



Application for Design Review

Applicant Name: _____

Address: _____ City: _____

State: _____ Zip: _____

Telephone: _____ Cell Phone: _____

Email: _____

Agent Name: _____

Address: _____ City: _____

State: _____ Zip: _____

Telephone: _____ Cell Phone: _____

Email: _____

Property Address (Es): _____

Current Zoning: _____

Current/Most Recent Property Use: _____

Proposed Use: _____

Numerous areas of the City have design guidelines which are specific to projects and must be adhered to. The design guidelines can be found at the following link under the design review district heading on the page: <https://www.buildupracine.org/business-tools/planning/>





If the required supplemental materials, which constitute a completed application, are not submitted, the application will not be processed.

Required Submittal Format

1. An electronic submission via email/USB drive/CD/Download link; and
2. One (1) paper copy, no larger than 11" x 17" size.

Required Submittal Item	Applicant Submitted	City Received
1. Design Area Review Application		
2. Written description of project, including: a. Hours of operation b. Anticipated delivery schedule c. Maintenance plan d. General use of the building and lot		
3. Site Plan (drawn to scale), including: a. Fully dimensioned property boundary b. All buildings (existing and proposed) c. Setbacks from property lines d. Identification as to whether all elements are "Existing" or "Proposed" e. Dimensioned parking spaces and drive aisle layout f. Trash enclosure location and materials g. Location of signage, with setbacks		
4. Landscape Plan a. Bufferyards b. Parking Areas c. Screening and fencing locations d. Plant lists including the following: Latin and Common Names, Number of each planting material, and Size at planting.		
5. Lighting Plan a. Location of light fixtures b. A cut sheet of light fixtures with indication of cut-offs or shielding c. Illumination diagram indicating intensity of lighting on the property.		
6. Signage Plan a. dimensioned color elevations of signage b. A diagram showing the location of the proposed signage		
7. Building/site elevations a. Building elevations showing all four sides of the buildings in color b. Elevation of trash enclosure area		
8. Building Material Samples (if making exterior changes)		





Acknowledgement and authorization signatures

Design Review is not like a building permit; applying does not mean it will be approved.

The approval may contain conditions related to the improvement of the site which must be met prior to the occupancy of the building, approval of the final work, or otherwise specified. Improvements may include but are not limited to landscaping, fencing, lighting, pavement surfacing and sealing, dumpster enclosures, and exterior building improvements.

The signature(s) hereby certify that the statements made by myself and constituting part of this application are true and correct. I am fully aware that any misrepresentation of any information on this application may be grounds for denial of this application.

Owner Signature (acknowledgement and authorization): _____ Date: _____

Applicant Signature (acknowledgement): _____ Date: _____





BUILDING ADDITION

A.W. OAKES & SONS INC.

2000 OAKS ROAD

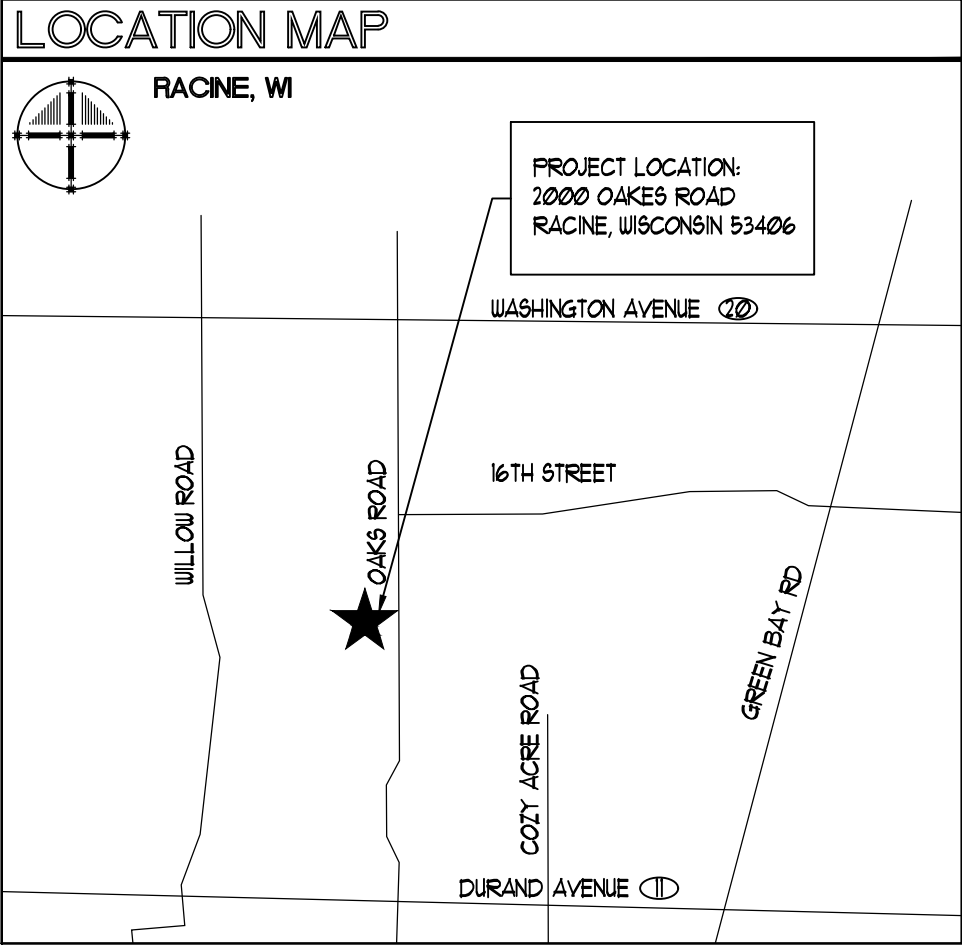
RACINE, WISCONSIN 53406

PROJECT DATA	
BUILDING CLASSIFICATION	
OCCUPANCY TYPE 'B' - BUSINESS	
CONSTRUCTION CLASSIFICATION	
EXISTING CONSTRUCTION:	
UNSPRINKLERED - TYPE 1A	
NEW CONSTRUCTION:	
UNSPRINKLERED - TYPE 1A	
BUILDING AREAS	
EXISTING FIRST FLOOR AREA:	8,816 SF.
EXISTING BASEMENT FLOOR AREA:	4,550 SF.
FIRST FLOOR ADDITION:	8,302 SF.
NEW FIRST FLOOR TOTAL AREA:	21,728 SF.

