

**AGREEMENT FOR THE INSPECTION AND MAINTENANCE OF
STORMWATER MANAGEMENT PRACTICES**

RECITALS:

- A. Gold Medal Lofts, LLC (“1701 Owner”) is the owner of the property located at 1701 Packard Avenue, Racine, Wisconsin (the “1701 Property”), more particularly described on Exhibit A attached hereto.
- B. 1700 Packard Avenue, LLC (“1700 Owner”) is the owner of the property Located at 1700 Packard Avenue, Racine, Wisconsin (“1700 Property”, together with the 1701 Property, the “Property”) as more particularly described on Exhibit A attached hereto.
- C. 1701 Owner desires to construct stormwater management practices on the 1701 Property and the 1700 Property in accordance with certain plans and specifications approved by the City of Racine (the “City”).
- D. The City requires the 1701 Owner and 1700 Owner to record this Agreement for the Inspection and Maintenance of Stormwater Management Practices (this “Agreement”) regarding maintenance of certain stormwater management practices (“Stormwater Management Practices”) to be located on the 1701 Property and the 1700 Property, all as more particularly described on Exhibit A. 1701 Owner and 1700 Owner agree to maintain the Stormwater Management Practices and to grant to the City the rights set forth below.

This space reserved for recording data

Return to:

City of Racine
730 Washington Avenue, Room 304
Racine, WI 53403
Attn: City Engineer

PIN#: 276000014517000, 276000014688000

NOW, THEREFORE, in consideration of the Agreements herein and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the 1701 Owner and 1700 Owner agree as follows:

- 1. Maintenance. 1701 Owner and 1700 Owner and their successors and assigns shall be responsible to repair and maintain the Stormwater Management Practices located on the Property in good condition and in working order and such that the practices comply with approved plans on file with the City. Said maintenance shall be solely at the 1701 Owner and 1700 Owner’s cost and expense. 1701 Owner and 1700 Owner will conduct such maintenance or repair work in accordance with all applicable laws, codes, regulations, and similar requirements. *Any specific maintenance tasks and their schedules shall be conducted in accordance with Exhibit A.*
- 2. Easement to City. If 1701 Owner and 1700 Owner fail to maintain the Stormwater Management Practices as required in Section 1, then the City shall have the right, after providing 1701 Owner and 1700 Owner with written notice of the maintenance issue (each, a “Maintenance Notice”) and thirty (30) days to comply with the City’s Maintenance Notice, to enter that portion of 1701 Property and 1700 Property, as described in Exhibit B attached hereto (“Easement Area”) in order to conduct the maintenance specified in the Maintenance Notice. The City will conduct such maintenance work in accordance with all applicable laws, codes, regulations, and similar requirements and will not unreasonably interfere with 1701 Owner and 1700 Owner’s use of their respective properties. All costs and expenses incurred by the City in conducting such maintenance may be charged to 1701 Owner and 1700 Owner by placing the amount on the tax roll for the 1701 Property and 1700 Property as a special assessment in accordance with Section 66.0703, Wis. Stats.
- 3. Term/Termination. The term of this Agreement shall commence on the date that this Agreement is filed of record with the Register of Deeds Office for Racine County, Wisconsin, and except as otherwise herein specifically provided, shall continue in perpetuity. Notwithstanding the foregoing, this Agreement may be terminated by recording with the Register of Deeds Office for Racine County, Wisconsin, a written instrument of termination signed by the City and all of the then-owners of the Property.
- 4. Miscellaneous.
 - (a) Notices. Any notice, request or demand required or permitted under this Agreement shall be in writing and shall be deemed given when personally served or three (3) days after the same has been deposited with the United States Post Office, registered or certified mail, return receipt requested, postage prepaid and addressed as follows:

If to 1701 Owner: Gold Medal Lofts, LLC
225 E. Michigan Street, #300
Milwaukee, WI 53202
Attn: Joshua Jeffers

With copy to:

U.S. Bancorp Community Development
Corporation
1307 Washington Avenue, Suite 300
Mail Code: SL MO RMCD
St. Louis, MO 63103
USB Project No: 26064
Attn: Project Manager

If to 1700 Owner: 1700 Packard Avenue, LLC
225 E. Michigan Street, #300
Milwaukee, WI 53202
Attn: Joshua Jeffers

If to the City: City of Racine
730 Washington Avenue, Room 304
Racine, WI 53403
Attn: City Engineer

Any party may change its address for the receipt of notice by written notice to the other.

- (b) Governing Law. This Agreement shall be governed and construed in accordance with the laws of the State of Wisconsin.
- (c) Amendments or Further Agreements to be in Writing. This Agreement may not be modified in whole or in part unless such agreement is in writing and signed by all parties bound hereby.
- (d) Covenants Running with the Land. All of the easements, restrictions, covenants, and agreements set forth in this Agreement are intended to be and shall be construed as covenants running with the land, binding upon, inuring to the benefit of, and enforceable by the parties hereto and their respective successors and assigns.
- (e) Partial Invalidity. If any provisions, or portions thereof, of this Agreement or the application thereof to any person or circumstance shall, to any extent, be invalid or unenforceable, the remainder of this Agreement, or the application of such provision, or portion thereof, to any other persons or circumstances shall be affected thereby and each provision of this Agreement shall be valid and enforceable to the fullest extent permitted by law.

(SIGNATURE PAGES FOLLOW)

IN WITNESS WHEREOF, the undersigned has caused this Agreement to be duly executed and delivered on the date first set forth above.

ATTENTION OWNER(S): THE CITY OF RACINE REPRESENTATIVES MUST REVIEW THIS DOCUMENT IN ITS ENTIRETY, AND THEN SIGN IT BEFORE A NOTARY. DO NOT RECORD THIS DOCUMENT UNTIL IT HAS BEEN APPROVED BY CITY OF RACINE REPRESENTATIVES. USE BLACK INK ONLY.

X _____
Signature – City of Racine Representative(s)

State of **WI**, County of _____; Subscribed
and sworn before me on _____
by the above-named person(s).

Print or Type Name and Title

NOTARY PUBLIC

Print or Type Name

My Commission Expires

IN WITNESS WHEREOF, the undersigned has caused this Agreement to be duly executed and delivered on the date first set forth above.

GOLD MEDAL LOFTS, LLC

By: Gold Medal Holdings, LLC, its Managing Member

By: Jeffers MM Gold Medal, LLC, its Managing Member

By: J. Jeffers & Co., LLC, its Manager

By: _____
Joshua J. Jeffers, President

ACKNOWLEDGMENT

STATE OF WISCONSIN)
) SS.
COUNTY OF MILWAUKEE)

Personally, came before me this ____ day of _____, 2019, Joshua J. Jeffers, to me known to be the person who executed the above instrument for the purposes therein contained and acknowledged the same.

Signature: _____

Printed: _____

Notary Public

My Commission Expires: _____

IN WITNESS WHEREOF, the undersigned has caused this Agreement to be duly executed and delivered on the date first set forth above.

1700 PACKARD AVENUE, LLC

By: J. Jeffers & Co., LLC, its Manager

By: _____
Joshua J. Jeffers, President

ACKNOWLEDGMENT

STATE OF WISCONSIN)
) SS.
COUNTY OF MILWAUKEE)

Personally, came before me this ____ day of _____, 2019, Joshua J. Jeffers, to me known to be the person who executed the above instrument for the purposes therein contained and acknowledged the same.

Signature: _____

Printed: _____

Notary Public

My Commission Expires: _____

Drafted by: John Rooney
 City Engineer/Asst. Commissioner of Public Works
 City of Racine

EXHIBIT A

Legal Description of Property:

1701 Packard Avenue – Legal Description

Parcel I:

Lots 14, 15, 16 and 17, Block 5, Morey and Packard's Addition to Racine, being part of the East 1/2 of the Southeast 1/4 of Section 17, and part of the East 1/2 of the Northeast 1/4 of Section 20, Township 3 North, Range 23 East, also the West 1/2 of the vacated alley lying adjacent to said lots on the East and that portion of the vacated alley lying adjacent to Lot 17 on the South.

ALSO:

Lots 14 and 16, Block 2, Hamilton's Addition, according to the recorded plat thereof, and that part of Seventeenth Street now vacated lying between Lots 14 and 16, and the East 1/2 of the vacated alley lying adjacent to the above lots. Also, the Northerly 1/2 of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right-of-way lying East of the East line of Packard Avenue and West of the West line of Memorial Drive. Said land being in the City of Racine, County of Racine, State of Wisconsin.

Parcel II: That part of the Northeast 1/4 of Section 20, Township 3 North, Range 23 East described as follows: The East 1/2 of the Northerly 1/2 of the "Abandoned" Chicago, Milwaukee, St. Paul & Pacific Railroad right-of-way; bounded on the West by the West line of Packard Avenue extended and bounded on the East by the East line of Packard Avenue extended. Said land being in the City of Racine, County of Racine and State of Wisconsin.

1700 Packard Avenue – Legal Description

Parcel I: Lots 14 through 18, inclusive, Block 4, Dodge's Addition to Racine, being a Subdivision of part of the West 1/2 of the Southeast 1/4 of Section 17, and the West 1/2 of the Northeast 1/4 of Section 20, Township 3 North, Range 23 East. Also Lots 14 through 17, inclusive, Block 6, Morey and Packard's Addition to Racine, being part of the East 1/2 of the Southeast 1/4 of Section 17, and part of the East 1/2 of the Northeast 1/4 of Section 20, Township 3 North, Range 23 East; together with the vacated alley lying South and West of said Block 6, except the North 20 feet of the West 16 feet of said Alley. Also, together with that portion of the North 1/2 of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right of way described in Deed recorded September 12, 1983 in Volume 1688 of Records, at page 906, as Document No. 1132686 and re-recorded April 25, 1984 in Volume 1711 of Records, at page 641, as Document No. 1145935 abutting thereon. Said land being in the City of Racine, County of Racine, State of Wisconsin.

