURFACES WITH RUNNING SLOPES LESS THAN 1:20.



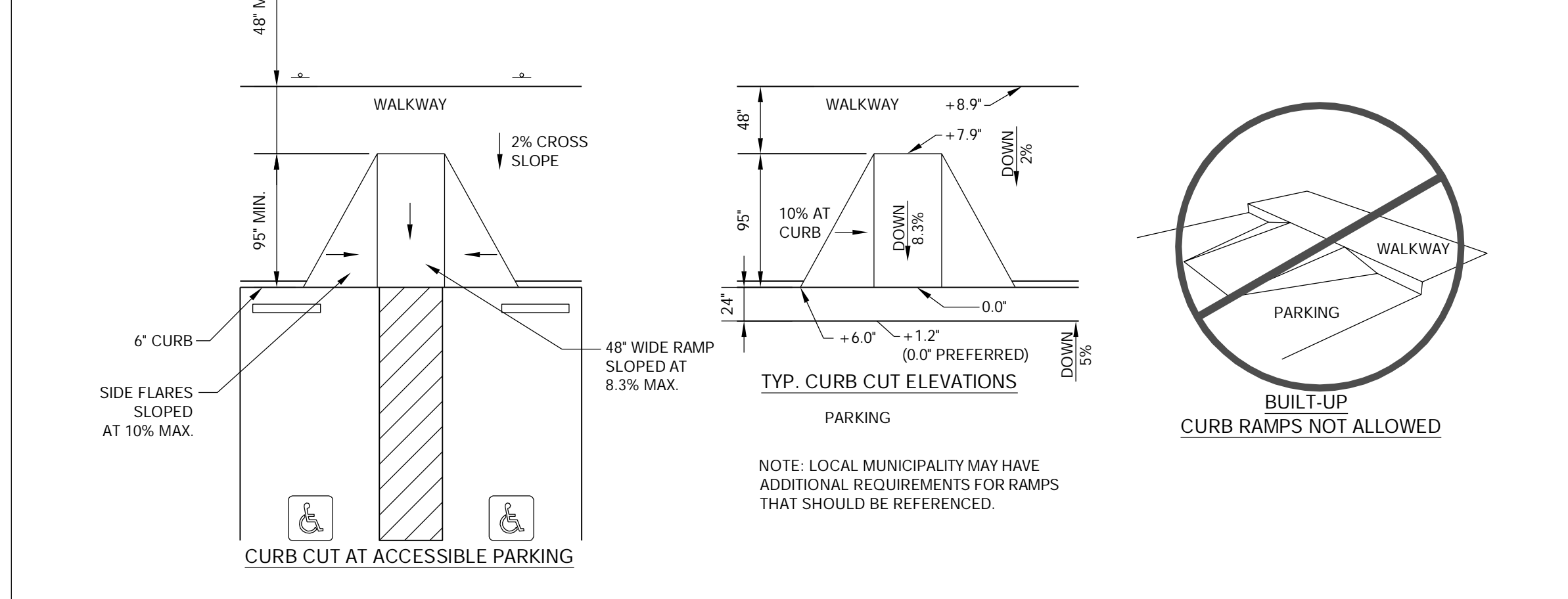
2 - ACCESSIBLE PARKING STALL
Scale: N.T.S.



1 - CURB RAMPS
Scale: N.T.S.

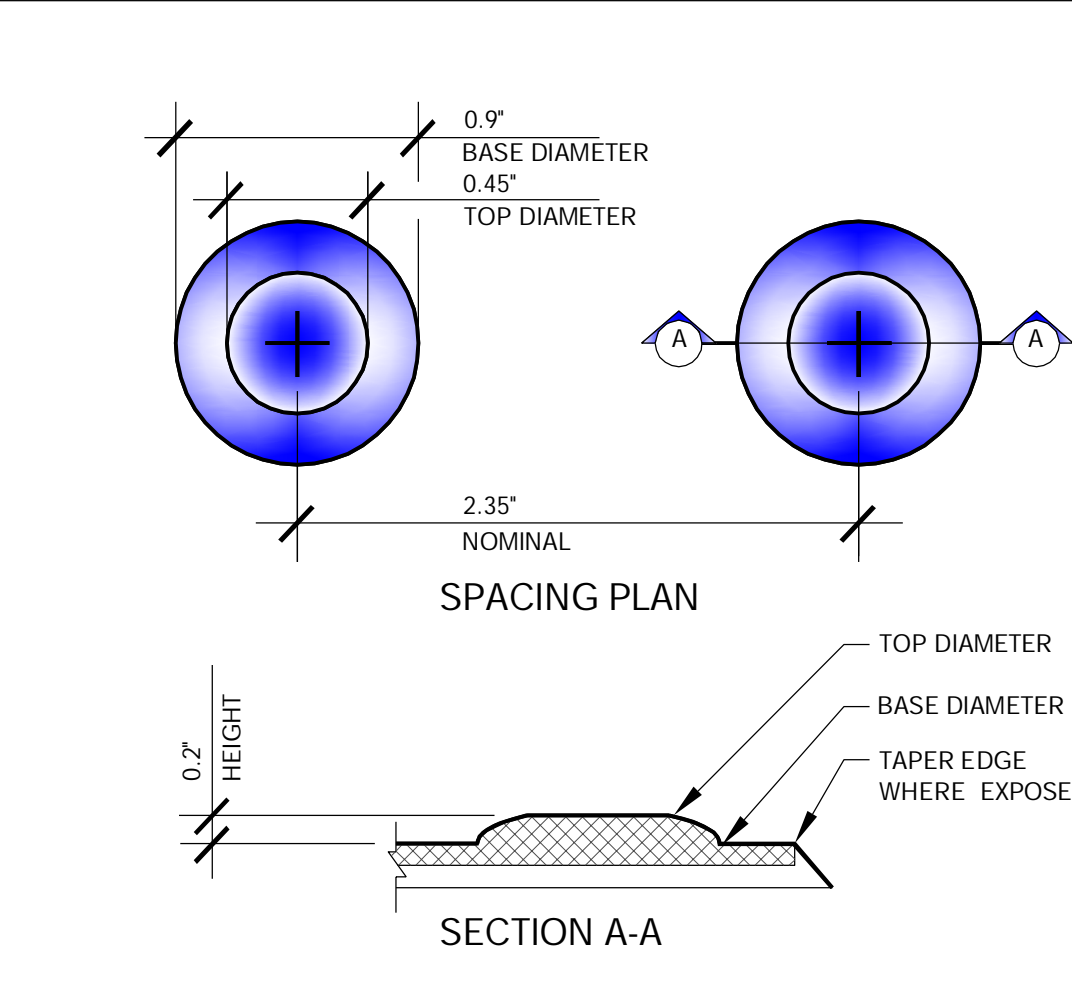


4 - ACCESSIBLE PARKING SIGN
Scale: 3\"/>

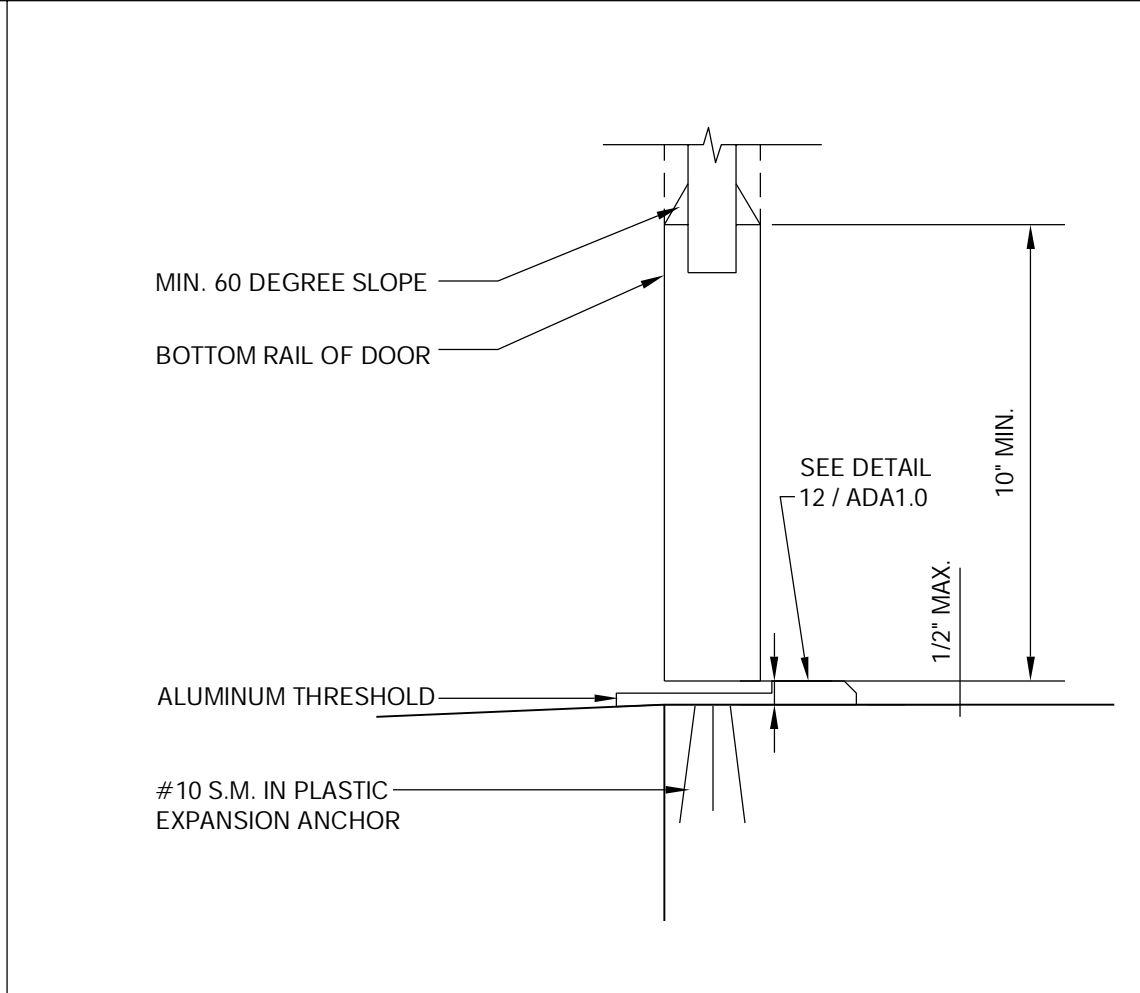


3 - CURB RAMPS
Scale: N.T.S.