GENERAL NOTES	
1. DO NOT SCALE DRAWINGS.	
2. CONTRACTOR SHALL FIELD VERIFY AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS AND DIMENSIONS.	
3. EACH CONTRACTOR SHALL REVIEW COMPLETE PLANS FOR RELATED WORK.	
4. ALL WORK SHALL BE IN COMPLIANCE WITH STATE AND LOCAL CODES FOR RESPECTIVE TRADES.	

ABBREVIATIONS			
ALT	ALTERNATE	HOUR	HARDWARE
A/E	ARCHITECT/ENGINEER	HM	HOLLOW METAL
AF	ABOVE FINISH FLOOR	HT	HEIGHT
ALUM	ALUMINUM	HW	HOT WATER
BD	BOARD	INT	INTERIOR
B/O	BOTTOM OF	INSUL	INSULATION
CPT	CARPET	JT	JOINT
CL	CENTER LINE	LAV	LAVATORY
CJ	CEILING	MFR	MANUFACTURER
CU	CONTROL JOINT	MIN	MINIMUM
CMU	CONCRETE MASONRY UNIT	MO	MASONRY OPENING
CONC	CONCRETE	MTL	METAL
CONT	CONTINUOUS	NIC	NOT IN CONTRACT
CO	CLEAN OUT	NTS	NOT TO SCALE
CW	COLD WATER	OC	ON CENTER
CT	CERAMIC TILE	OFCI	OWNER FURNISHED, CONTRACTOR TO INSTALL
DBL	DOUBLE	OFF	OPPOSITE
DF	DRINKING FOUNTAIN	FLYUD	FLYWOOD
DIA	DIAMETER	FL	FLYWOOD
DN	DIMENSION	FL	FLYWOOD
DOWN	DOWN	FL	FLYWOOD
DR	DOOR	FL	FLYWOOD
DS	DOWNSPOUT	FL	FLYWOOD
DTL	DETAIL	FL	FLYWOOD
DWG	DRAWING	FL	FLYWOOD
EA	EACH	FL	FLYWOOD
EFS	EXTERIOR INSULATION AND FINISH SYSTEM	FL	FLYWOOD
EL	ELEVATION	FL	FLYWOOD
EJ	EXPANSION JOINT	FL	FLYWOOD
EQ	EQUAL	FL	FLYWOOD
EQUIP	EQUIPMENT	FL	FLYWOOD
EXIST	EXISTING	FL	FLYWOOD
EXT	EXTERIOR	FL	FLYWOOD
EW	ELECTRIC WATER COOLER	FL	FLYWOOD
FEC	FIRE EXTINGUISHER	FL	FLYWOOD
FIN	FINISH	FL	FLYWOOD
FD	FLOOR DRAIN	FL	FLYWOOD
FLR	FLOOR	FL	FLYWOOD
FRP	FIBERGLASS REINFORCED PLASTIC	FL	FLYWOOD
GA	GAUGE	FL	FLYWOOD
GALV	GALVANIZED	FL	FLYWOOD
GYP BD	GYP BOARD	FL	FLYWOOD

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CLIENT:
A.W. OAKES & SONS INC.
2000 OAKS ROAD
RACINE, WISCONSIN 53406
PHONE: 262.886.4414
ATTN: DANIEL OAKES



ARCHITECT:
PARTNERS IN DESIGN ARCHITECTS
6000 53rd STREET, SUITE 220
KENOSHA, WISCONSIN 53140
PHONE: 262.852.2000
ATTN: JEFFREY E. BRIDLEMAN, AIA, ALA



CIVIL ENGINEER:
NIELSEN MADSEN & BARBER SC
1450 HORIZON BLVD.
SUITE 200
RACINE, WISCONSIN 53406
PHONE: 262.634.5500
FAX: 262.634.5014
ATTN: AL JESKE, PE



ELECTRICAL ENGINEER:
JDP ELECTRICAL DESIGN LLC
563 W6361 COLLEGE AVENUE
MUSKEGO, WISCONSIN 53150
PHONE: 414.780.0006
ATTN: JIM PRUSINSKI