Parcel II: That part of the Northeast 1/4 of Section 20, Township 3 North, Range 23 East described as follows: The West 1/2 of the Northerly 1/2 of the "Abandoned" Chicago, Milwaukee, St. Paul & Pacific Railroad right-of-way; bounded on the West by the West line of Packard Avenue extended and bounded on the East by the East line of Packard Avenue extended. Said land being in the City of Racine, County of Racine and State of Wisconsin.

Parcel Identification Number (PIN): 276000014517000, 276000014688000

Stormwater Management Practices Included in this Agreement (as shown on Sheets SW2.0, C300, C401 & C402, hereby made a part of Exhibit A):

- All site storm sewer pipes and structures
- Upflo Filtration System proprietary devices for Total Suspended Solids (TSS) Control

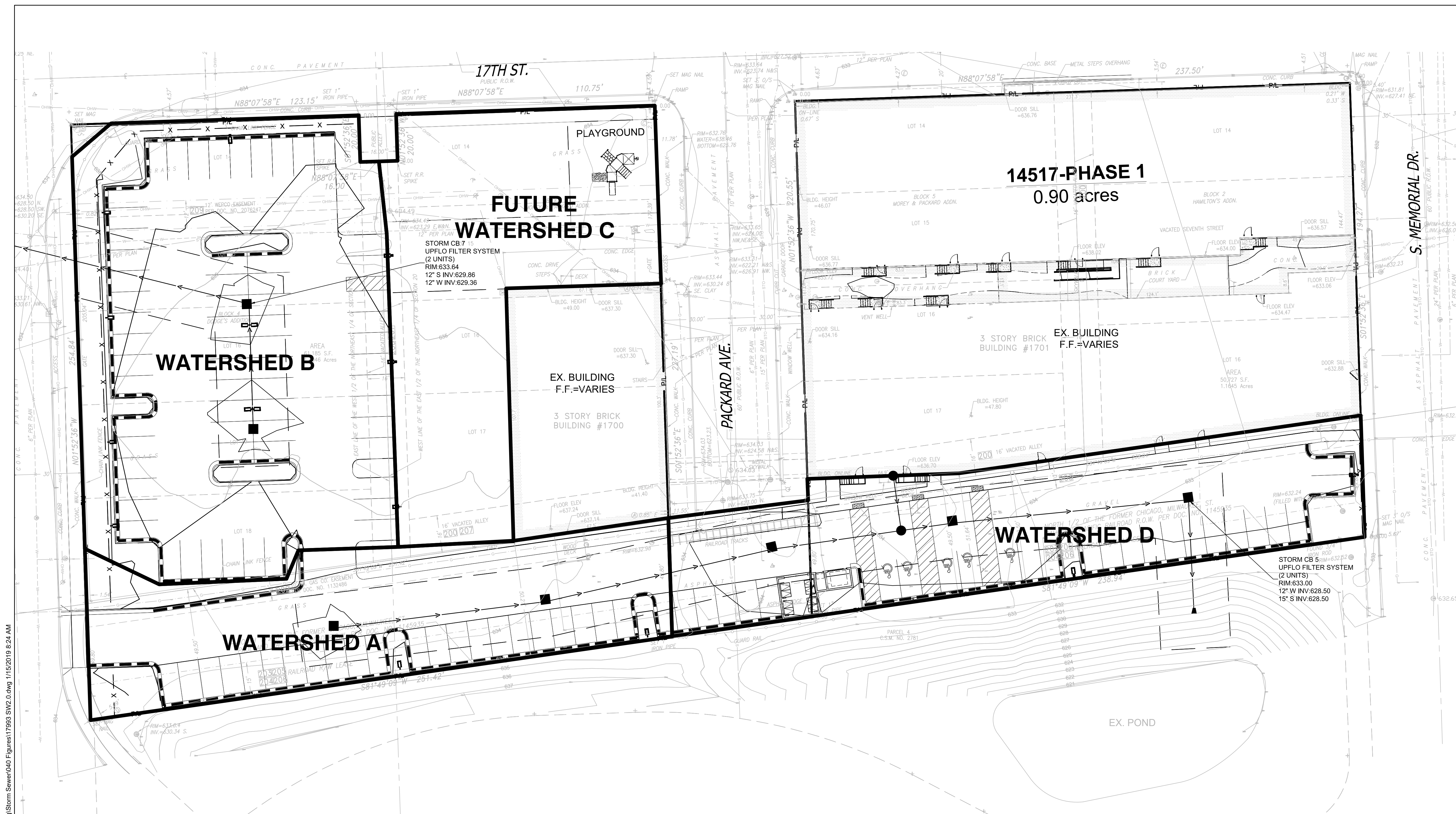
Specific Inspection and Maintenance Requirements:

Short Term Maintenance (during construction and/or restoration):

- The Owner or contractor shall perform inspection of all facilities during construction and until site stabilization.
- Inspections during construction shall be weekly and/or after a rainfall event of 0.5" or more.
- Repairs necessary to restore the facility to design performance will be made within 48 hours of the inspection.
- Deficiencies include, but are not limited to, rill erosion, sediment deposition in the infiltration pond or behind perimeter control, and deposition of sediment on the tracking pad.
- Tracking on the public right-of-way shall be inspected regularly during days that construction traffic is leaving the construction site. Any excessive sediment tracked onto the public right-of-way shall be scraped immediately. Thorough sweeping, with appropriate equipment that physically picks up and removes the sediment (vs. pushing it to other locations within the public right-of-way) shall be conducted at the end of each working day during construction activities.

Long Term Maintenance:

- Inspector qualifications for Long Term Maintenance: Inspectors under this item shall maintain a current Registered Professional Engineer License in the State of Wisconsin or possess an alternate certification approved by the City of Racine's Public Works Department.
 - All stormwater provisions constructed as part of this project are permanent in location and function over time. The constructed stormwater provisions such as wet ponds, dry ponds, infiltration ponds, inlet filters, and storm structures shall not be removed or significantly altered without written permission from the City of Racine's Public Works Department. Owner shall maintain records of inspections and maintenance as described below in accordance with Section 98-410 of the City of Racine Municipal Code of Ordinances. Inspections and maintenance reports shall be submitted to the City of Racine's Public Works Department on an annual basis.
 - Stormwater Management Practices showing signs of soil erosion should be repaired. Stormwater Management Practices or parts of practices with no vegetation shall be restored to good vegetated catch.
1. **Storm structures outfitted with proprietary devices** to capture total suspended solids (TSS) shall be inspected semi-annually in early spring and early fall. Cleaning of TSS and other debris shall be performed anytime the sediment in the unit reaches 8 inches in depth or the volume exceeds 15% of the total storage volume. There should always be a minimum of 8 inches separation between outlet pipe invert and the sediment built up within the sump. Media filter bags shall be replaced at least once a year. The upflo filtration system shall be inspected for outlet pipe clogging/blockage of debris or ice within the basins. Any blockage must be removed immediately. Inspect the structural integrity of the structure/pipe connections. If any structural damage to the inlet/ catch basin structure/ pipe connections is identified the damage shall be repaired. For detailed inspection and maintenance of the upflo filtration system refer to manufactures operation and maintenance manual.



GOLD MEDAL LOFTS
 1701 PACKARD AVENUE
 RACINE, WISCONSIN
STORM WATER MANAGEMENT PLAN
POST-DEVELOPMENT CONDITION

File: I:\Engberg-Anderson\17993 Gold Medal Filas\060 CAD\Civil\100 Modeling\Storm Sewer\040 Figures\17993 SW2.0.dwg 1/15/2019 9:24 AM

SUB-CATCHMENT AREA A			
	SQUARE FEET	ACRE	CN
IMPERVIOUS	10801	0.25	98
PERVIOUS	2677	0.06	74
TOTAL	13478	0.31	WEIGHTED 93 CN
TC = 6.0 MIN.			

SUB-CATCHMENT AREA C			
	SQUARE FEET	ACRE	CN
IMPERVIOUS	9222	0.22	98
PERVIOUS	4970	0.11	74
TOTAL	14192	0.33	WEIGHTED 90 CN
TC = 6.0 MIN.			

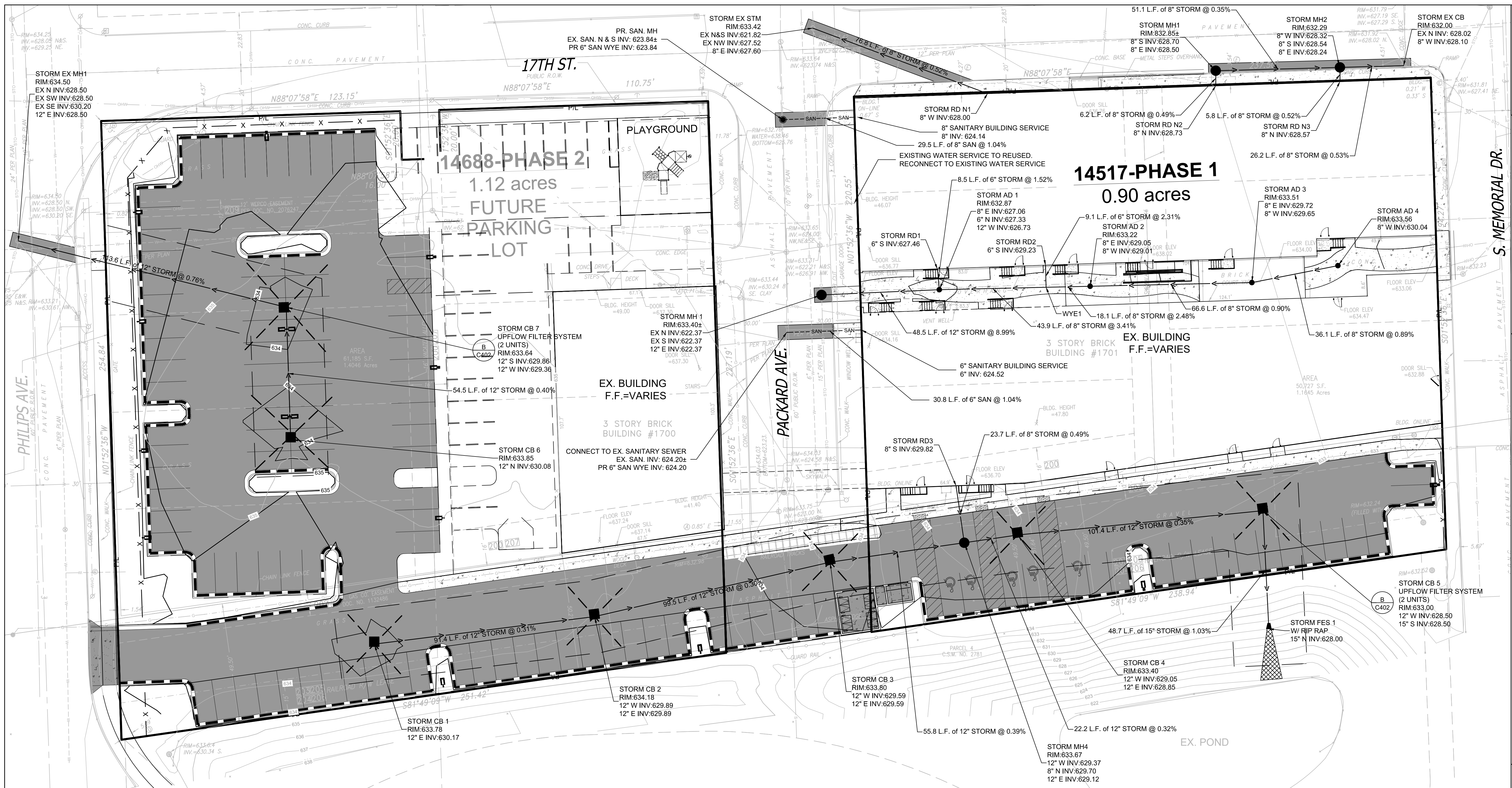
SUB-CATCHMENT AREA B			
	SQUARE FEET	ACRE	CN
IMPERVIOUS	20438	0.47	98
PERVIOUS	4785	0.11	74
TOTAL	25223	0.58	WEIGHTED 93 CN
TC = 6.0 MIN.			