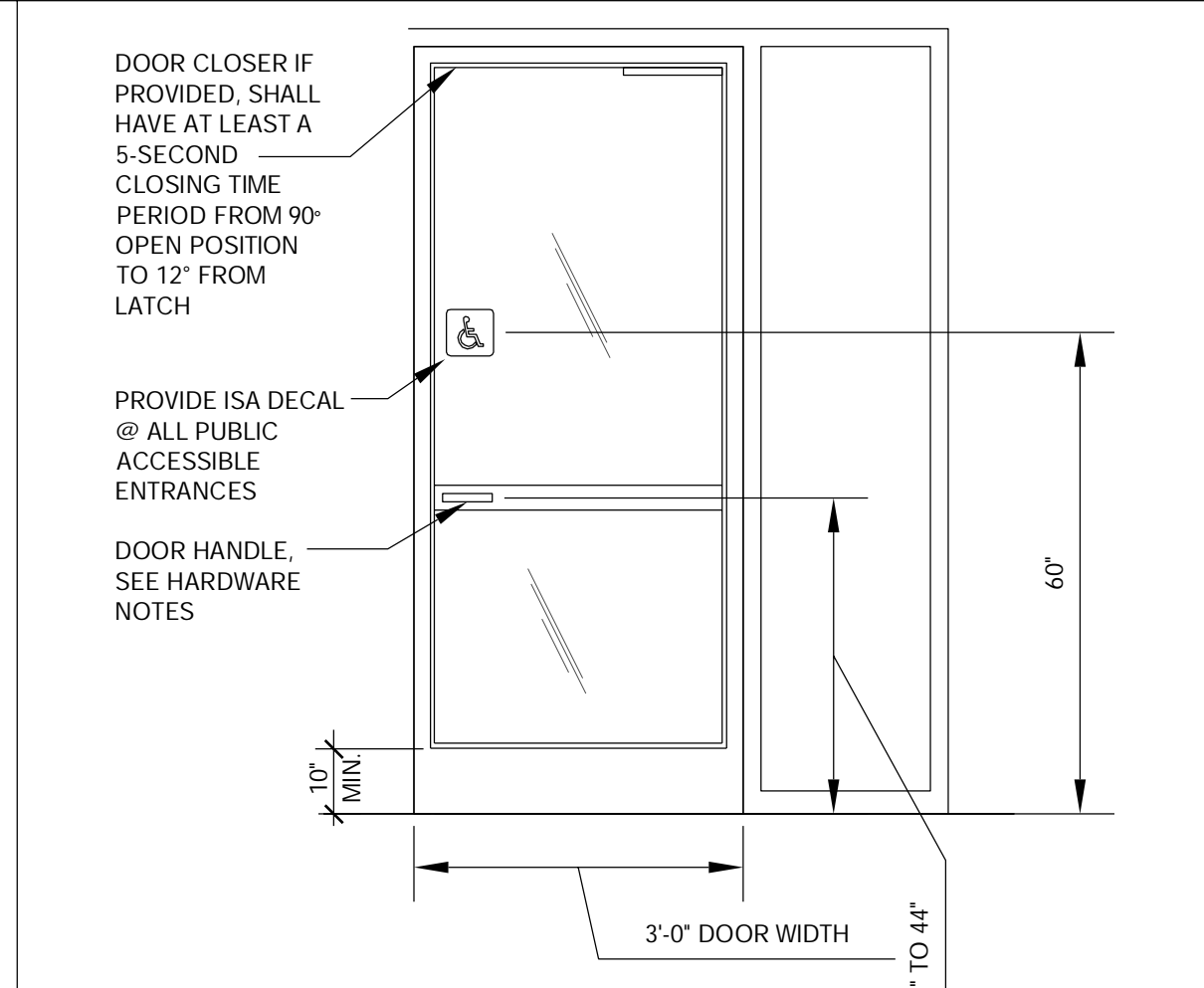
5 - RAMPS
Scale: N.T.S.



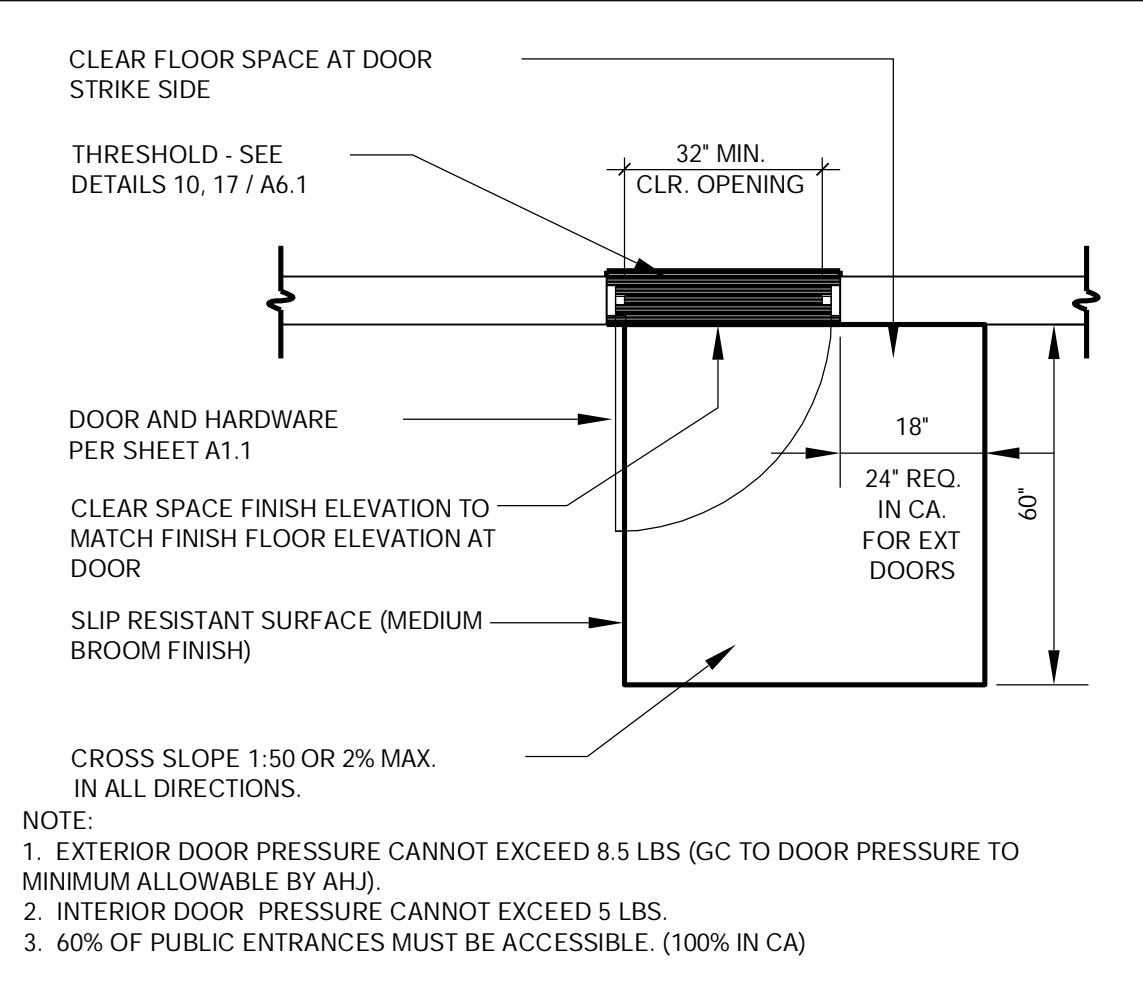
9 - TRUNCATED DOMES
Scale: N.T.S.



8 - BOTTOM RAIL (EXTERIOR DOOR)
Scale: 3\"/>



7 - TYPICAL ENTRANCE/EXIT DOOR
Scale: N.T.S.

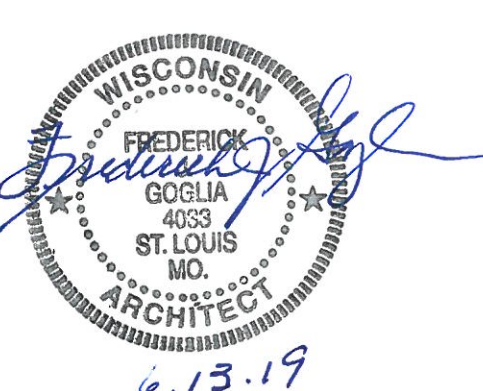


6 - EXTERIOR DOOR REQUIREMENTS
Scale: 1/2\"/>



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6.13.19
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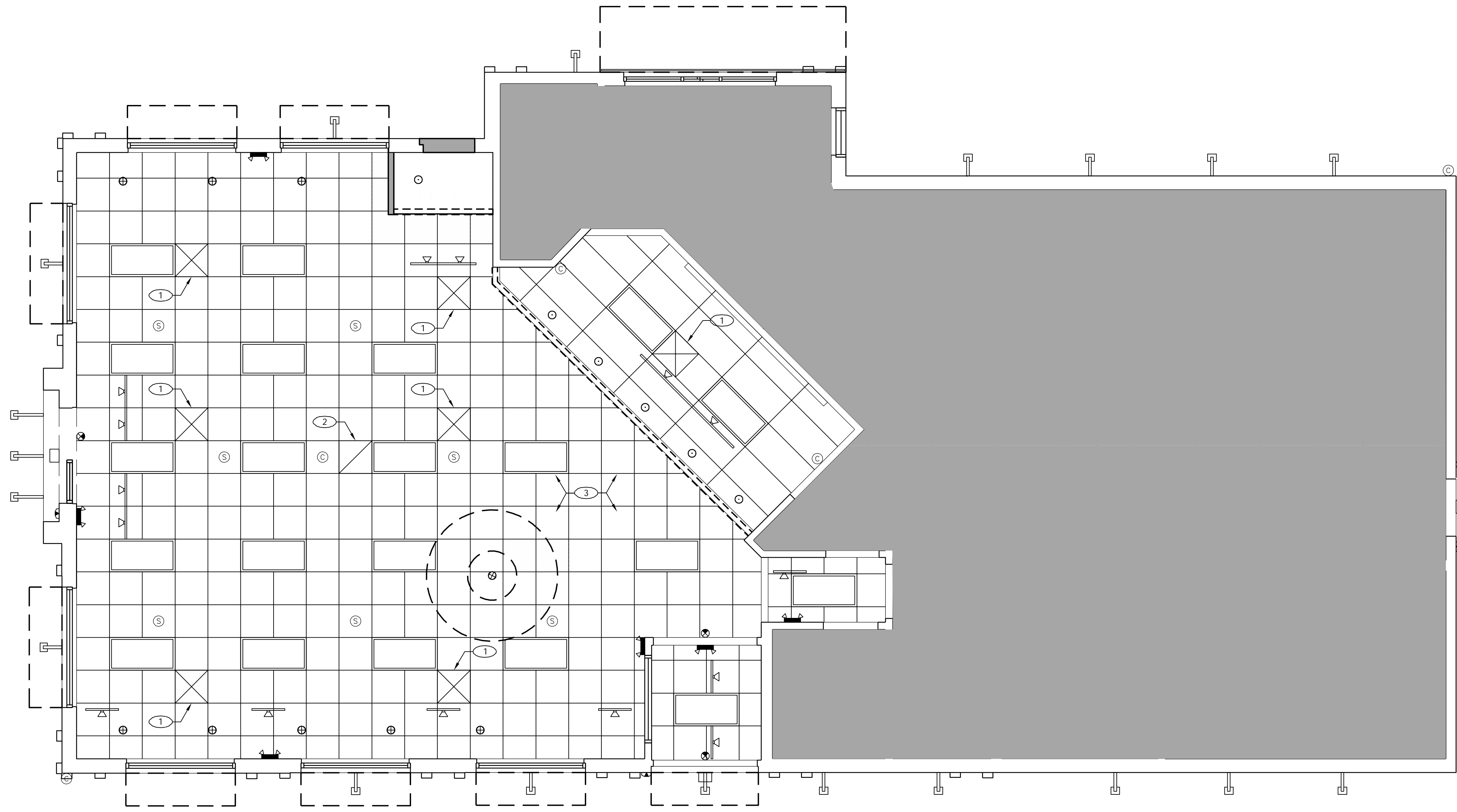
PROJECT TITLE
CD TEMPLATE
"K-38 SERIES 6000 TO AMERICAN SHOWMAN"
2090 GREEN BAY RD
RACINE, WI 53406

STORE NO. K071228
ISSUE DATE 05.31.19
ARCV NUMBER 190040

SHEET TITLE
ACCESSIBILITY REQUIREMENTS

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1 MECHANICAL PLAN
SCALE: 1/4"=1'-0"

FOR COMPLETE INFORMATION AND PRICING FOR THE EGER PRODUCTS, CONTACT JOSH DURDEN AT EGER PRODUCTS, INC.
TOLL-FREE PHONE: 1-877-265-9925
PHONE: (513) 753-4200 EXT. 109 FOR JOSH
OR (513) 753-4200 EXT. 102 FOR KRISTIE
EMAIL: josh@egerproducts.com
or kristie@egerproducts.com

MECHANICAL GENERAL NOTES

A. ALL WORK AND MATERIALS SHALL COMPLY WITH GOVERNING CODES, SAFETY ORDERS AND REGULATIONS. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS, FEES AND INSPECTIONS REQUIRED BY GOVERNING AUTHORITIES.