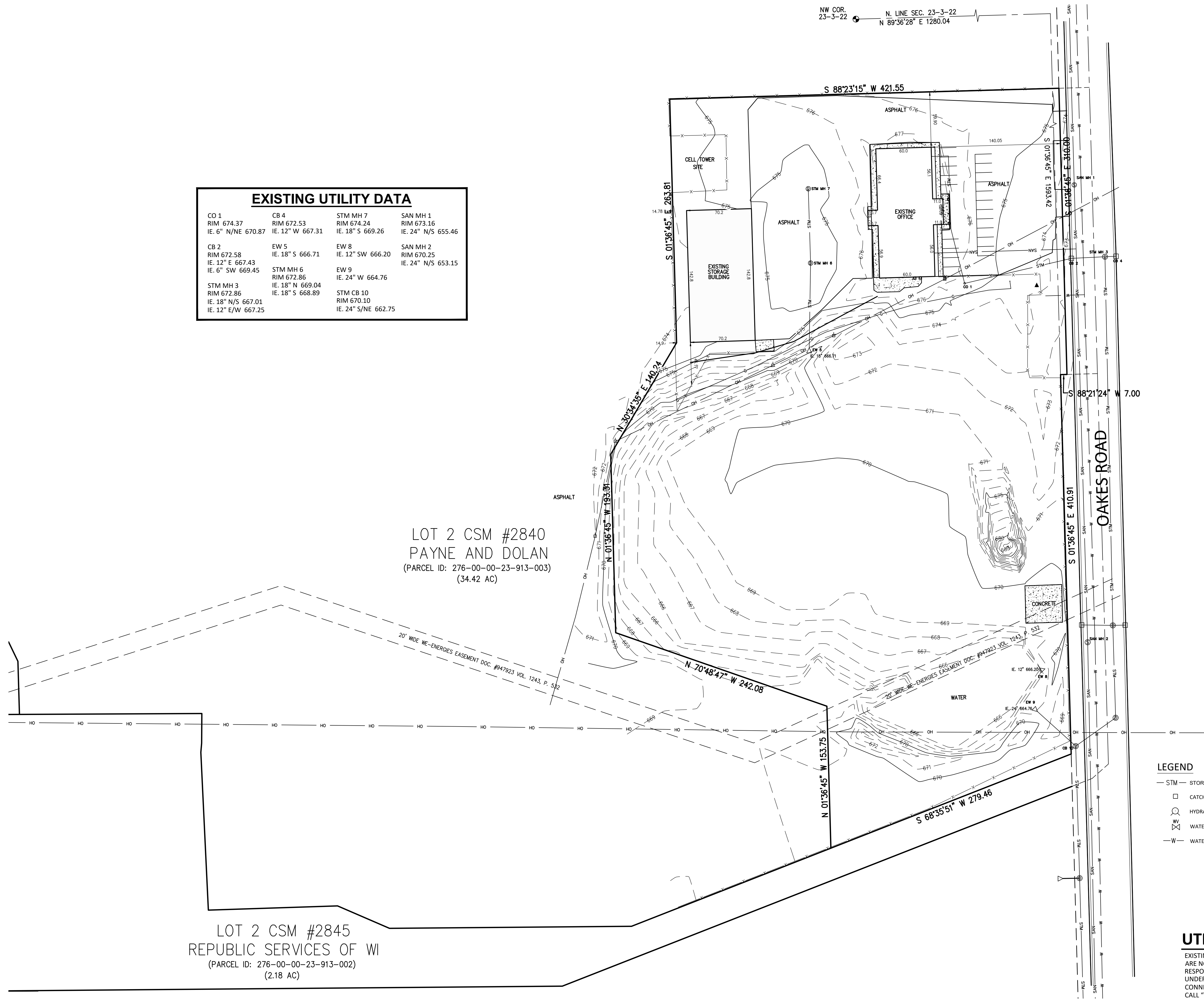


BUILDING ADDITION

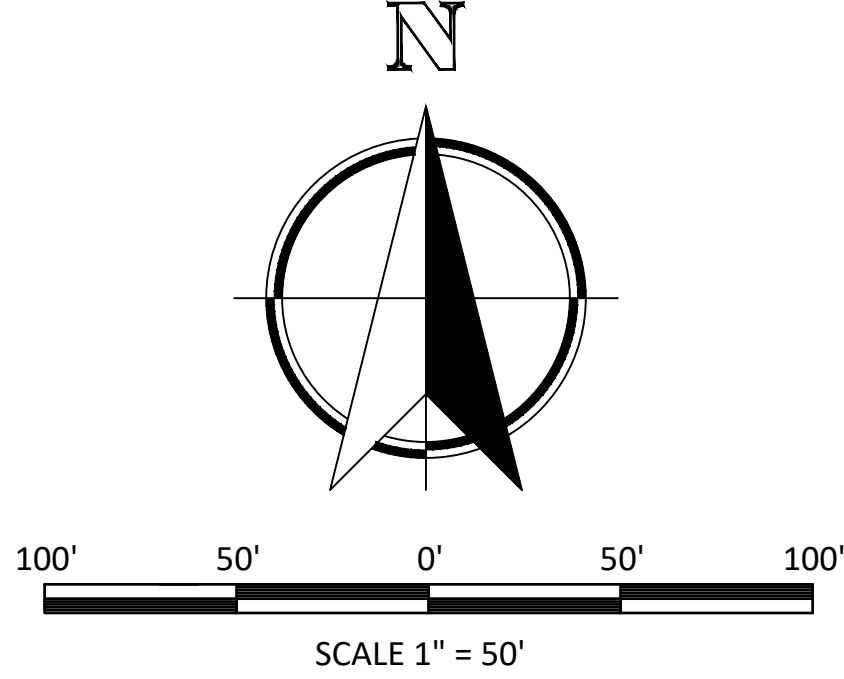
PROJECT NUMBER: 948.21.014

DESIGN REVIEW

ISSUE DATE: 05.10.2022



EXISTING UTILITY DATA			
CO 1 RIM 674.37 IE. 6" N/NE 670.87	CB 4 RIM 672.53 IE. 12" W 667.31	STM MH 7 RIM 674.24 IE. 18" S 669.26	SAN MH 1 RIM 673.16 IE. 24" N/S 655.46
CB 2 RIM 672.58 IE. 12" E 667.43 IE. 6" SW 669.45	EW 5 IE. 18" S 666.71 STM MH 6 RIM 672.86 IE. 18" N 669.04 IE. 18" S 668.89	EW 8 IE. 12" SW 666.20 EW 9 IE. 24" W 664.76 STM CB 10 RIM 670.10 IE. 24" S/NE 662.75	SAN MH 2 RIM 670.25 IE. 24" N/S 653.15
STM MH 3 RIM 672.86 IE. 18" N/S 667.01 IE. 12" E/W 667.25			



LEGEND

- | | | | | | |
|---------|-------------|--------|--------------------|---------|------------------|
| — STM — | STORM SEWER | — CM — | COMMUNICATION LINE | ○ | FOUND 3/4" REBAR |
| □ | CATCH BASIN | □ | COMMUNICATION BOX | × | CHISEL "X" |
| ⊙ | HYDRANT | — G — | GAS MAIN | ⊙ | SANITARY MANHOLE |
| ⊗ | WATER VALVE | ⊗ | GAS VALVE | — SAN — | SANITARY SEWER |
| — W — | WATER MAIN | ● | BILLBOARD POLE | ⊠ | POWER POLE |



UTILITY NOTE

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A.W. OAKES & SONS INC. BUILDING ADDITION
2000 Oakes Road, Racine, WI 53406