SUB-CATCHMENT AREA D			
	SQUARE FEET	ACRE	CN
IMPERVIOUS	13690	0.30	98
PERVIOUS	1892	0.04	74
TOTAL	15582	0.35	WEIGHTED 95 CN
TC = 6.0 MIN.			



**BASED ON PRE-DEVELOPMENT CONDITIONS ARE
 BASED ON HISTORICAL DATA FROM 2005.**

NO. REVISION	DATE BY
DRAWING NO.	17993 SW2.0.dwg
DRAWN BY:	SDP
DATE:	9/28/16
PROJECT NO.:	17993
CHECKED BY:	TPM
APPROVED BY:	
SHEET NO.:	SW 2.0



GOLD MEDAL FLATS
 1701 PACKARD AVENUE
 RACINE, WISCONSIN 53403

UTILITY PLAN



- LEGEND:**
- W --- PROPOSED WATER SERVICE
 - SAN --- PROPOSED SANITARY SERVICE
 - S --- PROPOSED STORM SEWER
 - D --- PROPOSED DRAIN TILE
 - PROPOSED STORM INLET (F C401)
 - ▨ RIP RAP (D C400)
 - PROPOSED STORM MANHOLE (A C402)
 - PROPOSED AREA DRAIN (G C401)

GENERAL NOTES:

1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. ALL UTILITIES WITHIN 5 FEET OF PAVED AREAS SHALL REQUIRE GRANULAR BACKFILL. SLURRY BACKFILL IS REQUIRED FOR ALL WORK IN PUBLIC RIGHT OF WAY.
6. PRIVATE STORM INLETS IN PAVEMENT SHALL REQUIRE DRAIN TILE STUBS OF 10 FEET IN TWO DIRECTIONS FOR SUBDRAINAGE. RIM GRADE FOR STORM INLETS IN CURB AND GUTTER ARE FLOW LINE GRADES.
7. WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW MATERIAL AND INSTALLATION REQUIREMENTS PER MUNICIPAL AND/OR COUNTY.
8. PRIVATE STORM SEWER 12-INCH DIAMETER OR LARGER SHALL BE HDPE. BELOW 12-INCH DIAMETER SHALL BE PVC SDR-35 ASTM D3034. PRIVATE WATER MAIN SHALL BE CLASS 150 DR 18 PVC CONFORMING TO AWWA C-900. PRIVATE SANITARY SEWER SHALL BE PVC SDR-35 ASTM D3034.
9. COORDINATE FINAL LOCATION AND DESIGN OF PRIVATE UTILITY SERVICES (ELECTRIC, GAS, PHONE, CABLE) WITH UTILITY COMPANIES.
10. IF PROJECT IS DESIGN BUILD MEP, THE GENERAL CONTRACTOR IS REQUIRED TO PROVIDE FINAL SEWER AND WATER DESIGN SHOWING LOCATION, INVERTS AND SIZES TO THE ENGINEER FOR FINAL REVIEW AND VERIFICATION PRIOR TO STARTING UNDERGROUND UTILITY CONSTRUCTION.

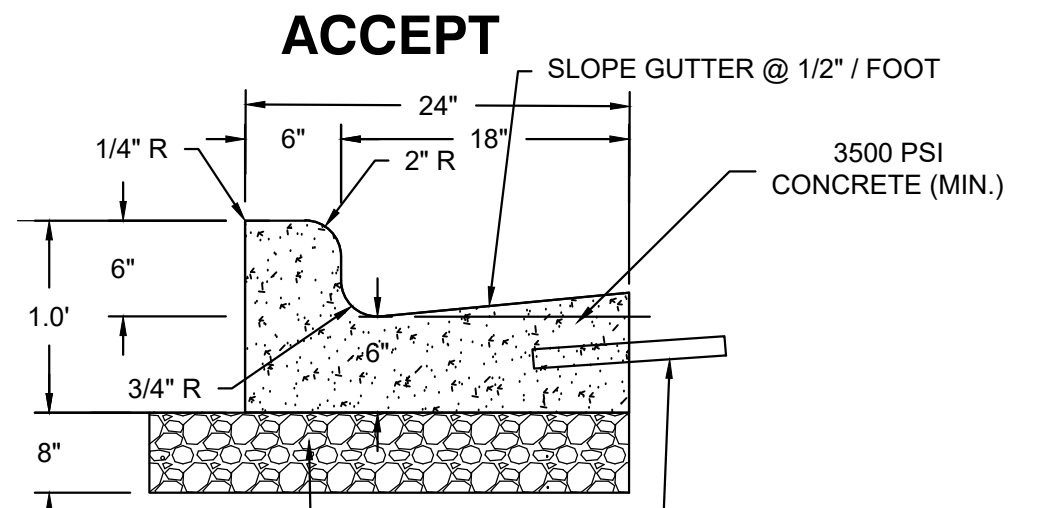
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

WI STATUTE 182.0175(1)(4)
 REQUIRES 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181

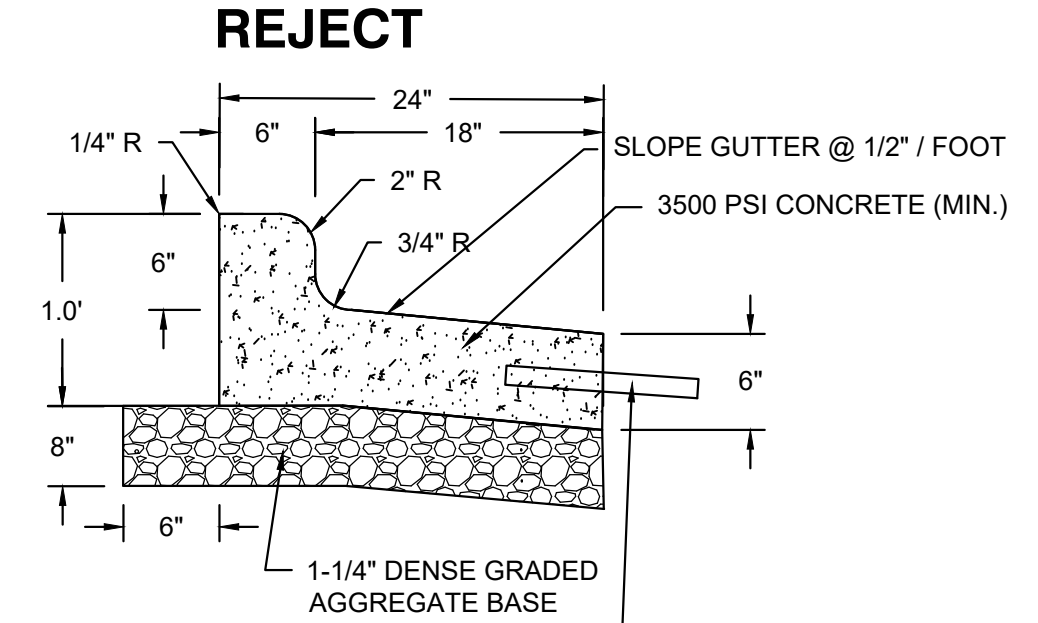
THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

GMP SUBMITTAL	11/02/18
NO. REVISION	DATE BY
DRAWING NO.	17993-UTILITY PLAN.DWG
DRAWN BY:	ARF
DATE:	9-27-18
PROJECT NO.:	17993
CHECKED BY:	CTC
APPROVED BY:	---
SHEET NO.:	

C300

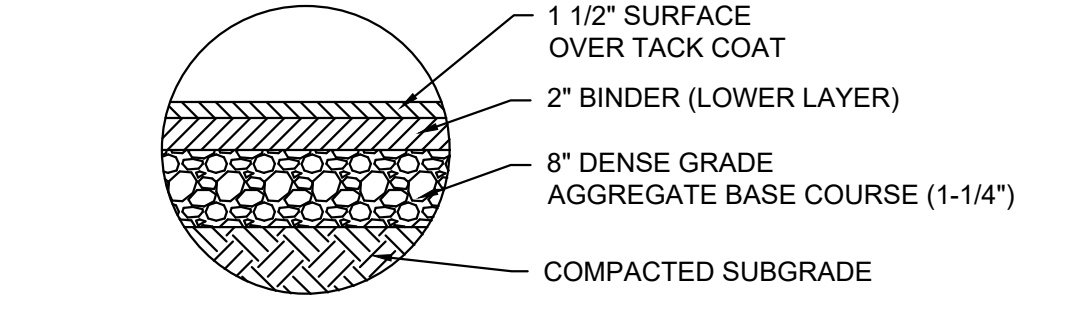


TIE-BAR IF ADJACENT TO CONCRETE (NO.4 X 2'-0" TIE BARS SPACED AT 3'-0" C-C)