B. INSTALLATION SHALL CONFORM TO THE ENERGY CONSERVATION DESIGN MANUAL STANDARDS FOR NEW NON-RESIDENTIAL BUILDINGS.

C. CONTRACTOR SHALL COORDINATE INSTALLATION OF MECHANICAL WORK WITH ALL OTHER TRADES TO AVOID UNNECESSARY DELAY OR INTERFERENCES. CONTRACTOR SHALL REVIEW ARCHITECTURAL AND EQUIPMENT SHEETS.

D. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SERVICE ACCESS SPACE IN ACCORDANCE WITH MANUFACTURER, LOCAL CODE, AND AUTHORITY REQUIREMENTS.

E. PROVIDE ACCESS PANELS TO CEILING AND/OR WALL CONSTRUCTION WHERE NEEDED TO SERVICE AND ADJUST VALVES AND DAMPERS.

F. ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED, WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. CONTRACTOR SHALL SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION.

G. THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR ALL HVAC SYSTEM CONTROLS, INCLUDING LOW VOLTAGE WIRING.

H. ANY FRAMING REQUIRED FOR DIFFUSER INSTALLATION IN HARD CEILING SHALL BE BY THE GENERAL CONTRACTOR.

I. ALL BRANCH DUCTS FEEDING INDIVIDUAL DIFFUSERS/GRILLES TO HAVE ACCESSIBLE DAMPERS AT TAKE-OFFS FOR AIR BALANCING.

MECHANICAL KEYED NOTES

① FURNISH & INSTALL REPLACEMENT SUPPLY AIR DIFFUSER, EGER PRODUCTS INC. "ADVANTAGE" SERIES EA3xw WITH INSULATION TENT (OR EQUAL), IN LAY-IN CEILING. MODIFY EXISTING DUCTWORK/FLEX DUCT IF NEEDED. VERIFY QUANTITY PRIOR TO ORDERING. [R]

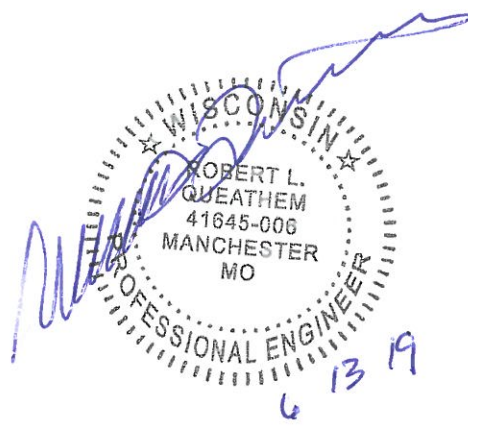
② FURNISH & INSTALL REPLACEMENT RETURN AIR GRILLE, EGER PRODUCTS INC. "ADVANTAGE" SERIES EFARECw (AVAILABLE IN 6" THRU 18" Ø INLETS) OR EQUAL, IN LAY-IN CEILING; MODIFY EXISTING DUCTWORK/FLEX DUCT IF NEEDED. VERIFY QUANTITY BEFORE ORDERING. [R]

③ VERIFY EXISTING TEMPERATURE SENSOR LOCATION; MAINTAIN AND PROTECT DURING CONSTRUCTION. [R]

④ CONTRACTOR SHALL PAINT DIFFUSERS AND GRILLES TO MATCH ADJACENT CEILING. [R]



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TEMPLATE VERSION:
AMERICAN SHOWMAN
VER-1 DEC 2016

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PROJECT TITLE
CD TEMPLATE
"K-38 SERIES 6000 TO AMERICAN SHOWMAN"
2090 GREEN BAY RD
RACINE, WI 53406

STORE NO. K071228
ISSUE DATE 05.31.19
ARCV NUMBER 190040
SHEET TITLE
MECHANICAL PLAN

SHEET NO.
M-1.0

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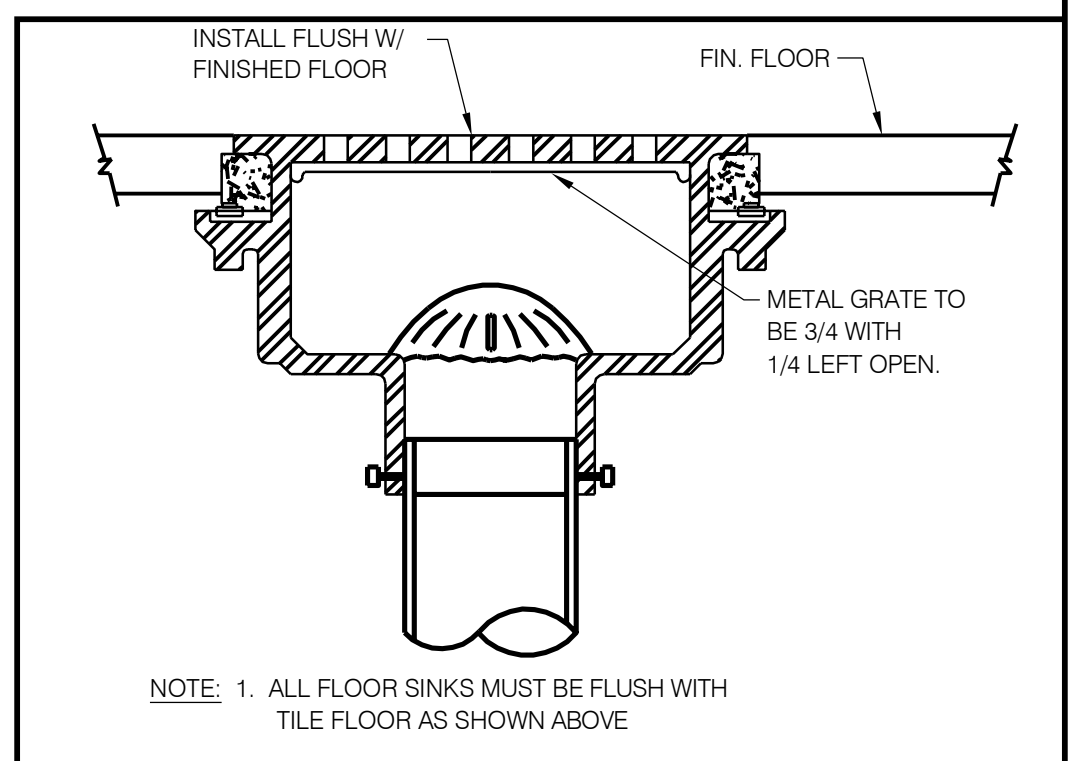
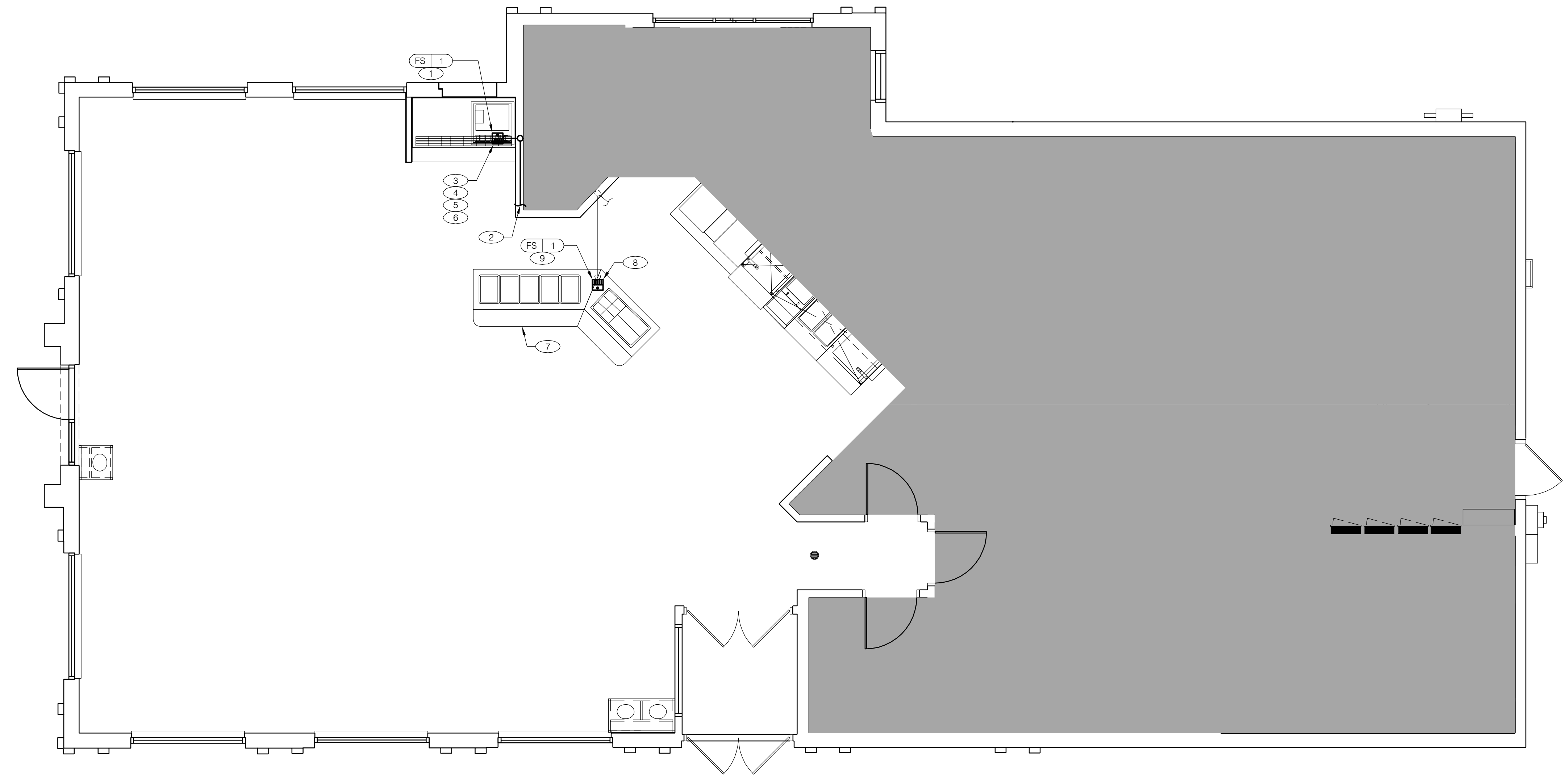
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PROJECT TITLE
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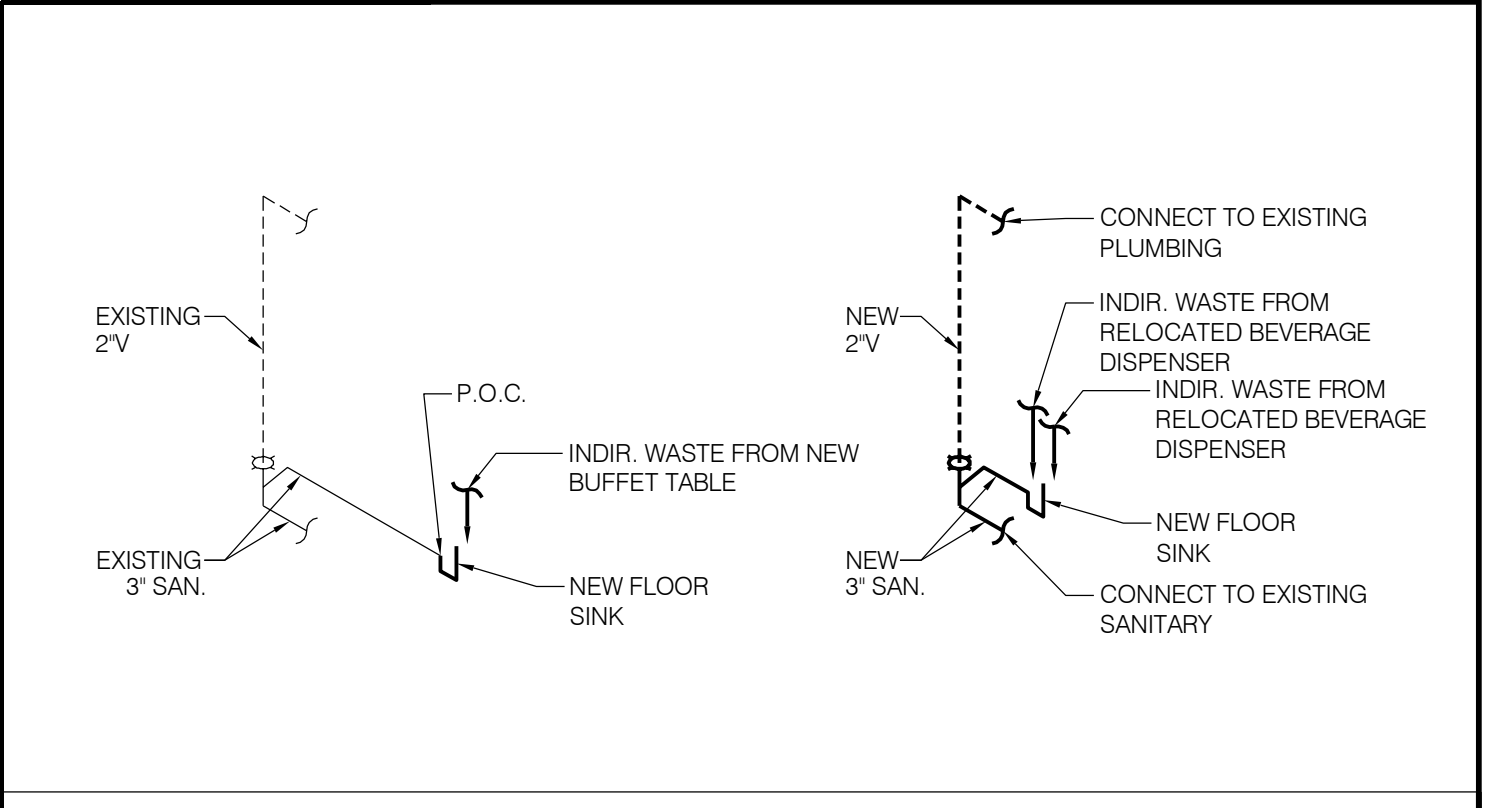
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 ARCV NUMBER **190040**