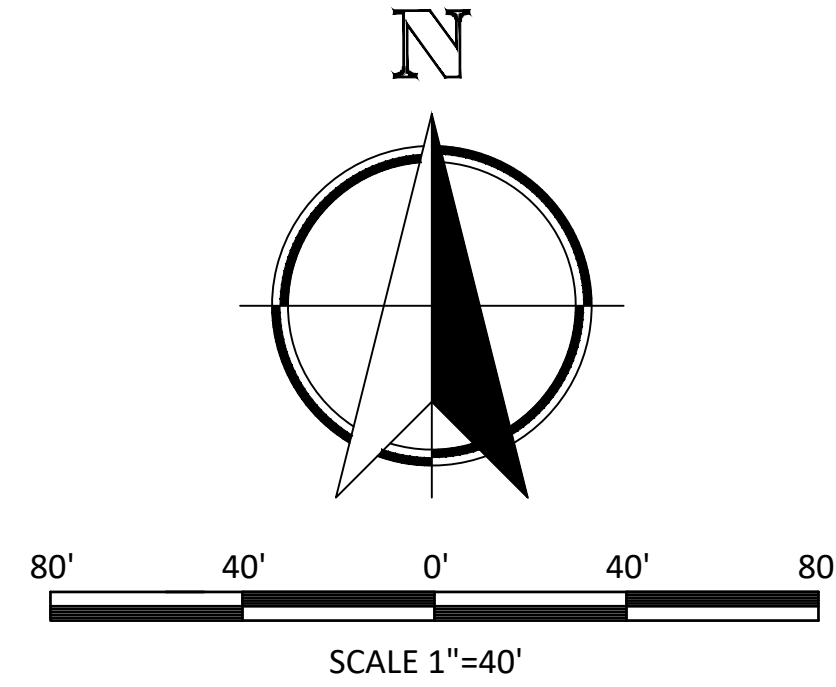
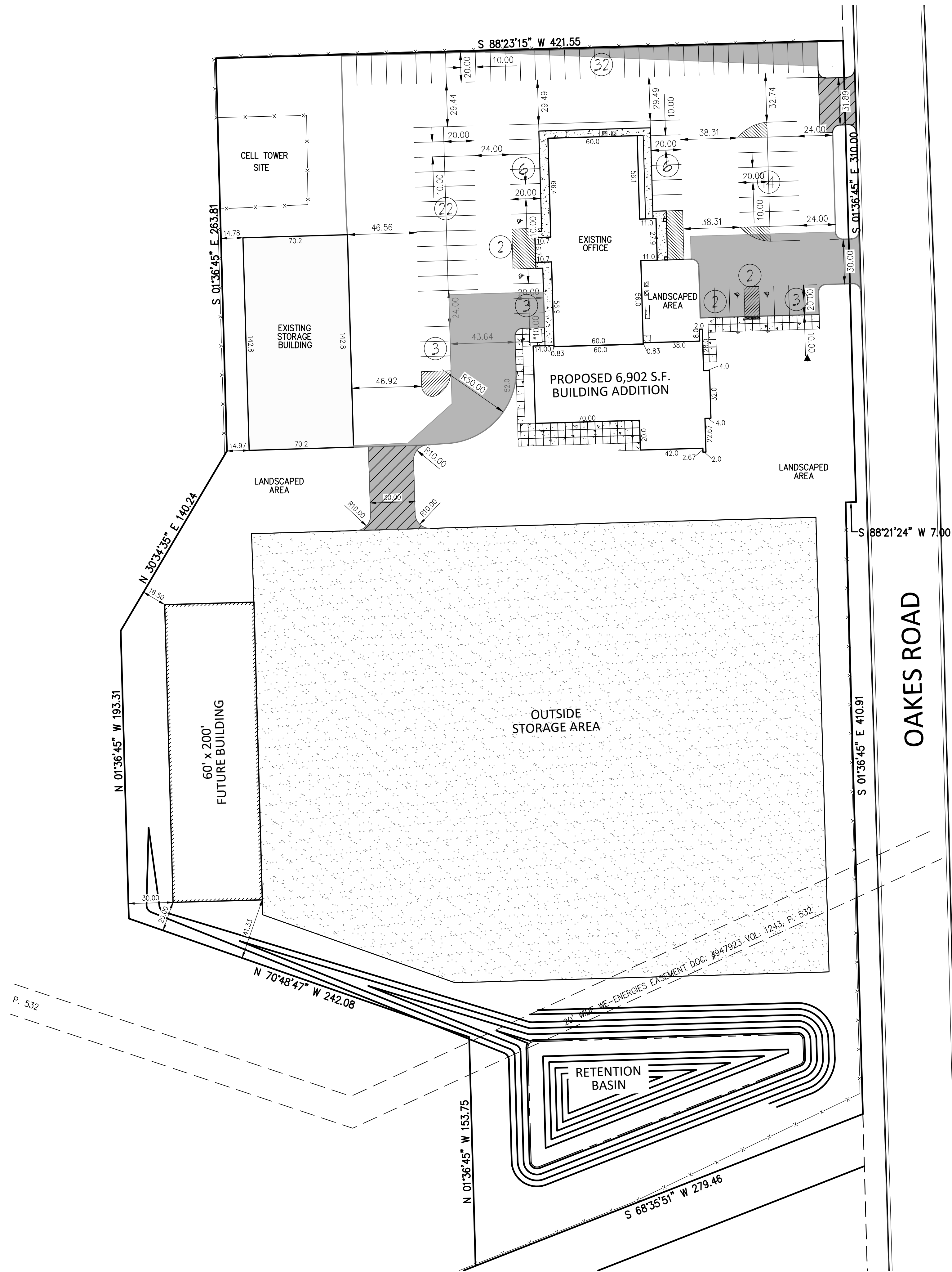


Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbssc.net

PROJECT NO.: 2005039904
DRAWN BY: ALJ
CHECKED BY: MFM
DATE: 5-10-2022
SHEET NO.:

C-1

EXISTING CONDITIONS



PARKING STALL DATA

EXISTING REGULAR PARKING SPACES	21
EXISTING ADA PARKING SPACES	0
TOTAL EXISTING PARKING SPACES	21
PROPOSED REGULAR PARKING SPACES	91
PROPOSED ADA PARKING SPACES	4
TOTAL PROPOSED PARKING SPACES	95

LEGEND

- EXISTING FENCE LINE
- PROPOSED HEAVY-DUTY ASPHALT PAVEMENT
- PROPOSED MEDIUM-DUTY ASPHALT PAVEMENT
- PROPOSED LIGHT-DUTY CONCRETE PAVEMENT
- OUTSIDE GRAVEL STORAGE AREA