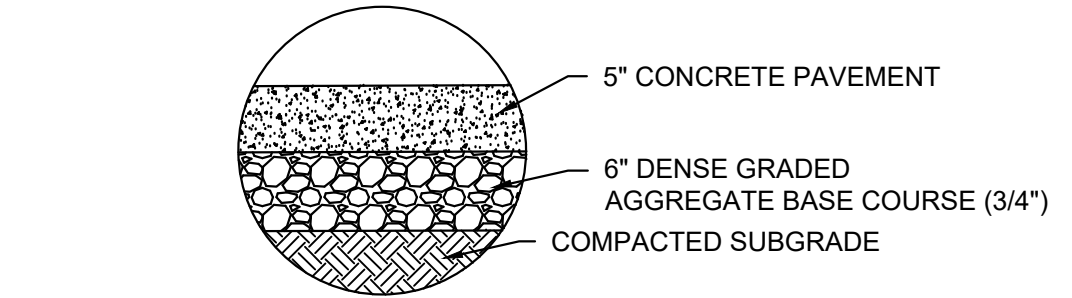


TIE-BAR IF ADJACENT TO CONCRETE (NO.4 X 2'-0" TIE BARS SPACED AT 3'-0" C-C)

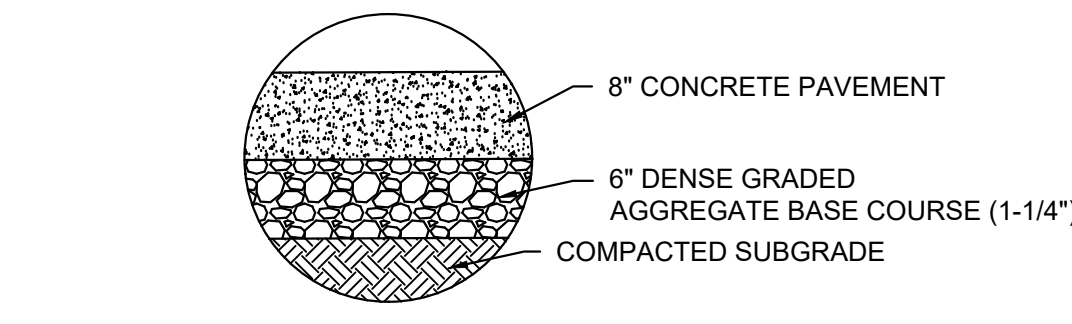
A 24" CONCRETE CURB & GUTTER SECTION
NOT TO SCALE



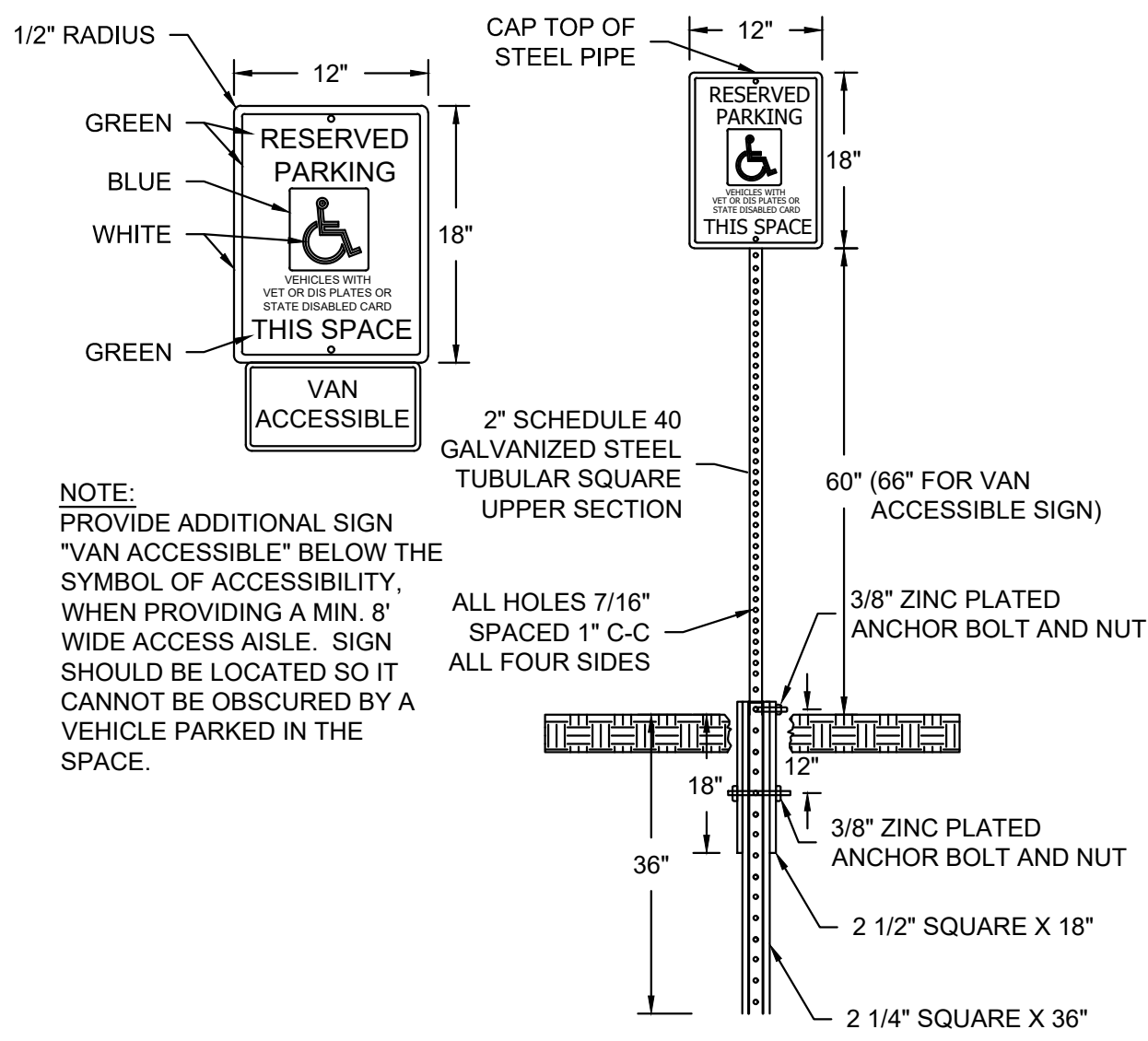
B ASPHALT PAVEMENT SECTION
NOT TO SCALE



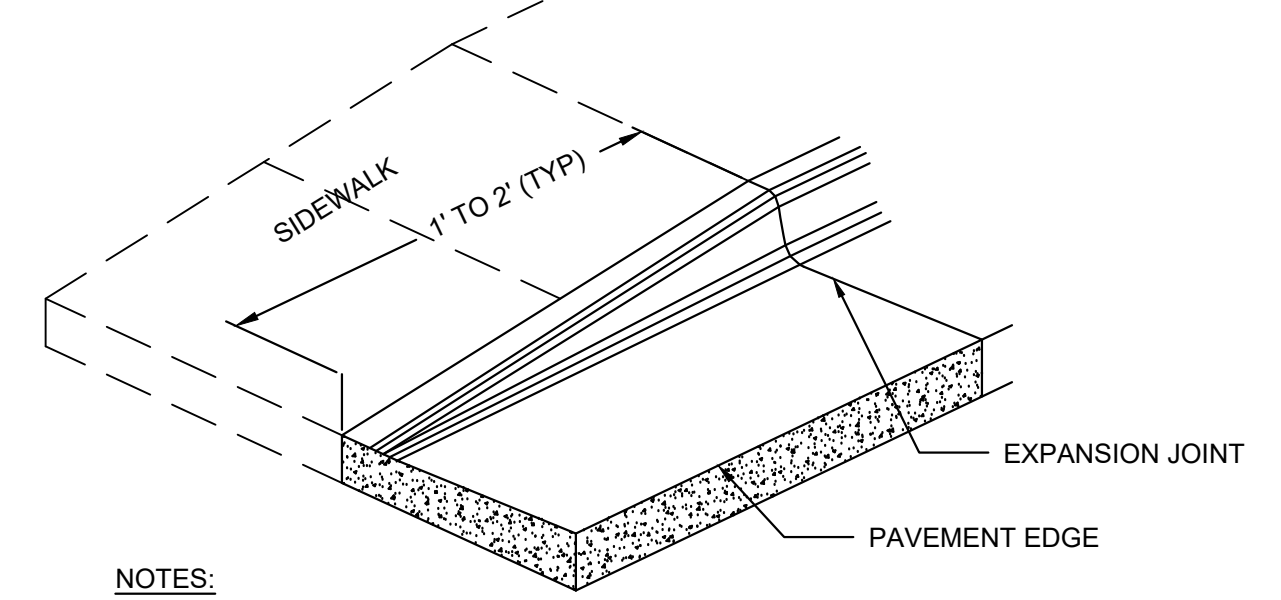
C CONCRETE SIDEWALK SECTION
NOT TO SCALE