SHEET TITLE
PLUMBING FLOOR PLAN

SHEET NO.
P-1.0



FLOOR SINK DETAIL



PLUMBING RISERS

PLUMBING FLOOR PLAN

A. SOIL AND WASTE PIPE SHALL SLOPE 2% MINIMUM, UNLESS OTHERWISE NOTED OR REQUIRED BY CODE.
 B. ALL VALVES, SHOCK ARRESTORS OR OTHER EQUIPMENT SHOWN IN WALLS OR ABOVE NON-ACCESSIBLE CEILING SHALL BE INSTALLED BEHIND AN ACCESS PANEL.
 C. PRIOR TO COMMENCING WORK ON THIS PROJECT, CONTRACTOR SHALL VERIFY DEPTH, SIZE, LOCATION AND CONDITION OF ALL EXISTING UTILITIES IN FIELD BEFORE STARTING WORK. SHOULD CONDITIONS EXIST OTHER THAN THOSE INDICATED WHICH WOULD CAUSE THE DESIGN TO BE ALTERED, CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY.
 D. CONTRACTOR SHALL COORDINATE INSTALLATION OF PLUMBING WORK WITH ALL OTHER TRADES SO AS TO AVOID UNNECESSARY DELAY OR INTERFERENCES. CONTRACTOR TO REVIEW ARCHITECTURAL AND EQUIPMENT SHEETS.
 E. ALL PLUMBING WORK AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE STATE & LOCAL ORDINANCES & REGULATIONS HAVING JURISDICTION. CONTRACTOR SHALL OBTAIN ALL APPROVALS REQUIRED FROM REGULATING AGENCIES BEFORE STARTING WORK. ALL PLUMBING WORK & MATERIALS SHALL MEET THE REQUIREMENTS OF THE LATEST EDITIONS OF THE LOCAL PLUMBING CODE, UNLESS OTHERWISE REQUIRED BY THE DEPARTMENT OF BUILDING & SAFETY. OBTAIN & PAY FOR ALL PERMITS, FEES & INSPECTIONS REQUIRED BY GOVERNING AUTHORITIES. ALL PIPING TO BE CONCEALED UNLESS NOTED OTHERWISE.
 F. THE EQUIPMENT ROUGH-INS AS SHOWN ARE BASED UPON AVAILABLE INFORMATION. HOWEVER, IN SOME INSTANCES, THE OWNER OR SUPPLIER MAY SUBSTITUTE OR THE EQUIPMENT ITEM MAY VARY FROM WHAT IS SHOWN, THEREFORE, THE CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS WITH THE OWNER PRIOR TO CONSTRUCTION. FAILURE OF THE CONTRACTOR TO VERIFY THESE DIMENSIONS SHALL PLACE THE RESPONSIBILITY FOR ANY SUBSEQUENT RELOCATION DIRECTLY ON THE CONTRACTOR.
 G. INSTALL SHUTOFF VALVES ON ALL HOT & COLD WATER LINES TO FIXTURE OR APPLIANCE. ALL EXPOSED WATER AND WASTE LINES SHALL BE CHROME PLATED.
 H. ALL VALVES, UNIONS, ETC. TO BE SAME SIZE AS PIPE UNLESS OTHERWISE INDICATED ON DRAWINGS.
 I. SET TEMPERED WATER TEMPERATURE TO 110°F.

GENERAL NOTES

SYMBOL	ABBREV	DESCRIPTION
		PLUMBING EQUIPMENT DESIGNATION DESIGNATED NUMBER
	AFF	ABOVE FINISHED FLOOR
	AP	ACCESS PANEL
	CI	CAST IRON
	S/S	STAINLESS STEEL
	CW	COLD WATER / CW STUB
	HW	HOT WATER / HW STUB
	SS	SANITARY SEWER
	V	SANITARY VENT
	GW	GREASE WASTE
	FS	FLOOR SINK

PLUMBING LEGEND

- NEW FLOOR SINK. PROVIDE NEW WASTE AND VENT PIPING AS REQUIRED. FIELD VERIFY LOCATION. REFER TO PLUMBING FIXTURE SCHEDULE FOR INFORMATION. [RI]
- EXTEND NEW WASTE PIPING OF SIZE NOTED AND CONNECT TO NEAREST EXISTING SANITARY PIPING. FIELD VERIFY EXACT LOCATION. [RI]
- EXISTING ICE MACHINE IN TO BE RELOCATED AT LOCATION SHOWN ABOVE BEVERAGE DISPENSER BY PEPSI SUPPLIER AFTER COMPLETION OF NEW CONSTRUCTION. PROVIDE NEW INDIRECT WASTE PIPING TO FLOOR SINK AND PROVIDE A CODE REQUIRED AIR GAP. CONNECT REFRIGERANT PIPING AS REQUIRED. CONNECT 1/2" FILTERED WATER LINE TO NEW PEPSI WATER FILTER AS REQUIRED. FIELD VERIFY LOCATION. [RI]
- EXISTING BEVERAGE DISPENSER TO BE RELOCATED AT LOCATION SHOWN BY PEPSI SUPPLIER AFTER COMPLETION OF NEW CONSTRUCTION. PROVIDE INDIRECT WASTE PIPING TO FLOOR SINK WITH A CODE REQUIRED AIR GAP. CONNECT FILTERED WATER LINE TO NEW PEPSI WATER FILTER AND RECONNECT/REWORK EXISTING SYRUP LINES AS REQUIRED. [RI]
- RELOCATED CARBONATOR TO BE INSTALLED AT LOCATION SHOWN AT BEVERAGE DISPENSER BY CONTRACTOR AFTER COMPLETION OF NEW CONSTRUCTION. REWORK/RECONNECT FILTERED WATER PIPING AS REQUIRED. FIELD VERIFY EXACT LOCATION. [RI]
- CONTRACTOR SHALL PROVIDE AND INSTALL A DOUBLE CHECK VALVE BACKFLOW PREVENTOR WITH ATMOSPHERIC VENT (WATTS SD-3 OR EQUAL) INSTALL UPSTREAM OF CARBONATOR WITH NO COPPER DOWN STREAM AS PER AS PER SECTION 608.16.1 OF THE 2014 WISCONSIN PLUMBING CODE SPS 381 - 387. [RI]
- NEW BUFFET TABLE TO BE INSTALLED AS SHOWN PROVIDE NEW INDIRECT WASTE PIPING AND DISCHARGE AT NEW FLOOR SINK. PROVIDE AIR GAP PER CODE. FIELD VERIFY LOCATION. [RI]
- EXISTING PLUMBING FIXTURES TO BE REMOVED. DISPOSE OF PER KFC CONSTRUCTION MANAGERS DIRECTION. FIELD VERIFY LOCATION. [RI]
- NEW FLOOR SINK TO REPLACE EXISTING HUB DRAIN AT NEW BUFFET STATION IN DINING AREA. PROVIDE NEW WASTE PIPING IF REQUIRED. FIELD VERIFY LOCATION AND RELOCATE FLOOR SINK AS NEEDED TO ENSURE IT IS LOCATED UNDER NEW BUFFET TABLE. EXTEND EXISTING PIPING UNDER FLOOR AS REQUIRED. REFER TO PLUMBING FIXTURE SCHEDULE FOR INFORMATION. [RI]