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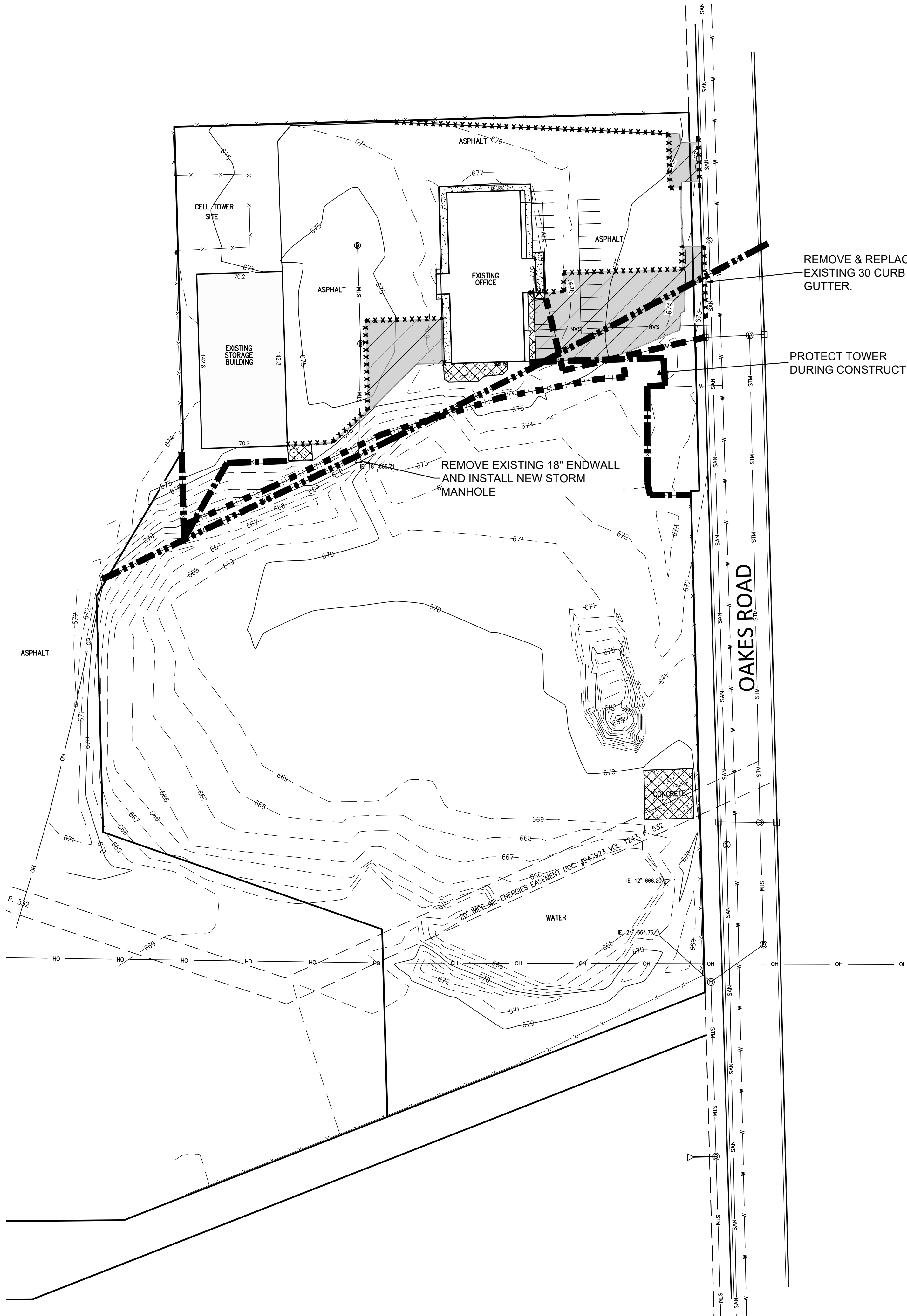
SITE PLAN



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C-2



DEMOLITION NOTES

THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL AT A LOCATION APPROVED (BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PAVEMENTS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLY COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION, SITE CLEARING, AND DISPOSAL.

THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.

THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE LAND SURVEYOR AND ENGINEER OF RECORD ASSUME NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDING PRIOR TO MODIFICATION OF THE BUILDING.

ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.

ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CALL DIGGERS HOTLINE AT 1-800-242-8511 A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION ACTIVITIES TO LOCATE AND MARK ALL UNDERGROUND UTILITIES.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE AND MARK ALL UNDERGROUND PRIVATE UTILITIES.

CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH SIGNS, FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. TEMPORARY CLOSURE OF ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION.

CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING THE COURSE OF WORK.

PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

EXISTING ITEMS TO REMAIN INCLUDING, BUT NOT LIMITED TO, FENCES, SIGNS, UTILITIES, BUILDINGS, TREES, PAVEMENTS, AND LIGHT POLES SHALL BE CAREFULLY PROTECTED DURING THE DEMOLITION PROCESS. ANY DAMAGE SUSTAINED TO ITEMS TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.

PROPERTY CORNERS AND BENCHMARKS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.

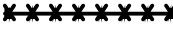
CONTRACTOR SHALL LIMIT PAVEMENT REMOVALS TO ONLY THOSE AREAS AS SHOWN ON THESE CONSTRUCTION PLANS OR AS NECESSARY TO COMPLETE THE WORK. CONCRETE SIDEWALK AND CURB & GUTTER IS TO BE REMOVED TO NEAREST JOINT IN ORDER TO ACCOMMODATE PROPOSED IMPROVEMENTS. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENTS AND OR OTHER IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPAIR OF DAMAGED PAVEMENT AND OTHER ITEMS AT NO ADDITIONAL COST TO THE OWNER.