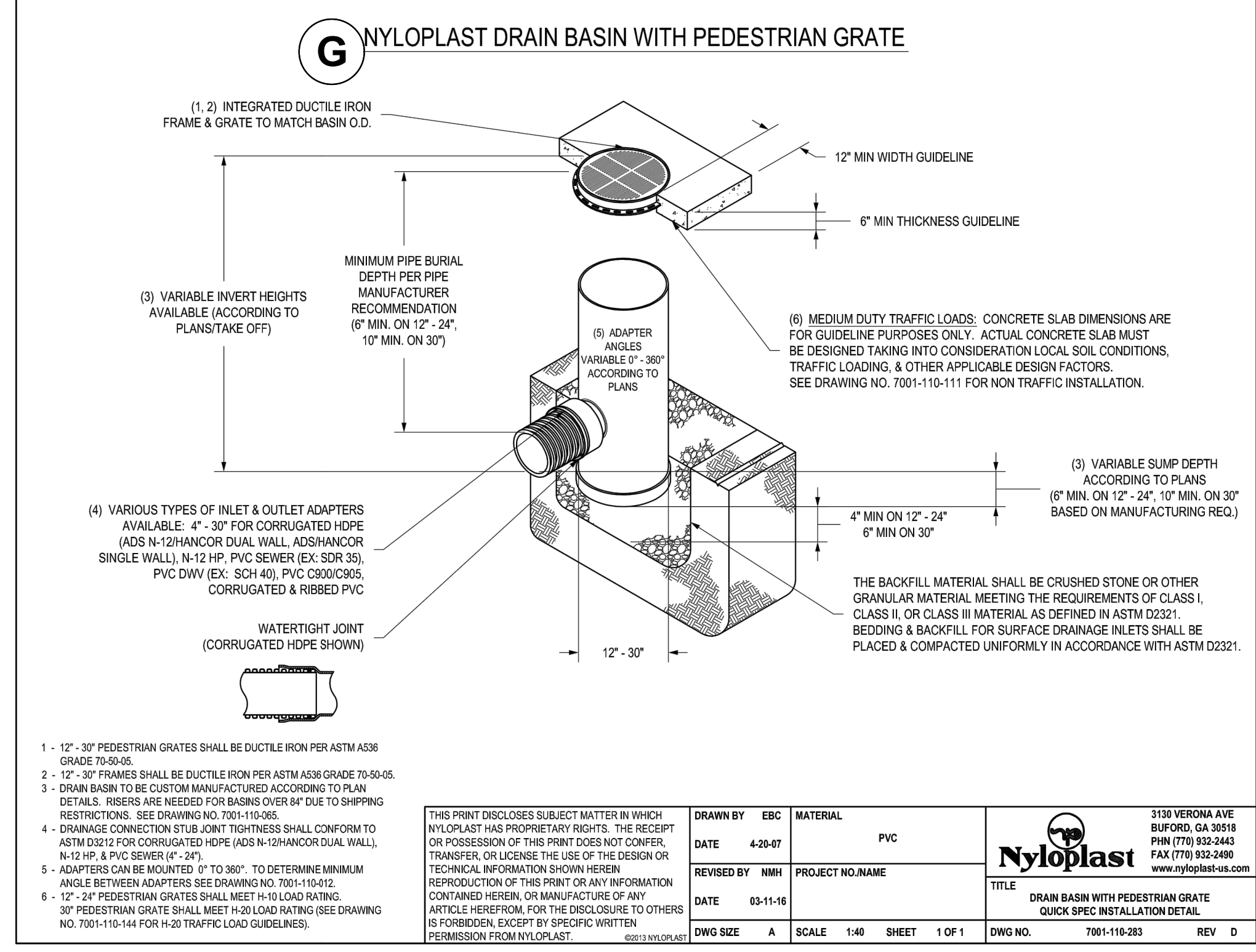
D CONCRETE PAVEMENT SECTION
NOT TO SCALE



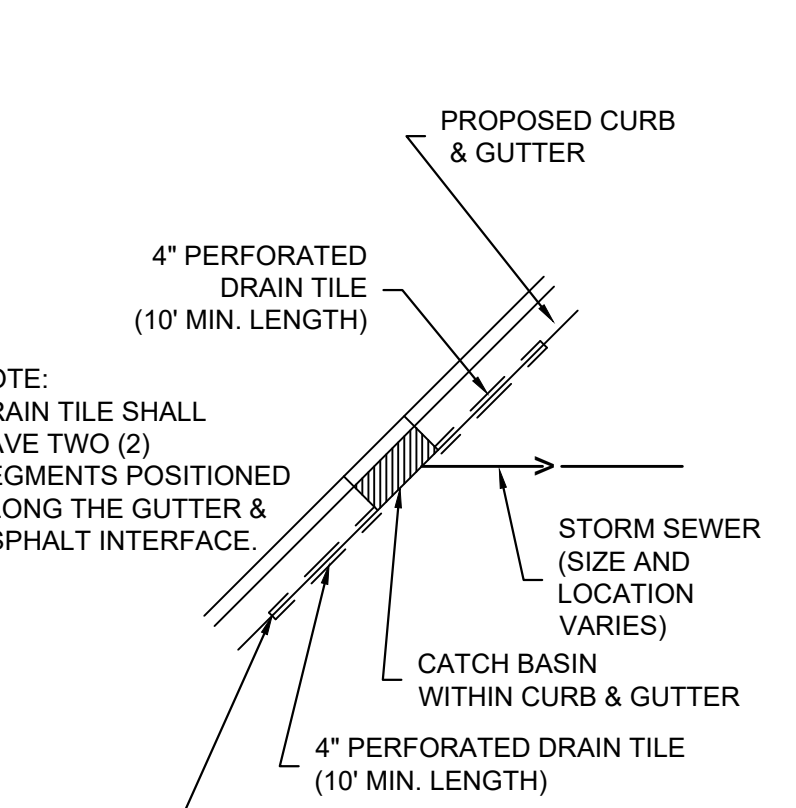
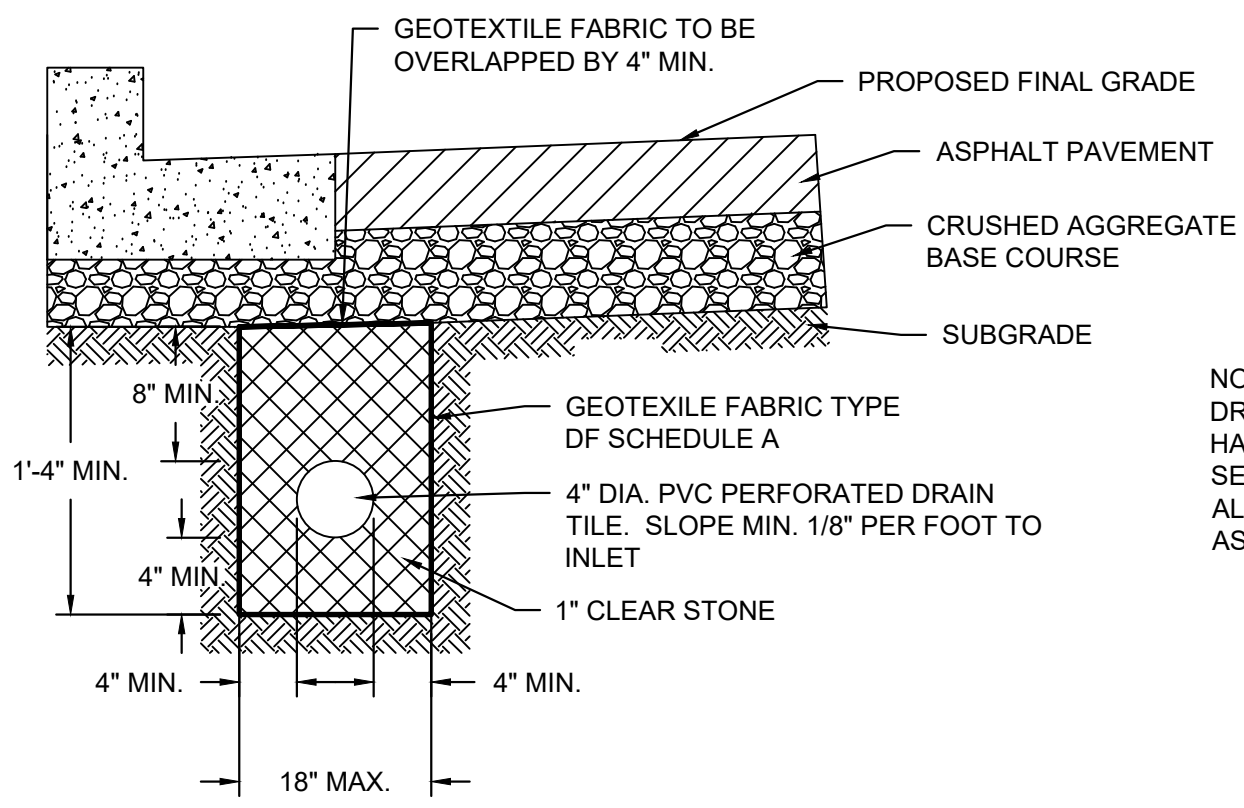
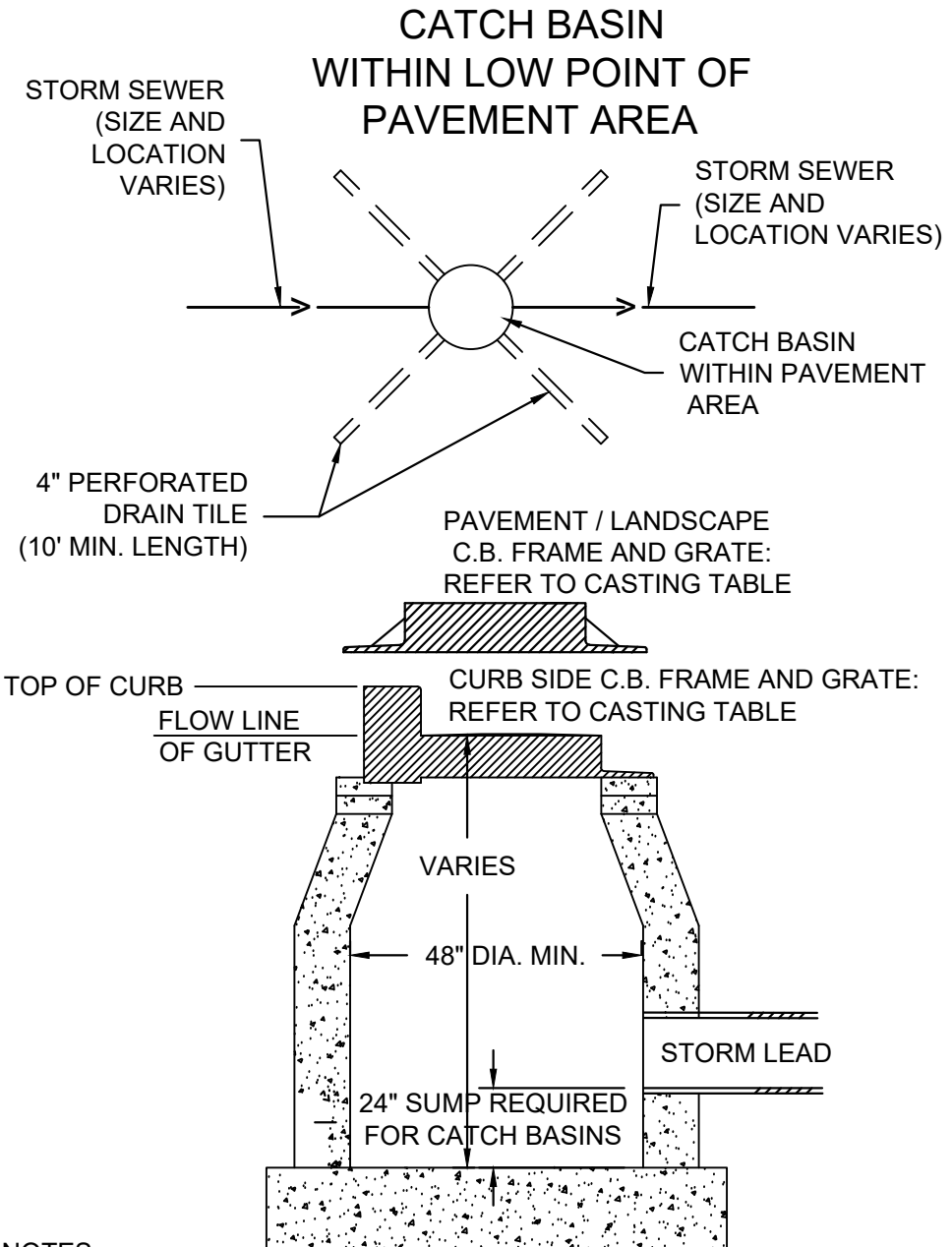
E HANDICAP SIGN & POST
NOT TO SCALE