KEY NOTES

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TEMPLATE VERSION:
AMERICAN SHOWMAN
VER-1 DEC 2016

REVISION:
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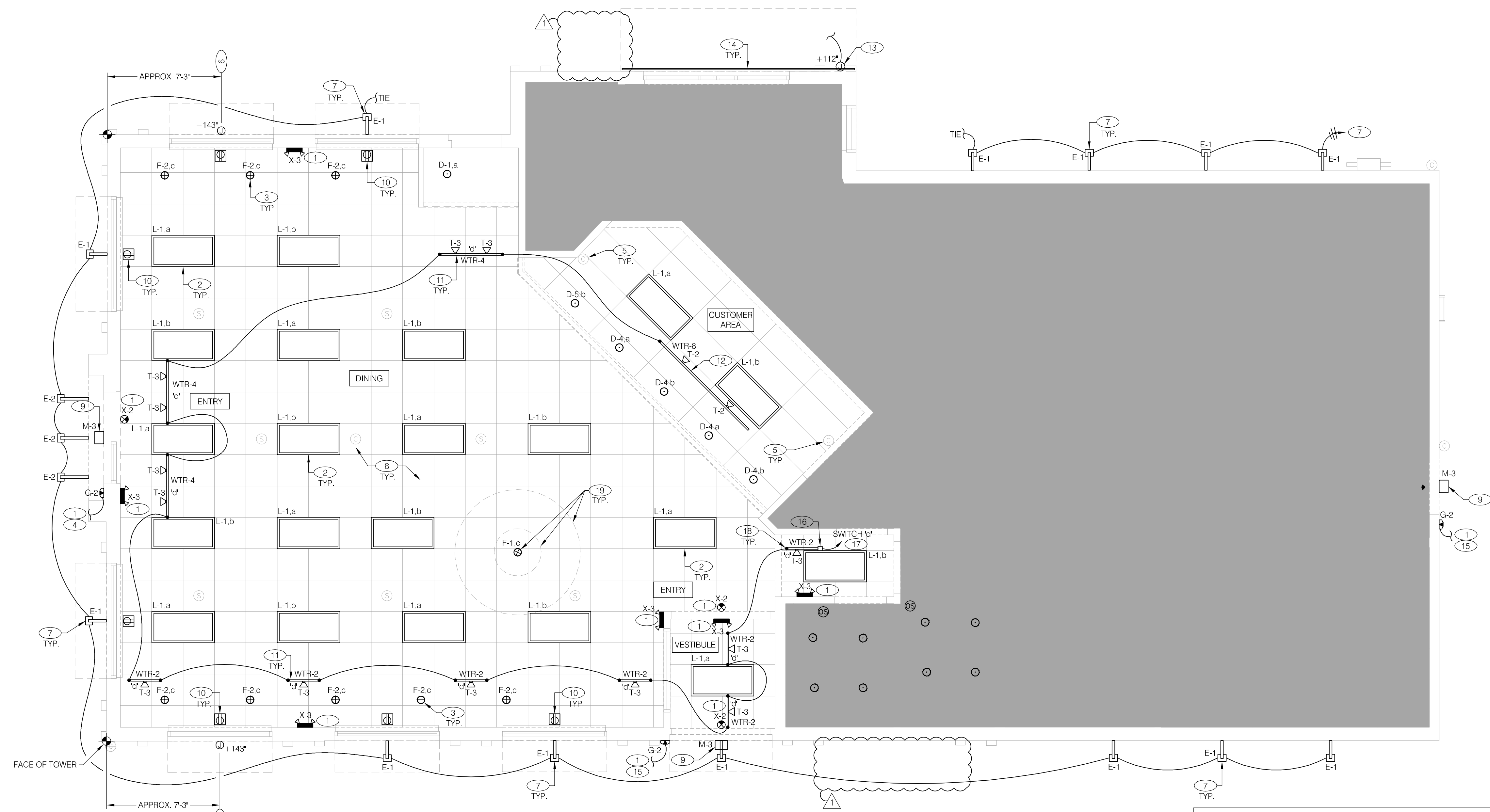
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2090 GREEN BAY RD
RACINE, WI 53406

ISSUE NO. K071228
ISSUE DATE 05.31.19
ARCV NUMBER 190040

SHEET TITLE
LIGHTING PLAN AND SCHEDULE

SHEET NO.
E-1.0

CONTRACTOR SHALL USE EXISTING SPARE SPACE OR REUSE EXISTING BRANCH CIRCUITS LOCATED IN EXISTING PANELS (U.N.O.) FOR LIGHTING, POWER AND SIGN REMODEL. NEW REUSED BRANCH CIRCUIT(S) SHALL MATCH THE MANUFACTURER'S PUBLISHED ELECTRICAL CHARACTERISTICS OF PROPOSED EQUIPMENT, AS WELL AS MATCHING THE CHARACTERISTICS OF SOURCE PANEL. WHERE APPLICABLE, CONTRACTOR SHALL PROVIDE ADDITIONAL ELECTRICAL DEVICES NECESSARY FOR COMPLIANCE (E.G. SHUNT-TRIP, OVERRIDE, ADDITIONAL CONTROL, ETC.), REPLACE BRANCH CIRCUIT(S) IF CHARACTERISTICS DO NOT MATCH PROPOSED REPLACEMENT EQUIPMENT. REUSED AND/OR EXISTING BRANCH CIRCUIT SUPPLYING MULTIPLE OUTLETS SHALL BE VERIFIED FOR INTEGRITY AND CAPACITY OF ALL EQUIPMENT INSTALLED ON THAT CIRCUIT. ALL EXISTING NEW BRANCH CIRCUITS BEING UTILIZED FOR THIS BUILDING RENOVATION SHALL BE FIELD-VERIFIED FOR INTEGRITY, CAPACITY (80% OF RATED BREAKER) AND SHALL MEET CURRENTLY ADOPTED NATIONAL ELECTRICAL CODE COMPLIANCE AS WELL AS ADDITIONAL REQUIREMENTS CONTAINED IN THESE DOCUMENTS. ALL PROPOSED LIGHTING SHALL BE ROUTED THROUGH EITHER AN EXISTING LIGHTING CONTROL SYSTEM OR (IF NONE OR NON-COMPLIANT) A NEW LIGHTING CONTROL SYSTEM THAT SHALL MEET THE ENERGY REQUIREMENTS FOR THE MUNICIPALITY IN WHICH IT IS TO BE INSTALLED AND PROVIDE ADDITIONAL ELECTRICAL DEVICES NECESSARY FOR COMPLIANCE (E.G. LOCAL (ANNUNCIATED) OR ADDITIONAL CONTROL, OVERRIDES, MOTION SENSORS, ETC.). SEE DEMOLITION DRAWINGS FOR REMOVED EQUIPMENT. ALL NEW CONDUCTORS SHALL BE IN CONDUIT AND CONCEALED IN WALLS OR ABOVE CEILINGS AS MUCH AS POSSIBLE.



NOTE:
DAYLIGHT AREAS LOCATED IN THE FIRST FLOOR OF A RESTAURANT ARE EXEMPT FROM DAYLIGHT-RESPONSIVE CONTROLS REQUIREMENTS PER 2015 I.E.C. C405.2.3 EXCEPTION 4. (NOTE: A RESTAURANT IS CLASSIFIED AS AN A-2 ASSEMBLY GROUP, AS DEFINED IN SECTION 303.3 OF THE 2015 I.B.C.)

LIGHTING PLAN 1/4"=1'-0" **A**

FIXTURES PROVIDED BY DISTRIBUTOR / LIGHTING SUPPLIER : INSTALLED BY G.C.										
LIGHTING SCHEDULE										
TYPE	QTY.	LOCATION	MANUFACTURER / CATALOG NUMBER	DESCRIPTION	LAMP #	LAMP TYPE	MOUNTING TYPE	VOLT	WATT	REMARKS
D-1	1	SALES WALL FLOOR	TCP: LED14DR5630K95	RECESSED LED ELITE HOUSING: B6IC-AT-W	1	LED	RECESSED GRID	120	14	W/WHITE TRIM RING & QUICK CONNECT PLUG
D-4	4	FRONT COUNTER	GREEN CREATIVE: 58026	4" LED DOWNLIGHT	1	LED	RECESSED	120	9	W/WHITE FINISH, 3000K W/DRIVE BUILT IN
D-5	1	FRONT COUNTER	LOTUS LIGHTING	3" ADJUSTABLE GIMBAL LED DOWNLIGHT	1	LED	RECESSED	120	8	W/WHITE FINISH, 3000K W/DRIVE INCLUDED
E-1	13	EXTERIOR	AMERLUX: FL1140/BLK/WH	AMERLUX BRACKET: WAF15/BLDG MNT/BLK-38/FEL1140/WH/30/BLK	1	LED	WALL	120	24	AMERLUX BRACKET: WAF15/BLDG MNT/WH/30/BLK
E-2	3	BANNER EXTERIOR	AMERLUX: FL11/HWS/30/BLK	SINGLE ARRAY FLOOD LIGHT	1	LED	WALL	120	31	AMERLUX BRACKET: WAF15/BLDG MNT/WH/30/BLK
F-1	1	SALES FLOOR	TECH LTG: 700TDSOCOP08RB	MINI PENDANT	1	LED	PENDANT	120	3	
F-2	8	SALES FLOOR	MINIKA: 2260-84	MINI PENDANT	1	LED	PENDANT	120	3	
G-2	3	EXTERIOR WALL PACK	LIGHTALARMS: CANIL-SD-DB-CW	EXTERIOR EMERGENCY EGRESS FIXTURE	2		WALL	120	12	DARK BRONZE FINISH
T-2	2	MENU BOARD	CONTECH: CTL181V3CDP	VERTICAL INTEGRATED WALL WASH TRACK LIGHT	1	LED	TRACK	120	35	WHITE FINISH
T-3	13	SALES FLOOR	GREEN CREATIVE: 16347	VERTICAL INTEGRATED LED TRACK LIGHT	1	LED	TRACK	120	9	W/WHITE FINISH, 3000K, 30 DEGREE BEAM
T-4	0	SALES FLOOR	CONTECH: LG7003DGD-E26-22K	VERTICAL INTEGRATED TRACK LIGHT	1	LED	TRACK	120	10	BLACK FINISH
WTR-X	34'-0"	SALES FLOOR	CONTECH: L18P, L16P, L14P, L12P	SINGLE CIRCUIT LINE VOLTAGE TRACK	N/A	N/A	N/A	N/A	N/A	WHITE FINISH
BTR-X	0	SALES FLOOR	CONTECH: L18B, L16B, L14B, L12B	SINGLE CIRCUIT LINE VOLTAGE TRACK	N/A	N/A	N/A	N/A	N/A	BLACK FINISH
M-2	0	EXTERIOR WALL	PROGRESS: P5675-31	UP/DOWN WALL SCONCE	2	LED	EXTERIOR WALL	120	28	TOP COVER: PROGRESS: P8790-31

NOTES:
1. CONTRACTOR SHALL VERIFY ALL QUANTITIES OF LIGHT FIXTURES. NOT ALL FIXTURE TYPES MAY BE USED.
2. RECESSED FIXTURES INSTALLED IN AN INSULATED CEILING SHALL BE I.C. RATED.

FIXTURES PROVIDED BY DISTRIBUTOR / LIGHTING SUPPLIER : INSTALLED BY G.C.										
LIGHTING SCHEDULE										
TYPE	QTY.	LOCATION	MANUFACTURER / CATALOG NUMBER	DESCRIPTION	LAMP #	LAMP TYPE	MOUNTING TYPE	VOLT	WATT	REMARKS
M-3	3	EXTERIOR WALL	RAB: WPLED20Y	EXTERIOR WALL PACK	1	LED	EXTERIOR WALL	120	20	BRONZE FINISH
D1 CA	0	SALES FLOOR	EJTE: RL628960L-DNTR-120-30K-901-WH30046A	RECESSED LED DOWNLIGHT	1	LED	SEE PLAN	120	15	TITLE 24 SALES FLOOR DOWNLIGHT
L-1	21	SALES FLOOR	MOBERN: FP24LED050DMWH35	2X4 LED EDGETL FLAT	1	LED	RECESSED TROFFER	120	50	
L-2	0	RESTROOM	MOBERN: FP22LED035DMWH35	2X2 LED EDGETL FLAT PANEL	1	LED	RECESSED TROFFER	120	40	
L-3	0	RESTROOM	MOBERN: FP24LED050DMWH35	2X4 LED EDGETL FLAT EM PANEL	1	LED	RECESSED TROFFER	120	37	
L-1EM	0	SALES FLOOR	MOBERN: FP24LED050DMWH35EM	2X4 LED EDGETL FLAT EM PANEL	1	LED	TROFFER	120	50	WITH EM BALLAST
L-2EM	0	SALES FLOOR	MOBERN: FP22LED035DMWH35EM	2X2 LED EDGETL FLAT EM PANEL	1	LED	RECESSED TROFFER	120	40	WITH EM BALLAST
X-1	0		LIGHTALARMS: UOLXN500R-SQ	EXIT SIGN WITH 2-HEAD EM LIGHT	-	LED	SEE PLAN	120	3	UNIVERSAL MOUNT W/ WHITE FINISH RED LETTERS
X-2	3		LIGHTALARMS: UOLXN500R-N	EXIT SIGN	-	LED	SEE PLAN	120	3	UNIVERSAL MOUNT W/ WHITE FINISH RED LETTERS
X-3	6		LIGHTALARMS: LCA-25C2	2-HEADED EM LIGHT	-	LED	SEE PLAN	120	3	WHITE FINISH
A	2	SITE LIGHT	LSI INDUSTRIES: SLM-LED-24L-SIL-FT-40-70CRI	LED AREA LIGHTS FORWARD THROW, BRONZE FINISH	1	LED	POLE	120	374	BRONZE FINISH
B	2	SITE LIGHT	LSI INDUSTRIES: SLM-LED-24L-SIL-5W-40-70CRI	LED AREA LIGHTS FORWARD THROW, BRONZE FINISH	1	LED	POLE	120	561	BRONZE FINISH
C	0	SITE POLE	LSI INDUSTRIES: MRM-LED-42L-SIL-5W-UNVDM-40-70CR-BRZ	LED AREA LIGHTS FORWARD THROW, BRONZE FINISH	1	LED	POLE	120	390	BRONZE FINISH
SP1	0	SITE POLE	LSI INDUSTRIES: 45QB3-311G-25-S-BRZ-LAB	SEE CIVIL DRAWINGS FOR INFORMATION	-	-	POLE 25'-0"	-	-	SEE CIVIL DRAWINGS FOR INFORMATION