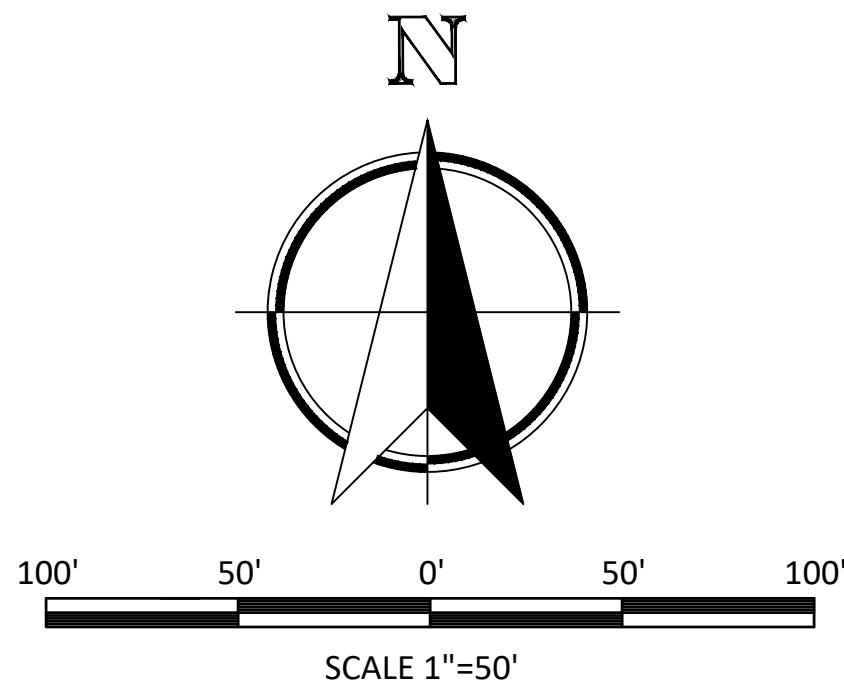
ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24 OF THE "STANDARD SPECIFICATIONS".

IF PREVIOUSLY UNIDENTIFIED HAZARDOUS, CONTAMINATED MATERIALS, OR OTHER ENVIRONMENTAL RELATED CONDITIONS ARE DISCOVERED, STOP WORK IMMEDIATELY AND NOTIFY THE PROJECT CONSTRUCTION MANAGER FOR ACTION TO BE TAKEN. DO NOT RESUME WORK UNTIL SPECIFICALLY AUTHORIZED BY THE CONSTRUCTION MANAGER.

AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

SITE DEMOLITION LEGEND

-  REMOVE CONCRETE PAVEMENT & BASE
-  REMOVE ASPHALT PAVEMENT & BASE
-  SAW CUT PAVEMENT (FULL DEPTH)
-  REMOVE EXISTING FENCE
-  REMOVE EXISTING STORM SEWER
-  ELECTRIC LINES TO BE REMOVED/RELOCATED BY OTHERS
-  GAS LINES TO BE REMOVED/RELOCATED BY OTHERS



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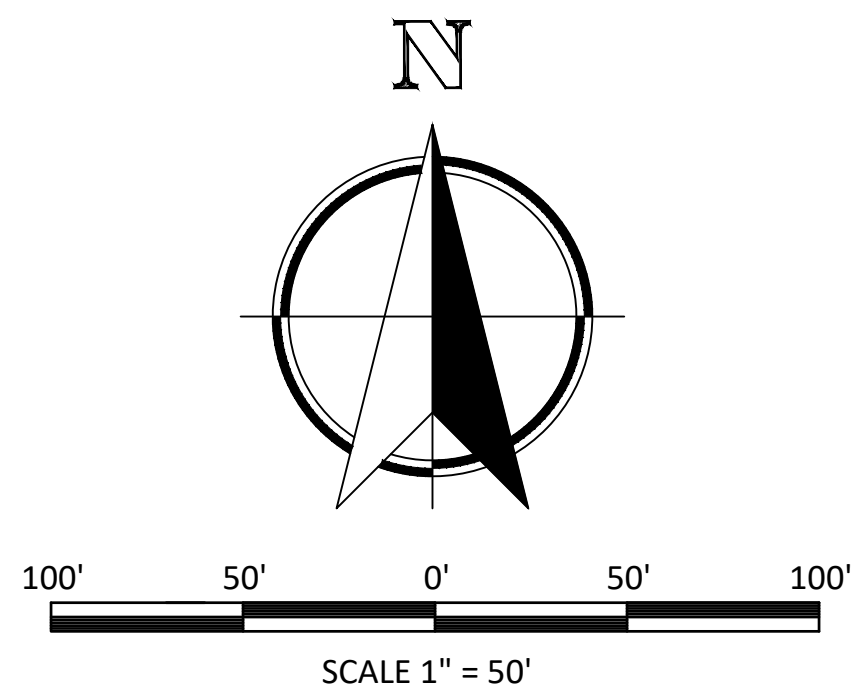
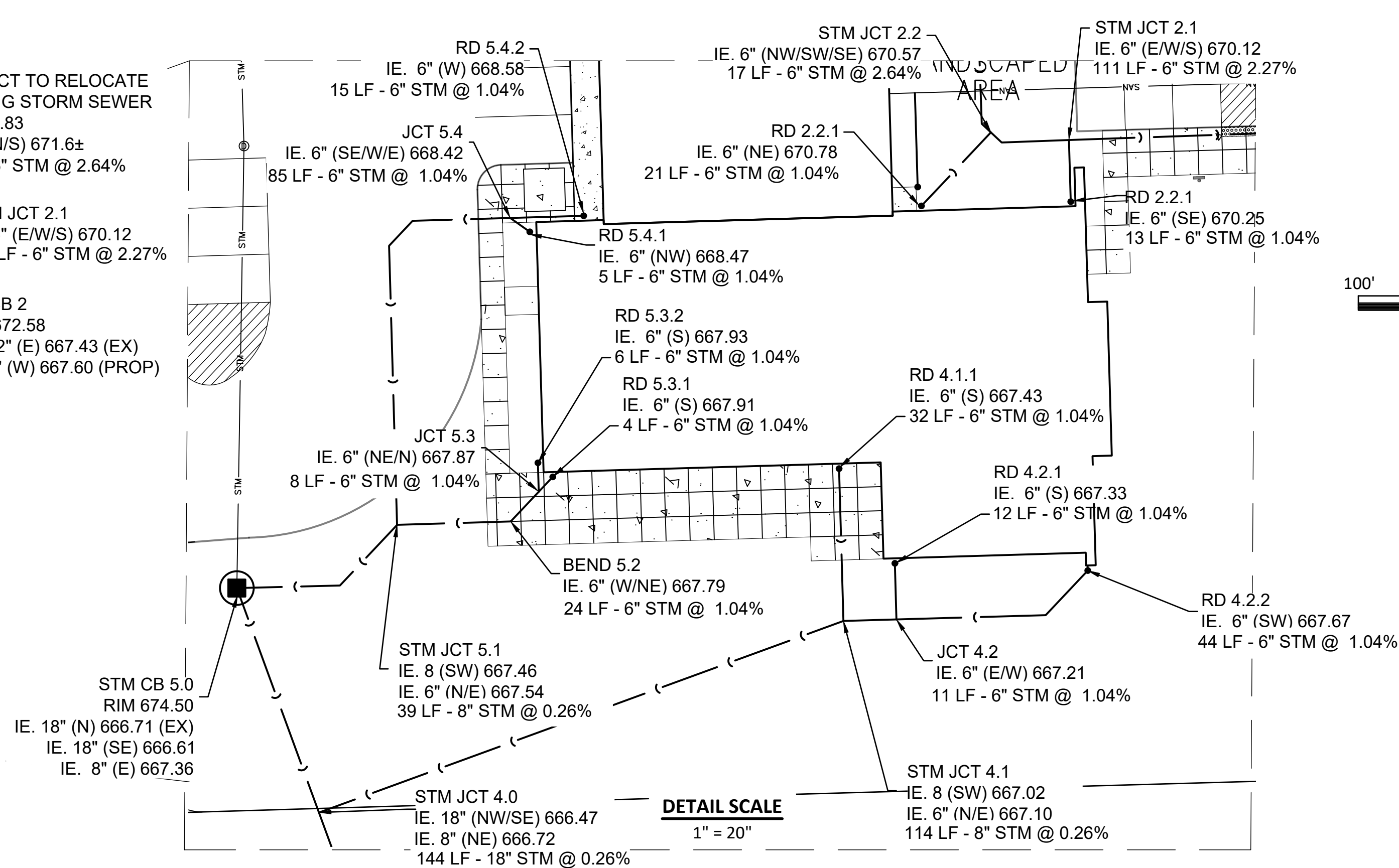