E CURB TAPER
NOT TO SCALE



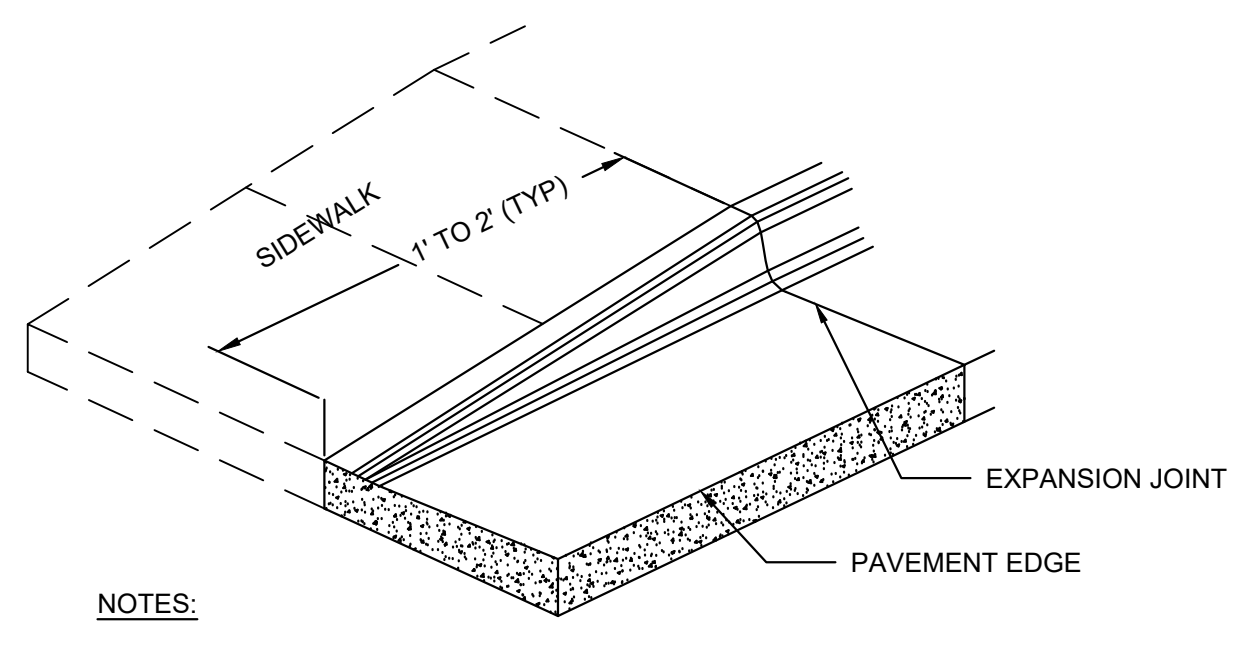
1. 12" - 30" PEDESTRIAN GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
2. 12" - 30" FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
3. DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE REQUIRED FOR BASINS OVER 4" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
4. DRAINAGE CONNECTION SUB-JOINT THICKNESS SHALL CONFORM TO ASTM D3321 FOR CORRUGATED HDPE (AS N-10 HANDBOOK DUAL WALL, N-12 HP, & PVC SEWER (4" - 24").
5. ADAPTERS CAN BE ADJUSTED 0° TO 360° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-042.
6. 12" - 24" PEDESTRIAN GRATES SHALL MEET H-10 LOAD RATING. 30" PEDESTRIAN GRATE SHALL MEET H-20 LOAD RATING (SEE DRAWING NO. 7001-110-144 FOR H-20 TRAFFIC LOAD GUIDELINES).



NOTES:
1. ADJUST FRAME TO GRADE WITH CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT = 6". MINIMUM RING HEIGHT = 2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING.
2. CONCRETE AND REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION C-478.
3. 3" BEDDING OF STONE UNDER BASE REQUIRED ON WET SUB-GRADE.
4. UNLESS NOTED ON THE PLANS CONTRACTOR IS RESPONSIBLE FOR ALL CATCH BASIN SIZING AND SHALL PROVIDE A SHOP DRAWING TO THE SIGMA GROUP, INC. BEFORE THEY ARE RELEASED FOR PRODUCTION.

CATCH BASIN / INLET CASTING TABLE						
	IF 18" CURB & GUTTER		IF 24" CURB & GUTTER		IF 30" CURB AND GUTTER	
	CASTING	GRATE	CASTING	GRATE	CASTING	GRATE
CURB INLET	NEENAH R-3170	B	NEENAH R-3007	A	NEENAH R-3228H	C
AREA INLET	NEENAH R-2050	C				

F INLET AND CATCH BASIN
NOT TO SCALE



J CURB TAPER
NOT TO SCALE

GOLD MEDAL FLATS
1701 PACKARD AVENUE
RACINE, WISCONSIN 53403

DETAILS

GMP SUBMITTAL 11/02/18

NO. REVISION DATE BY

DRAWING NO. 17993-DETAILS.DWG

DRAWN BY: ARF

DATE: 9-27-18

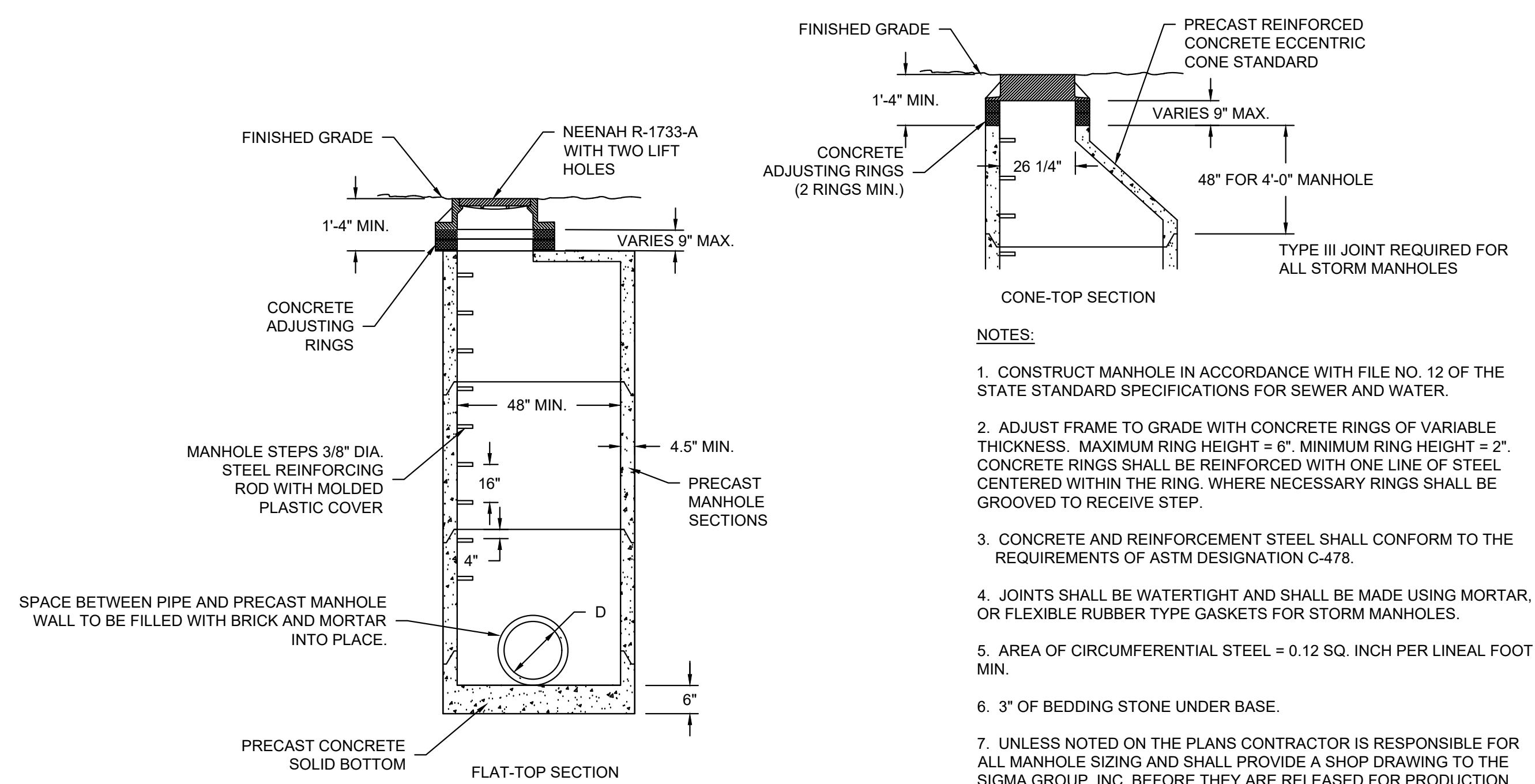
PROJECT NO: 17993

CHECKED BY: CTC

APPROVED BY: ---

SHEET NO.:

C401

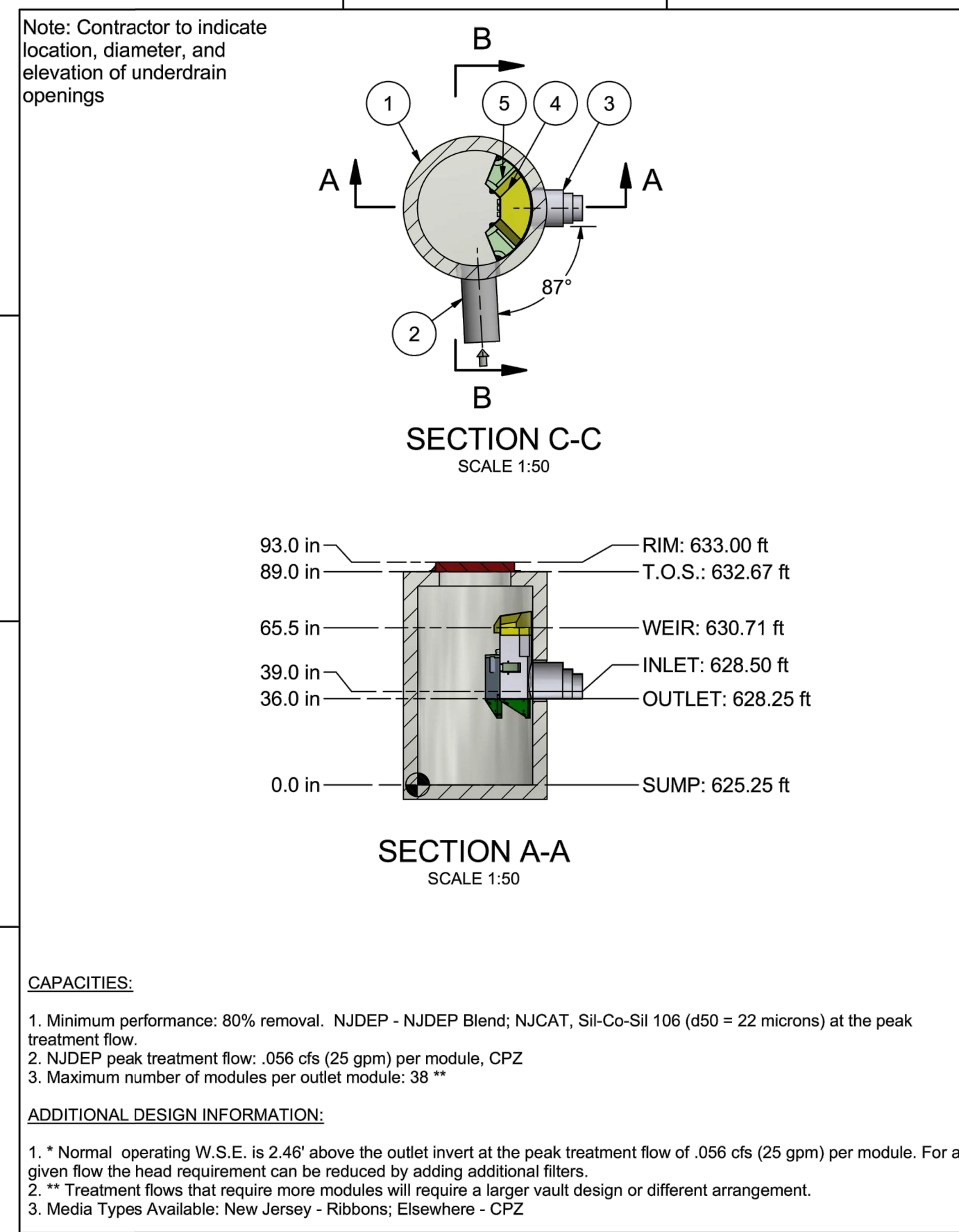


- NOTES:**
1. CONSTRUCT MANHOLE IN ACCORDANCE WITH FILE NO. 12 OF THE STATE STANDARD SPECIFICATIONS FOR SEWER AND WATER.
 2. ADJUST FRAME TO GRADE WITH CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT = 6". MINIMUM RING HEIGHT = 2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING. WHERE NECESSARY RINGS SHALL BE GROOVED TO RECEIVE STEP.
 3. CONCRETE AND REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION C-478.
 4. JOINTS SHALL BE WATERTIGHT AND SHALL BE MADE USING MORTAR, OR FLEXIBLE RUBBER TYPE GASKETS FOR STORM MANHOLES.
 5. AREA OF CIRCUMFERENTIAL STEEL = 0.12 SQ. INCH PER LINEAL FOOT MIN.
 6. 3" OF BEDDING STONE UNDER BASE.
 7. UNLESS NOTED ON THE PLANS CONTRACTOR IS RESPONSIBLE FOR ALL MANHOLE SIZING AND SHALL PROVIDE A SHOP DRAWING TO THE SIGMA GROUP, INC. BEFORE THEY ARE RELEASED FOR PRODUCTION.

A PRECAST STORM MANHOLE
 NOT TO SCALE

GOLD MEDAL FLATS
1701 PACKARD AVENUE
RACINE, WISCONSIN 53403

DETAILS



PARTS LIST

ITEM	QTY	DESCRIPTION	SIZE (in)	TYPE
1	1	PRECAST MANHOLE	48	
2	1	INLET PIPE	12	HDPE
3	1	OUTLET MODULE		
4	1	BYPASS HOOD		
5	2	MODULE LID		
6	3	SUPPORT FRAME		
7	1	EJW V1600-4 FRAME AND V3600-4 GRATE	30	
8	2	MODULE BODY		

Hydro International

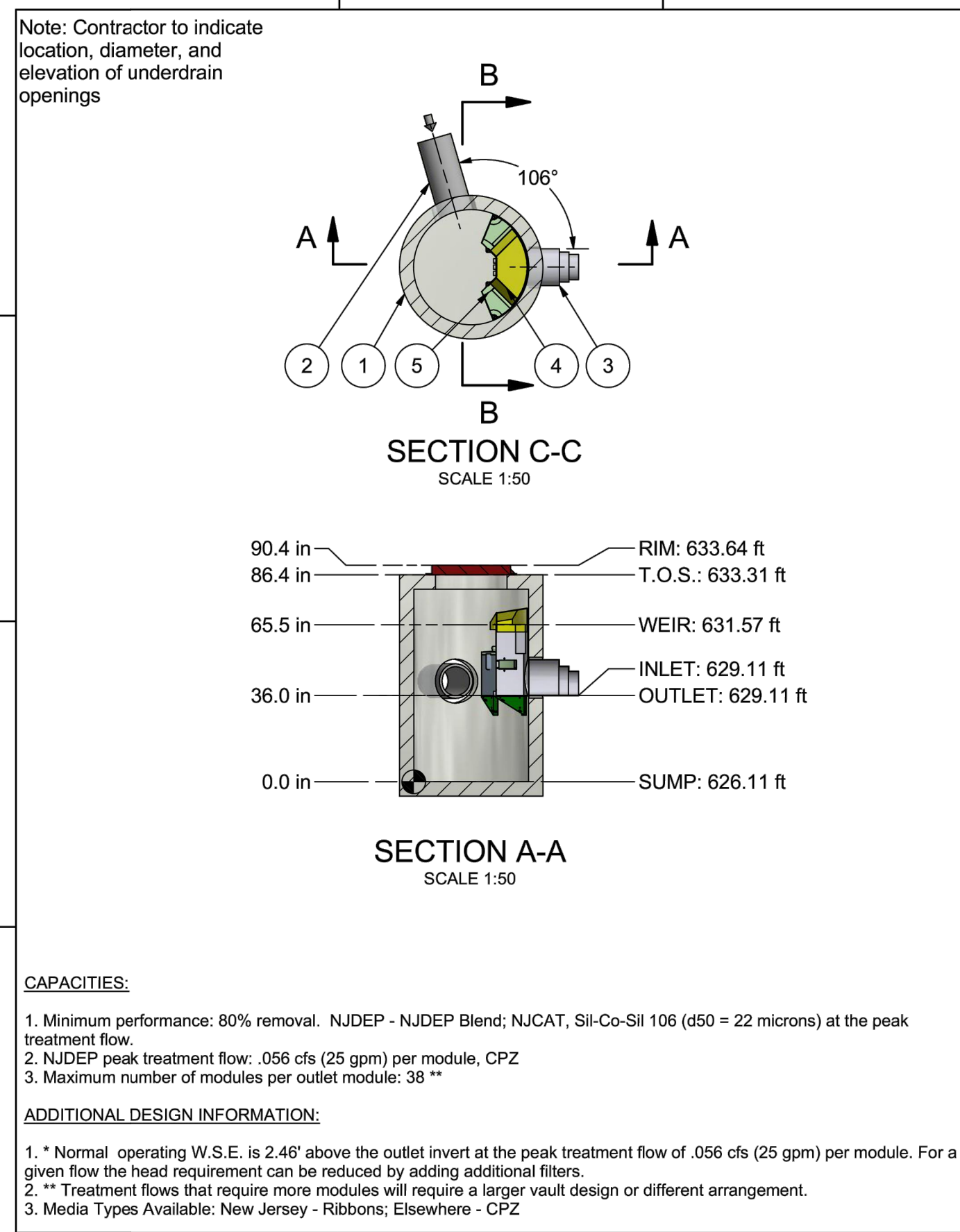
84 Hutchins Drive
 Portland, ME 04102
 Tel: +1 (207) 756-6200
 Fax: +1 (207) 756-6212
 hydro-int.com