- LIGHT FIXTURES SHALL BE PROVIDED WITH ELECTRONIC BALLASTS. COMPACT FLUORESCENT ELECTRONIC BALLASTS SHALL HAVE END-OF-LIFE PROTECTION CIRCUIT TO PREVENT WELDING OF LAMPS IN SOCKETS OR LAMP BREAKAGE. SEE SPECIFICATIONS.
- PROVIDE ARROWS AND FACES AS INDICATED ON THE DRAWINGS.
- ELECTRICAL CONTRACTOR SHALL VERIFY ALL FIXTURE LOCATIONS WITH ARCHITECTURAL ELEVATIONS.
- ELECTRICAL CONTRACTOR SHALL INSTALL ALL CEILING MOUNTED LIGHTING FIXTURES IN LOCATIONS AS INDICATED ON THE ARCHITECTURAL REFLECTED CEILING PLAN.
- ALL PENDANT FIXTURES ARE PROVIDED WITH FACTORY INSTALLED 1/2" CORD AND STRAIN RELIEF FITTINGS. CONNECTION AND CUTTING OF CORD FOR PENDANT FIXTURE MOUNTING SHALL BE ONLY AT UPPER CANOPY.
- LIGHTING FIXTURE CONTACT: SEE SHEET "NATIONAL ACCOUNT"
- CONFIRM LIGHTING FIXTURE QUANTITIES WITH SUPPLIER.
- ALL CONDUITS ENTERING OR LEAVING COOLER SHALL BE PROVIDED WITH EYS SEAL-OFF FITTING WITH COMPOUND PER NEC 300-7(B).
- SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR FINISH OF TRIM RING.
- CONTRACTOR PRIOR TO ORDER/ID, COORDINATE WITH LIGHTING ACCOUNT FOR SPECIFIC MOUNTING HARDWARE FOR THE CEILING TYPE WHERE FIXTURES ARE TO BE INSTALLED.
- CLEAN CEILING TILES AND EXISTING GRID TO "LIKE NEW" CONDITION.

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CONTRACTOR SHALL USE EXISTING SPARE/SPACE OR REUSE EXISTING BRANCH CIRCUITS LOCATED IN EXISTING PANELS (U.N.O.) FOR LIGHTING, POWER AND SIGN REMODEL. NEW/REUSED BRANCH CIRCUIT(S) SHALL MATCH THE MANUFACTURER'S PUBLISHED ELECTRICAL CHARACTERISTICS OF PROPOSED EQUIPMENT, AS WELL AS MATCHING THE CHARACTERISTICS OF SOURCE PANEL. WHERE APPLICABLE, CONTRACTOR SHALL PROVIDE ADDITIONAL ELECTRICAL DEVICES NECESSARY FOR COMPLIANCE (E.G. SHUNT-TRIP, OVERRIDE, ADDITIONAL CONTROL, ETC.). REPLACE BRANCH CIRCUIT(S) IF CHARACTERISTICS DO NOT MATCH PROPOSED REPLACEMENT EQUIPMENT. REUSED AND/OR EXISTING BRANCH CIRCUIT SUPPLYING MULTIPLE OUTLETS SHALL BE VERIFIED FOR INTEGRITY AND CAPACITY OF ALL EQUIPMENT INSTALLED ON THAT CIRCUIT. ALL EXISTING/NEW BRANCH CIRCUITS BEING UTILIZED FOR THIS BUILDING RENOVATION SHALL BE FIELD-VERIFIED FOR INTEGRITY, CAPACITY (80% OF RATED BREAKER) AND SHALL MEET CURRENTLY ADOPTED NATIONAL ELECTRICAL CODE COMPLIANCE AS WELL AS ADDITIONAL REQUIREMENTS CONTAINED IN THESE DOCUMENTS. ALL PROPOSED LIGHTING SHALL BE ROUTED THROUGH EITHER AN EXISTING LIGHTING CONTROL SYSTEM OR (IF NONE OR NON-COMPLIANT) A NEW LIGHTING CONTROL SYSTEM THAT SHALL MEET THE ENERGY REQUIREMENTS FOR THE MUNICIPALITY IN WHICH IT IS TO BE INSTALLED AND PROVIDE ADDITIONAL ELECTRICAL DEVICES NECESSARY FOR COMPLIANCE (E.G. LOCAL (UNNUCIATED) OR ADDITIONAL CONTROL, OVERRIDES, MOTION SENSORS, ETC.). SEE DEMOLITION DRAWINGS FOR REMOVED EQUIPMENT. ALL NEW CONDUCTORS SHALL BE IN CONDUIT AND CONCEALED IN WALLS OR ABOVE CEILINGS AS MUCH AS POSSIBLE.

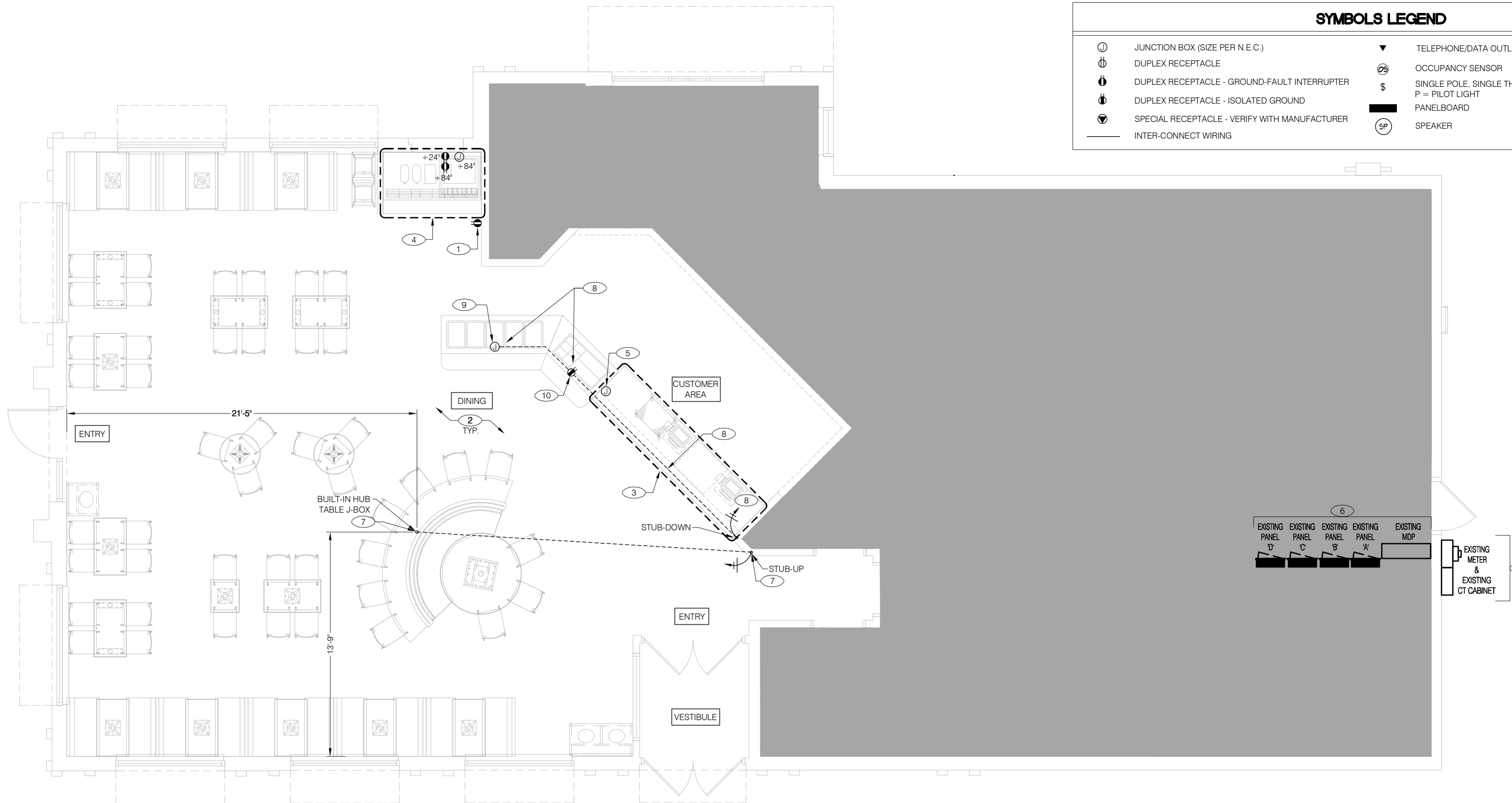
ADDED EQUIPMENT			
DESCRIPTION	LOAD TYPE	CONNECTED VA	*DEMAND VA
DINING ROOM EOP	REC	540	540
KITCHEN EOP	KTCH	6600	4290
INTERIOR LIGHTING	LGHT	1322	1653
EXTERIOR LIGHTING	LGHT	537	671
EXTERIOR SIGNAGE	LGHT	2400	3000
TOTAL LOAD ADDED		11399	11154

REMOVED EQUIPMENT			
DESCRIPTION	LOAD TYPE	CONNECTED VA	
KITCHEN EOP	KTCH	6600	
INTERIOR LIGHTING	LGHT	2508	
EXTERIOR NEON	LGHT	1200	
EXTERIOR SIGNAGE	LGHT	2400	
EXTERIOR LIGHTING	LGHT	825	
TOTAL LOAD REMOVED		13533	

DEMAND LOAD KEY LEGEND		
LOAD DESCRIPTION	APPLICABLE FACTOR	
LGHT LIGHTING	125%	
KTCH KITCHEN EQUIPMENT	65%	
HVAC HVAC	100%	
REC RECEPTACLE	100%	
MISC MISCELLANEOUS	100%	