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C-3

DEMOLITION PLAN



SANITARY SEWER SPECIFICATIONS

SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN", 6TH EDITION, DECEMBER 22, 2003 WITH ADDENDA NO. 1 AND NO. 2, HEREIN REFERRED TO AS THE "STANDARD SPECIFICATIONS".

SANITARY SEWER LATERALS SHALL HAVE A GREEN 10 GAUGE LOCATOR WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE AT THE EDGE OF THE BUILDING WITHIN THE CLEANOUT RISER FROST SLEEVE.

SANITARY SEWER LATERAL PIPE MATERIAL SHALL BE 4" PVC CLASS SDR-26, CONFORMING TO THE REQUIREMENTS OF ASTM D3034 AND F-789/P546 WITH RUBBER GASKETS. CLEAN-OUT RISERS SHALL BE 4" DIAMETER WITH 6" DIAMETER FROST SLEEVE CONSTRUCTED OF THE SAME MATERIAL.

ALL SEWER LINES INSTALLED IN EXISTING OR PROPOSED PAVED AREAS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH TABLE 37, CHAPTER 8.43.4 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS. TRENCHES RUNNING PARALLEL TO AND LESS THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE COMPACTED GRANULAR BACKFILL.

PROVIDE FIVE FEET (5') OF COVER OVER ALL SANITARY SEWERS AND FIVE AND ONE HALF FEET (5-1/2') OF COVER OVER ALL WATER MAINS. MINIMUM HORIZONTAL SEPARATION OF UTILITY MAINS IS EIGHT FEET (8'). PROVIDE VERTICAL SEPARATION OF UTILITIES PER CODE.

THE SANITARY SEWER CONNECTION IS REQUIRED TO BE INSPECTED BY THE RACINE WATER UTILITY. NOTIFY RACINE WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE SEWER.

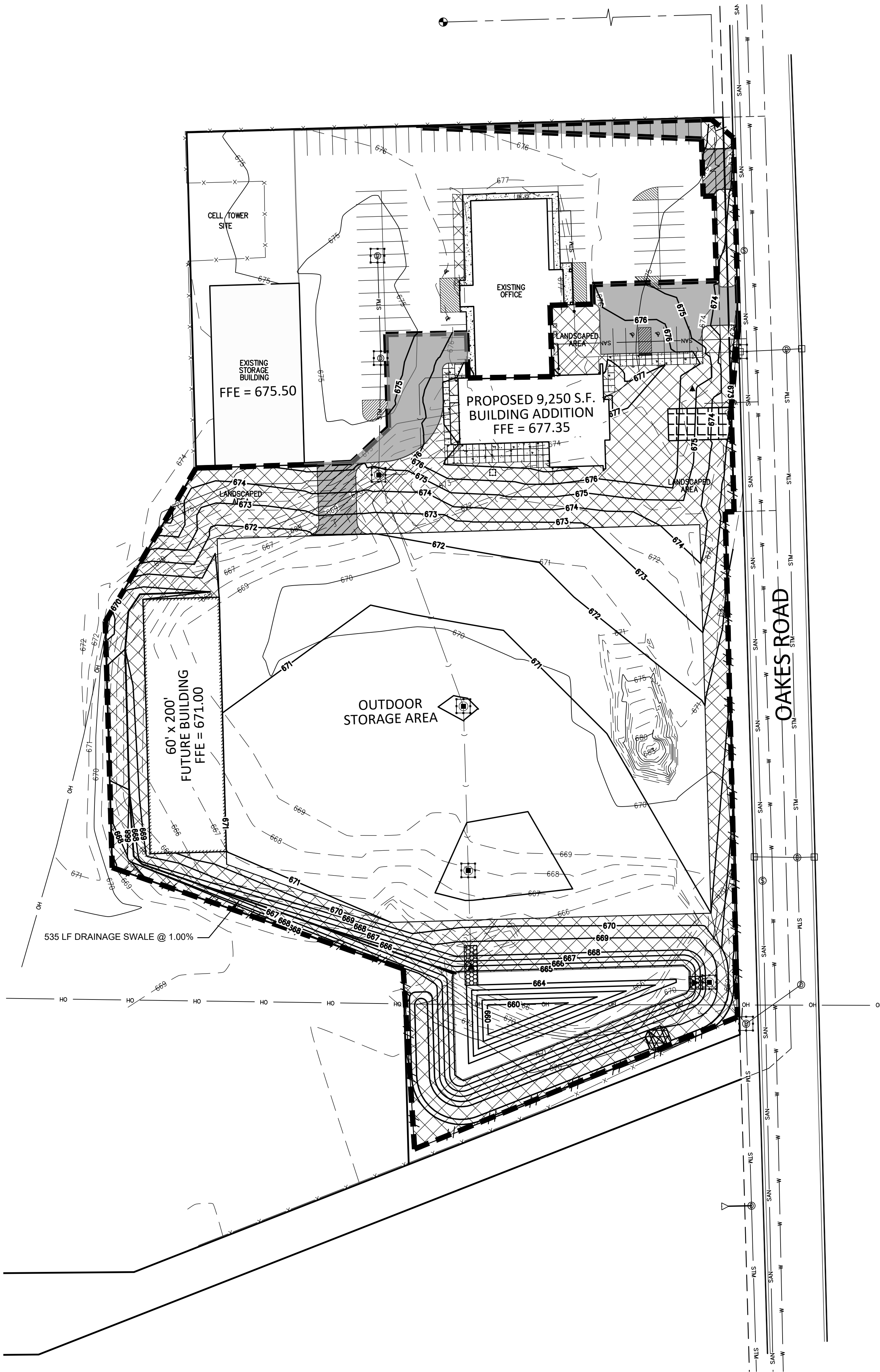
AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