DO NOT SCALE DRAWING

WEIGHT: N/A MATERIAL: N/A
 UNLESS OTHERWISE SPECIFIED, DIMENSIONS ARE IN INCHES.
 TOLERANCES ARE: FRACTIONS ± 1/16 DECIMALS ± .005
 X.XX ± .03 X.XXX ± .015 ANGLES ± 3°

©2017 HYDRO INTERNATIONAL

- CAPACITIES:**
1. Minimum performance: 80% removal. NJDEP - NJDEP Blend; NJCAT, Sil-Co-Sil 106 (d50 = 22 microns) at the peak treatment flow.
 2. NJDEP peak treatment flow: .056 cfs (25 gpm) per module, CPZ
 3. Maximum number of modules per outlet module: 38 **
- ADDITIONAL DESIGN INFORMATION:**
1. * Normal operating W.S.E. is 2.46' above the outlet invert at the peak treatment flow of .056 cfs (25 gpm) per module. For a given flow the head requirement can be reduced by adding additional filters.
 2. ** Treatment flows that require more modules will require a larger vault design or different arrangement.
 3. Media Types Available: New Jersey - Ribbons; Elsewhere - CPZ



PARTS LIST

ITEM	QTY	DESCRIPTION	SIZE (in)	TYPE
1	1	PRECAST MANHOLE	48	
2	1	INLET PIPE	12	HDPE
3	1	OUTLET MODULE		
4	1	BYPASS HOOD		
5	2	MODULE LID		
6	3	SUPPORT FRAME		
7	1	EJW V1600-4 FRAME AND V3600-4 GRATE	30	
8	2	MODULE BODY		

Hydro International

84 Hutchins Drive
 Portland, ME 04102
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 Fax: +1 (207) 756-6212
 hydro-int.com

DO NOT SCALE DRAWING

WEIGHT: N/A MATERIAL: N/A
 UNLESS OTHERWISE SPECIFIED, DIMENSIONS ARE IN INCHES.
 TOLERANCES ARE: FRACTIONS ± 1/16 DECIMALS ± .005
 X.XX ± .03 X.XXX ± .015 ANGLES ± 3°

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- CAPACITIES:**
1. Minimum performance: 80% removal. NJDEP - NJDEP Blend; NJCAT, Sil-Co-Sil 106 (d50 = 22 microns) at the peak treatment flow.
 2. NJDEP peak treatment flow: .056 cfs (25 gpm) per module, CPZ
 3. Maximum number of modules per outlet module: 38 **
- ADDITIONAL DESIGN INFORMATION:**
1. * Normal operating W.S.E. is 2.46' above the outlet invert at the peak treatment flow of .056 cfs (25 gpm) per module. For a given flow the head requirement can be reduced by adding additional filters.
 2. ** Treatment flows that require more modules will require a larger vault design or different arrangement.
 3. Media Types Available: New Jersey - Ribbons; Elsewhere - CPZ

B UPFLO FILTRATION SYSTEM
 NOT TO SCALE

GMP SUBMITTAL 11/02/18

NO. REVISION DATE BY

DRAWING NO. 17993-DETAILS.DWG

DRAWN BY: ARF

DATE: 9-27-18

PROJECT NO: 17993

CHECKED BY: CTC

APPROVED BY: ---

SHEET NO.:

C402

EXHIBIT B – EASEMENT AREA

That part of Lots 15 through 17, inclusive, in Block 4 of Dodge's Addition to Racine, in the Northeast 1/4 of Section 20, Township 3 North, Range 23 East, City of Racine, Racine County, Wisconsin, bounded and described as follows:

Commencing at the Northwest corner of Lot 14 in said Block 4 of Dodge's Addition to Racine; thence South 1°52'36" East, 42.75 feet along the East line of Phillip's Avenue to the point of beginning; continue thence South 1°52'36" East, 31.17 feet along said East line; thence South 76°05'49" East, 60.94 feet; thence South 1°56'46" East, 58.18 feet; thence North 88°03'14" East, 30.00 feet; thence North 1°56'46" West, 80.85 feet; thence North 76°05'49" West, 92.09 feet to the point of beginning.

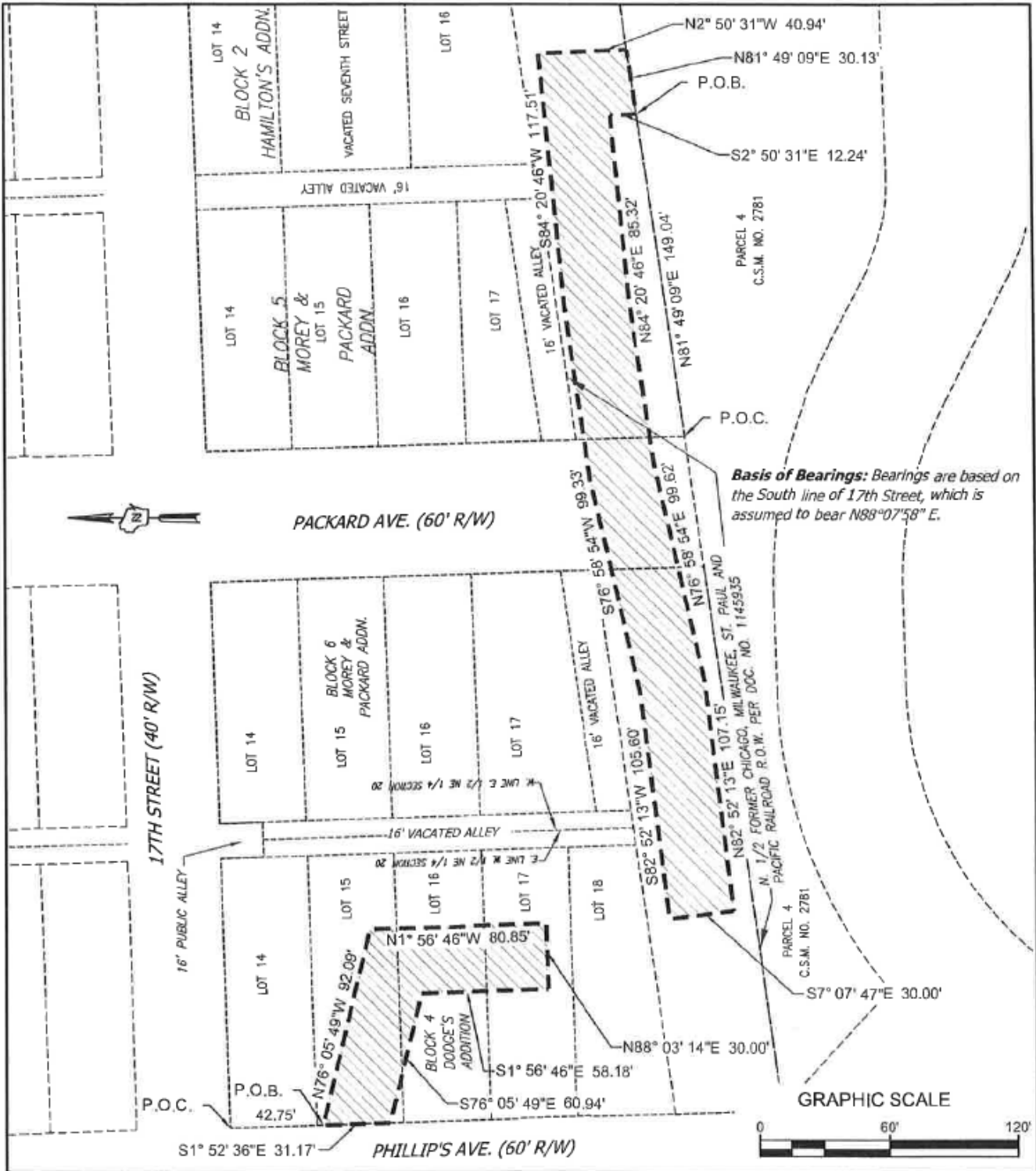
Said easement contains 4,381 square feet of land, more or less.

ALSO

A part of the North 1/2 of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right of way described in Deed recorded September 12, 1983 in Volume 1688 of Records, at page 906, as Document No. 1132686 and re-recorded April 25, 1984 in Volume 1711 of Records, at page 641, as Document No. 1145935 abutting thereon, also that part of vacated Packard Avenue, per Document No. _____, all in the Northeast 1/4 of Section 20, Township 3 North, Range 23 East, City of Racine, Racine County, Wisconsin, bounded and described as follows:

Commencing at the intersection of the Southerly extension of the East line of Block 5 in Morey & Packard's Addition with the Northerly line of Parcel 4 of Certified Survey Map No. 2781; thence North 81°49'09" East, 149.04 feet along said Northerly line to the point of beginning; continue thence North 81°49'09" East, 30.13 feet along said Northerly line; thence North 2°50'31" West, 40.94 feet; thence South 84°20'46" West, 117.51 feet; thence South 76°58'54" West, 99.33 feet; thence, South 82°52'13" West, 105.60 feet; thence South 7°07'47" East, 30.00 feet; thence North 82°52'13" East, 107.15 feet; thence North 76°58'54" East, 99.62 feet; thence North 84°20'46" East, 85.32 feet; thence South 2°50'31" East, 12.24 feet to the point of beginning.

Said easement contains 12,355 square feet of land, more or less.




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EXHIBIT "D"
 GOLD MEDAL FLATS
 DRAINAGE EASEMENT DEPICTION

DR.#17993 EASEMENT EXHIBITS