LOAD CALCULATIONS

E



SYMBOLS LEGEND

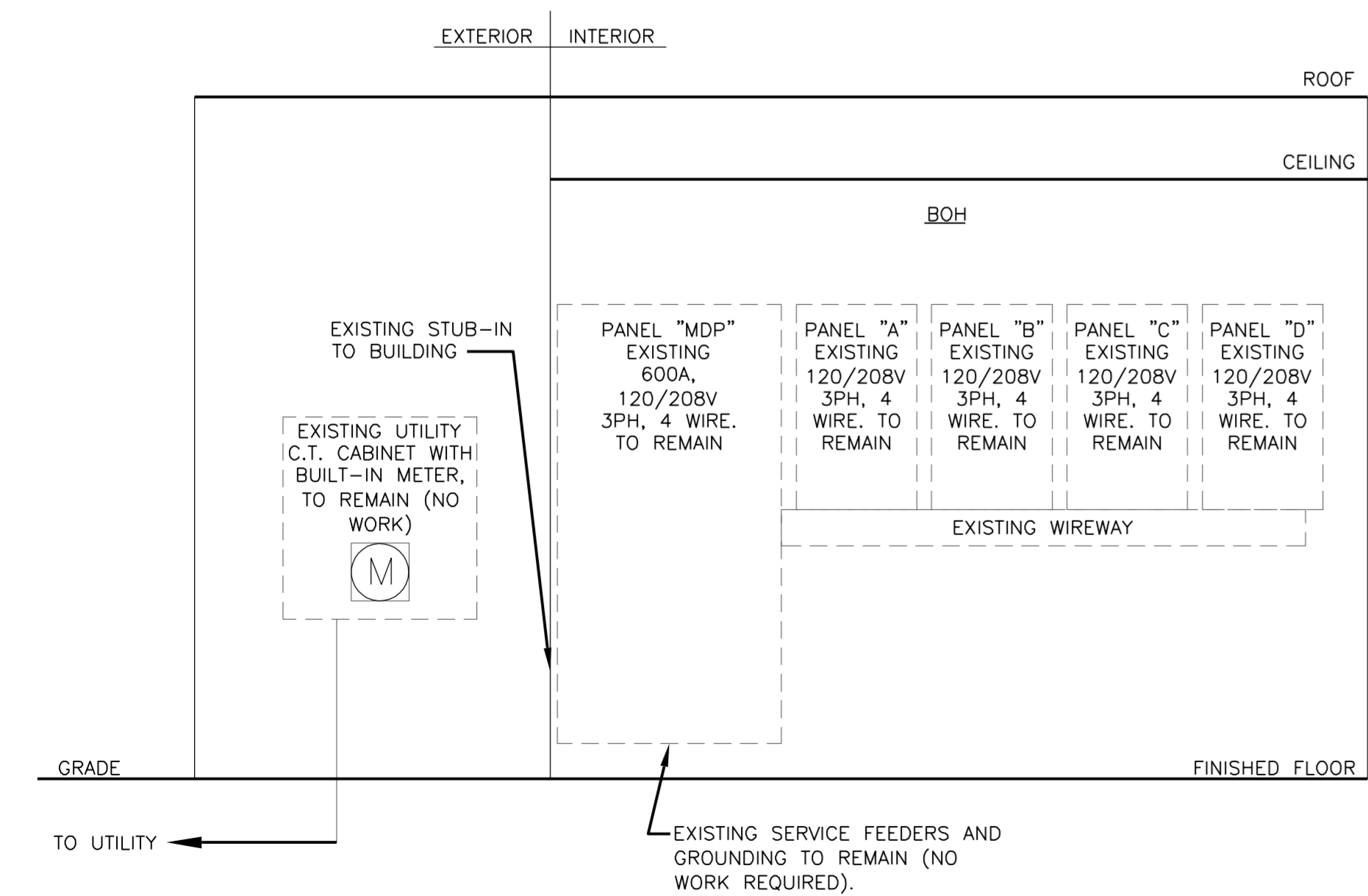
- ⊕ JUNCTION BOX (SIZE PER N.E.C.)
- ⊕ DUPLEX RECEPTACLE
- ⊕ DUPLEX RECEPTACLE - GROUND-FAULT INTERRUPTER
- ⊕ DUPLEX RECEPTACLE - ISOLATED GROUND
- ⊕ SPECIAL RECEPTACLE - VERIFY WITH MANUFACTURER
- INTER-CONNECT WIRING
- ▽ TELEPHONE/DATA OUTLET
- ⊕ OCCUPANCY SENSOR
- ⊕ SINGLE POLE, SINGLE THROW, 20A/120V LIGHT SWITCH.
- P = PILOT LIGHT
- PANELBOARD
- ⊕ SPEAKER

LOAD CALCULATIONS

E

POWER PLAN 1/4"=1'-0"

A



ONE-LINE DIAGRAM

D

- A. HORIZONTAL DIMENSIONS TO J-BOXES ARE FROM FACE OF STUD TO CENTER OF BOX, U.O.N. VERTICAL DIMENSIONS TO J-BOXES ARE FROM FIN. FLOOR TO CENTER OF BOX, U.O.N.
- B. ALL CONDUIT DROPS ARE INSIDE WALLS U.O.N. SEE ARCH. DWGS FOR WALL DIMS.
- C. ALL J-BOX CIRCUITS, CONDUITS, FIXTURES, ETC. SHALL BE AS INDICATED ON THE ELECT. DWGS AND SPECS.
- D. CONTRACTOR TO VERIFY UNDERGROUND CONDUIT LOCATIONS PRIOR TO POURING SLAB.
- E. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THIS DATA ON THE LOCATION OF ELECT. ROUGH-INS WITH INFO PROVIDED ON THE ARCH. AND STRUCT. DWGS AND THE EQUIPMENT ACTUALLY SUPPLIED, AND TO CONFIRM THE CORRECTNESS OF ANY DIMENSIONS HEREIN.
- F. LOCATIONS OF ALL OUTLETS MAY BE RELOCATED TO NEAREST STUD. DO NOT CUT INTO STUDS.
- G. FOR EXACT LOCATIONS OF KITCHEN & MECHANICAL EQUIPMENT AND POINTS OF CONNECTION, REFER TO KITCHEN & MECHANICAL EQUIPMENT DRAWINGS AND MANUFACTURER'S SHOP DRAWINGS.
- H. ALL CIRCUIT FEEDERS AND DISCONNECTS SHALL BE SIZED BY NEC.
- I. CONTRACTOR SHALL VERIFY CIRCUIT BREAKER, DISCONNECT SWITCH, STARTER AND FUSE SIZES WITH SELECTED EQUIPMENT MANUFACTURER'S SHOP DRAWINGS PRIOR TO PLACING ORDER AND PROVIDE EVERYTHING AS REQUIRED.
- J. ELECTRICAL EQUIPMENT ENCLOSURES SHALL BE NEMA-1 FOR INTERIOR AND NEMA 3R FOR EXTERIOR. IN COASTAL REGIONS THE STANDARD FOR OUTSIDE SHALL BE NEMA-4X.
- K. ALL SINGLE-PHASE RECEPTACLES RATED 150V TO GROUND OR LESS, 50A OR LESS, AND THREE-PHASE RECEPTACLES RATED 150V TO GROUND OR LESS, 100A OR LESS IN KITCHEN AREAS SHALL BE GFCI PROTECTED FOR PERSONNEL PER N.E.C. 210.8 AND INSTALLED IN ACCORDANCE WITH N.E.C. 240.24. ALTERNATIVELY, A GFCI CIRCUIT BREAKER CAN BE INSTALLED.
- L. ALL POS EQUIPMENT, INCLUDING DIGITAL MENU BOARDS, SHALL BE PLACED ON ISOLATED GROUND OUTLETS. ALL SECURITY SYSTEM EQUIPMENT SHALL BE PLACED ON DEDICATED ISOLATED GROUND OUTLETS.
- M. DO NOT MEASURE / LOCATE OUTLETS ON DRAWINGS. USE DIMENSIONS PROVIDED.
- N. CONDUIT MAY RUN UNDER SLAB AT G.C.'S DISCRETION.
- O. PROVIDE ESCUTCHEON PLATES AND SEALANT AT ALL UTILITY PENETRATIONS INTO WALLS, CEILINGS, AND FLOORS. DO NOT USE CAULK OR EXPANDING FOAM FOR SEALANT.

POWER PLAN GENERAL NOTES

C

1. CONTRACTOR TO PROVIDE AND INSTALL A SURFACE MOUNTED CO2 METER MODEL RAD-0102 CARBON DIOXIDE DETECTOR WITH REMOTE DISPLAY RAD-0103. SENSOR UNIT TO BE INSTALLED 18" ABOVE FLOOR IN LOCATION SHOWN. INSTALL 1P65 CASE OVER SENSOR UNIT. COORDINATE EXACT REQUIREMENTS WITH MANUFACTURER. PROVIDE WITH RAD-0102-24VDC TRANSFORMER TO PLUG INTO WALL. SET ALARM TO 5000 PPM TO COMPLY WITH 2015 IFC. REUSE NEARBY RECEPTACLE IF APPLICABLE. [R]
2. CONTRACTOR TO FIELD-VERIFY ELECTRICAL OUTLETS IN DINING ROOM FOR A D.A. COMPLIANCE. EXTEND CIRCUITS (OR PROVIDE NEW BRANCH CIRCUIT WIRING) AND RAISE OUTLETS AS NEEDED TO 15" A.F.F. TO BOTTOM OF OUTLET. PROVIDE NEW BLACK, NEMA 5-20R TAMPER RESISTANT (HUBBELL 20 BK OR APPROVED EQUAL) OUTLETS AND COVERPLATES. COVERPLATES SHALL BE BLACK TO MATCH DECOR. [R]
3. CONTRACTOR SHALL COORDINATE WITH P.O.S. TECHNICIAN ON RELOCATION OF ANY UTILITIES FOR WORK ON P.O.S. EQUIPMENT. P.O.S. STATIONS TO BE REINSTALLED BY AN AUTHORIZED TECHNICIAN. REUSE EXISTING CIRCUIT. MOUNT NEW JUNCTION BOX, IN WALL @ +28" A.F.F. FOR POWER AND COMMUNICATIONS AFTER COUNTER IS REWORKED. [R]
4. EXTEND EXISTING DISPENSER CIRCUIT(S). MOUNT RECEPTACLES AT 24" AND 84" A.F.F. FOR DRINK DISPENSER AND (1) JUNCTION BOX AT 84" A.F.F. FOR ICE CUBER. COORDINATE WITH MANUFACTURER AND PROVIDE ALL ELECTRICAL DEVICES. MOUNT ICE MAKER ON SODA DISPENSER. MAKE FINAL CONNECTIONS. [R]
5. REMOTE DISPLAY FOR CO2 METER. SECURELY MOUNT REMOTE SENSOR ON WALL AT 48" A.F.F. REMOTE UNIT MAXIMUM LENGTH FROM SENSOR IS 25'-0". FIELD VERIFY TOTAL LENGTH. IF REMOTE PLACEMENT DESTINATION IS GREATER THAN 25'-0". INSTALL UNIT ON CLOSEST WALL ADJACENT TO UNIT WITHIN PUBLIC & EMPLOYEE VIEW. [R]
6. PROVIDE REQUIRED WORKING SPACE/CLEARANCE FOR ELECTRICAL PANEL PER N.E.C. CONTRACTOR TO CLEARLY IDENTIFY/INDICATE NOT LESS THAN 30"WX36"D CLEARANCE AREA/ WORKING SPACE (PER IFC 605.3). IF EQUIPMENT IS LARGER THAN 30" WIDE, WORKING SPACE/CLEARANCE SHALL NOT BE LESS THAN EQUIPMENT WIDTH. [R]
7. CONTRACTOR TO ROUTE 2#12, 1#12G IN 1/2" FLEXIBLE CONDUIT FROM OUTLET JUNCTION BOX (BUILT INTO WORKBENCH TABLE), DOWN HOLLOW LEG OF TABLE AND INTO FLOOR. ROUTE CONDUIT UNDER SLAB/IN FLOOR TO STUB-UP LOCATION IN WALL AS SHOWN. EXTEND CONDUIT IN WALL, UP INTO CEILING, AND OVER TO PANEL. PROVIDE NEW 20A/1P CIRCUIT BREAKER IN BREAKER SPACE IN EXISTING PANEL. CONTRACTOR TO X-RAY SLAB TO VERIFY UNDER FLOOR UTILITIES PRIOR TO START OF WORK. CONTRACTOR TO FIELD VERIFY EXACT LOCATION OF TABLE STUB-UP, IN FIELD. MAKE ALL FINAL CONNECTIONS TO OUTLETS AT TOP OF WORKBENCH TABLE. [R]
8. NEW COLDWELL & HOTWELL BUFFET DROP-IN TO REPLACE EXISTING BUFFET DROP-IN EXISTING LOCATION. EXISTING COLD BUFFET DROP-IN IS FEED FROM A 1" POLE, 20A BRANCH BREAKER (COLDWELL) & 2 POLE, 20A BRANCH BREAKER (HOTWELL) IN EXISTING PANEL 'A'. CONTRACTOR TO REUSE EXISTING BRANCH SPACES. NEW BRANCH CONDUIT RUNS FROM SOURCE TO ABOVE CEILING, ABOVE COUNTER AND DOWN INTO NEAREST SERVICE COUNTER WALL, EXTEND INTO MILLWORK OF NEW COUNTER TO ATTACHED BUFFET. [R]
9. CONTRACTOR TO EXTEND NEW BRANCH CONDUCTORS, 3#8, 1#10G IN 3/4" C, TO NEW HOTWELL BUFFET DROP-IN UNIT. CONTRACTOR TO CONNECT NEW DISCONNECT SWITCH FOR HOTWELL TO NEW CONDUCTORS. SEE MANUFACTURER'S SPECIFICATIONS FOR MORE INFORMATION. (HOTWELL LOAD = 6,000 WATTS, 208V/1-PHASE) [R]
10. CONTRACTOR TO EXTEND NEW BRANCH CONDUCTORS, 2#12, 1#12G IN 3/4" C, TO NEW COLDWELL BUFFET DROP-IN UNIT. CONTRACTOR TO CONNECT NEW 5-20P OUTLET FOR COLDWELL TO NEW CONDUCTORS. SEE MANUFACTURER'S SPECIFICATIONS FOR MORE INFORMATION. (COLDWELL LOAD = 600 WATTS, 120V/1-PHASE) [R]

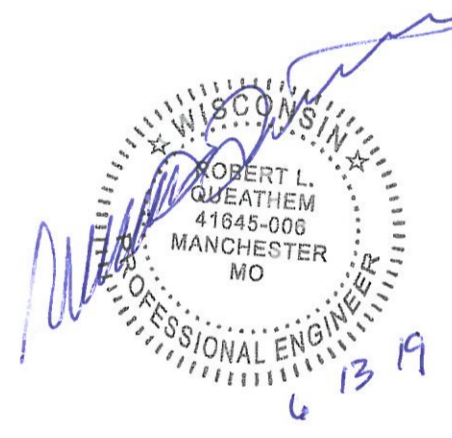
KEY NOTES

B



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TEMPLATE VERSION:
AMERICAN SHOWMAN
VER-1 DEC 2016

REVISION:	Mark	Date	By
1	△		
2	△		
3	△		
4	△		
5	△		

PROJECT TITLE
CD TEMPLATE
"K-38 SERIES 6000 TO AMERICAN SHOWMAN"
2090 GREEN BAY RD
RACINE, WI 53406

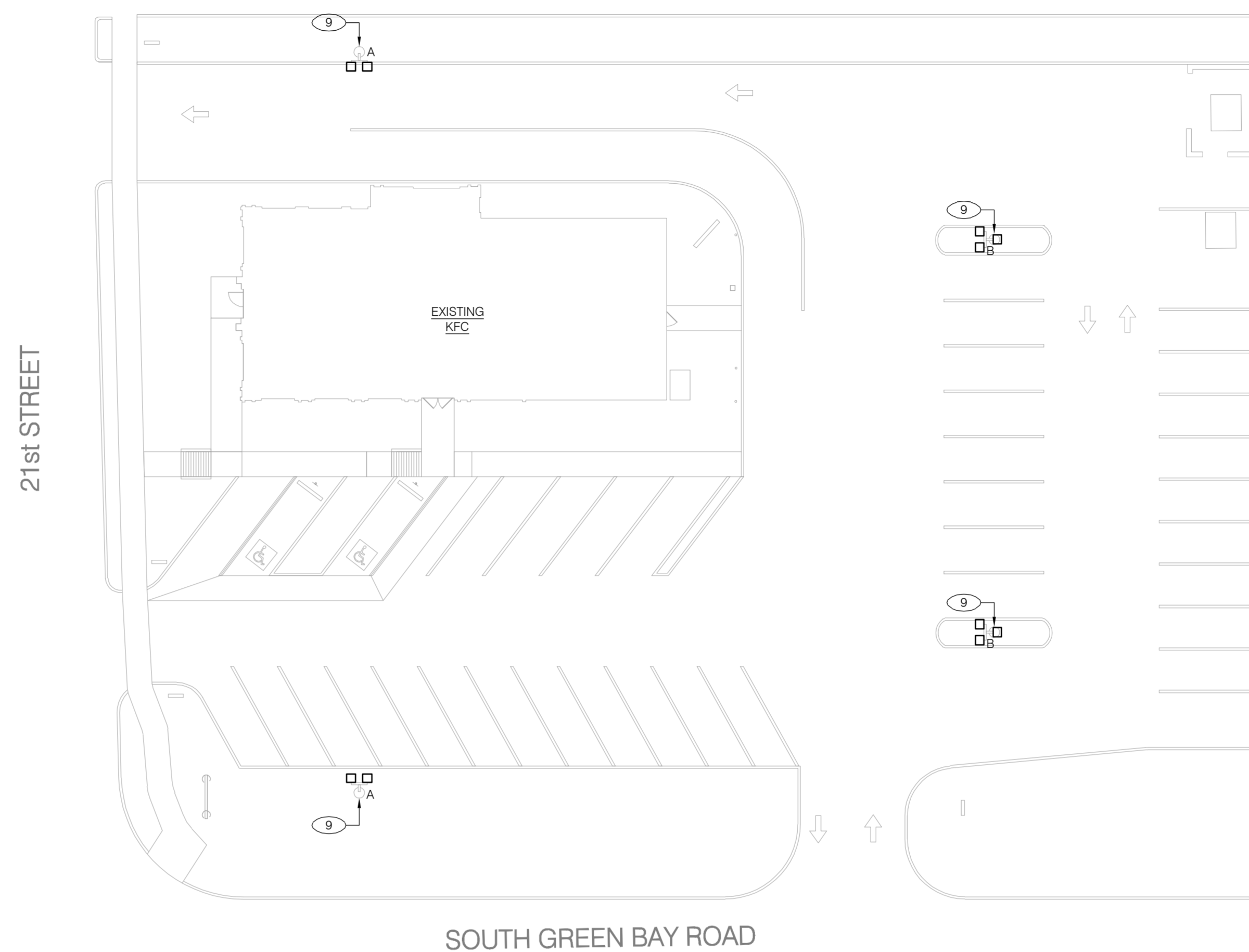
STORE NO. K071228
ISSUE DATE 05.31.19
ARCV NUMBER 190040
SHEET TITLE

POWER FLOOR PLAN

SHEET NO.
E-2.0

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NOT USED N.T.S. **B**

1. THE ELECTRICAL CONTRACTOR SHALL BE OBLIGATED TO VISIT THE JOB SITE PRIOR TO SUBMITTING HIS BID TO INSURE THAT THE EXISTING SERVICE EQUIPMENT (METER, MAIN DISCONNECT SWITCH, PANELBOARDS, ETC.), ARE CORRECT AND COMPLIANT TO THE ADOPTED VERSION OF THE N.E.C. AND LOCAL GOVERNING CODES. THE CONTRACTOR'S INSPECTIONS SHALL INCLUDE STRUCTURAL MOUNTING OF EQUIPMENT, GROUNDING AND WEATHER-PROOFING, ETC.. THE CONTRACTOR WILL NOT BE PAID COMPENSATION FOR HIS FAILURE TO VISIT THE JOB SITE.
2. NEW LED LIGHT FIXTURE(S) ON EXISTING POLE AND BASE TO REPLACE EXISTING HID FIXTURES. SEE SHEET E1.0, "LIGHTING FIXTURE SCHEDULE" FOR LUMINAIRE TYPE. FIXTURE SHALL BE WIRED FOR OPERATION ON EXISTING VOLTAGE. MATCH AND EXTEND EXISTING WIRING AND TERMINATE AT NEW FIXTURE HEAD. PROVIDE NEW BRANCH CIRCUIT IF WATTAGE EXCEEDS 2,912 VA ON A 208-VOLT (OR 1,600 VA ON A 120-VOLT) ON A 20-AMP CIRCUIT. LIGHTING CONTROL SYSTEM SHALL COMPLY WITH THE LATEST MUNICIPALITIES ADOPTED VERSION OF THE ENERGY CONSERVATION CODE. COORDINATE WITH LIGHTING VENDOR TO SUPPLY TENON ARM MOUNTING SYSTEM CONFIGURED FOR THE APPROPRIATE NUMBER OF FIXTURES TO BE MOUNTED ON THE POLE. SEE PLANS FOR FIXTURE CONFIGURATION.
3. ALL ELECTRICAL WORK SHALL COMPLY WITH THE LATEST MUNICIPALITIES ADOPTED EDITION OF THE N.E.C. AND LOCAL CODES.
4. IF DRAWINGS ARE INCORRECT FROM ACTUAL SITE CONDITIONS, ELECTRICAL CONTRACTOR SHALL NOTIFY ENGINEER(S) AND PROVIDE INFORMATION REFLECTING ACTUAL CONDITIONS.
5. AN ENERGY MANAGEMENT CONTROL SYSTEM CALLED 'E MAX ENERGY SAVER' MAY HAVE BEEN INSTALLED AT THIS STORE. THIS ENERGY MANAGEMENT SYSTEM IS INTENDED TO CONTROL THE LIGHTING IN THE DINING ROOM, AMONG OTHER THINGS. THE GENERAL CONTRACTOR AND THE ELECTRICAL SUB-CONTRACTOR SHALL VERIFY THE EXISTENCE OF THE EMAX SYSTEM, AND ALL EXISTING FIXTURES, AND ALL NEW FIXTURES SHALL BE WIRED TO THE APPROPRIATE INTEGRATED CONTACTOR GROUP WITHIN THE EMAX ENERGY SAVER PANEL AS PART OF THIS WORK.
6. COORDINATE FINAL DESIGN WITH SITE PLAN 'C-SHEETS'.

GENERAL NOTES N.T.S. **D**

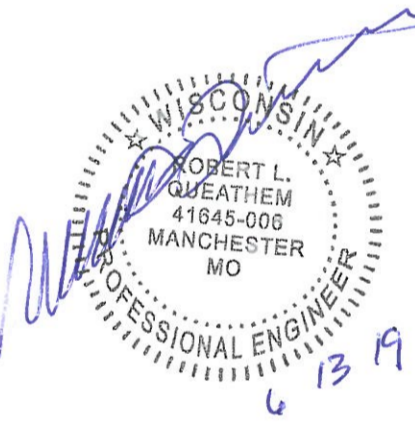
(X) SHEET KEYED NOTES N.T.S. **C**

ELECTRICAL SITE PLAN 1" = 20'-0" **A**



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 1950 CRAIG ROAD, SUITE 300 ST. LOUIS, MO 63146
 PH. (314) 415-2400 FAX (314) 415-2300 www.arcv.com



TEMPLATE VERSION:
 AMERICAN SHOWMAN
 VER-1 DEC 2016

REVISION:	Mark	Date	By
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PROJECT TITLE
CD TEMPLATE
"K-38 SERIES 6000 TO
AMERICAN SHOWMAN"
 2090 GREEN BAY RD
 RACINE, WI 53406

STORE NO. **K071228**
 ISSUE DATE **05.31.19**
 ARCV NUMBER **190040**

SHEET TITLE
SITE PLAN

SHEET NO.
E-3.0