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—) — PROPOSED STORM SEWER
 —> — PROPOSED SANITARY SEWER
 —W— PROPOSED WATER MAIN



REFERENCES

EROSION CONTROL, EARTHWORK, SITE GRADING AND PAVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STATE OF WISCONSIN, STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION", CURRENT EDITION, HEREIN REFERRED TO AS THE "STATE SPECIFICATIONS".

SITE GRADING & SUB-GRADE PREPARATION

ALL EXISTING TOPSOIL AND OTHER NON-STRUCTURAL MATERIAL WITHIN THE PROPOSED BUILDING PAD, PAVEMENT SECTIONS AND STRUCTURAL FILL AREAS SHALL BE STRIPPED AND HAULED OFF SITE.

EXCAVATE, GRADE & SHAPE SUBGRADES TO THE LINES AND GRADES SHOWN ON THE PLANS. SEE TYPICAL SECTIONS AND CONSTRUCTION DETAILS FOR PAVEMENT THICKNESS AND MATERIALS.

FOR STRUCTURAL FILL DEPTHS LESS THAN 20 FEET, THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION OF THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL HAVE A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS.

THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF THE OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY RECOMMENDED / APPROVED BY THE SOILS ENGINEER MONITORING THE PLACEMENT AND COMPACTION. COHESIVE SOILS WITH MODERATE TO HIGH EXPANSIVE POTENTIALS (PI>15) SHOULD, HOWEVER, BE PLACED, COMPACTED AND MAINTAINED PRIOR TO CONSTRUCTION AT A MOISTURE CONTENT OF 3±1 PERCENT ABOVE OPTIMUM MOISTURE CONTENT TO LIMIT FUTURE HEAVE.

THE FILL SHALL BE PLACED IN LAYERS WITH A MAXIMUM LOOSE THICKNESS OF 9 INCHES. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTION.

UPON COMPLETION OF THE GRADING AND COMPACTION OF THE SUBGRADE, A PROOF ROLL SHALL BE CONDUCTED BY THE CONTRACTOR ON ALL SUBGRADES TO RECEIVE DENSE AGGREGATE BASE COURSE. THE CONTRACTOR SHALL PROVIDE A FULLY LOADED QUAD-AXLE TRUCK (18 TON MINIMUM LOAD) TO PERFORM THE PROOF ROLL. CONTRACTOR SHALL COORDINATE THE PROOF ROLL WITH THE OWNER OR HIS REPRESENTATIVES TO ENSURE THEY ARE PRESENT.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

EROSION & SEDIMENT CONTROL NOTES

THE EROSION AND SEDIMENT CONTROL PROVISIONS DETAILED ON THE DRAWINGS AND SPECIFIED HEREIN ARE THE MINIMUM REQUIREMENTS FOR EROSION CONTROL.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE ANY REVISIONS, ADJUSTMENTS OR PROPOSED ALTERATIONS TO THE CONSTRUCTION SEQUENCING AND/OR EROSION CONTROL PLANS. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND REGULATORY OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BEST MANAGEMENT PRACTICES (BMP'S). ALL SIGNIFICANT DEVIATIONS FROM THE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF RACINE.

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE, REPAIR AND REMOVAL OF ALL EROSION CONTROL DEVICES REQUIRED FOR THE PROJECT WHICH SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF RACINE ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS. SEE CITY OF RACINE AND WDNR EROSION CONTROL PERMITS FOR ADDITIONAL DETAILS OR REQUIREMENTS.

ALL EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AS REQUIRED IN THE WISCONSIN ADMINISTRATIVE CODE (SPS 360.21) AND MAINTAINED PER SPS 360.22.

INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL CHECK THE EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS AT ALL THE FOLLOWING INTERVALS UNTIL THE SITE IS STABILIZED:

- AT LEAST WEEKLY.
- WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES IMMEDIATELY REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.

THE CONTRACTOR SHALL MAINTAIN A MONITORING RECORD WHEN THE LAND DISTURBING CONSTRUCTION ACTIVITY INVOLVES ONE OR MORE ACRES. THE MONITORING RECORD SHALL CONTAIN AT LEAST THE FOLLOWING INFORMATION:

- THE CONDITION OF THE EROSION AND SEDIMENT CONTROL PRACTICES AT THE INTERVALS SPECIFIED ABOVE.
- A DESCRIPTION OF THE MAINTENANCE CONDUCTED TO REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL PRACTICES. EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, THE CITY OF RACINE OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT.

EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, THE CITY OF RACINE OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE OR LOCAL INSPECTORS AND/OR THE ENGINEER OF RECORD, SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

ALL SEDIMENT AND EROSION CONTROL DEVICES, INCLUDING PERIMETER EROSION CONTROL MEASURES SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION SHALL BE INSTALLED PRIOR TO COMMENCING EARTH DISTURBING ACTIVITIES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES UNTIL THE SITE HAS ESTABLISHED A VEGETATIVE COVER AND IS STABILIZED.

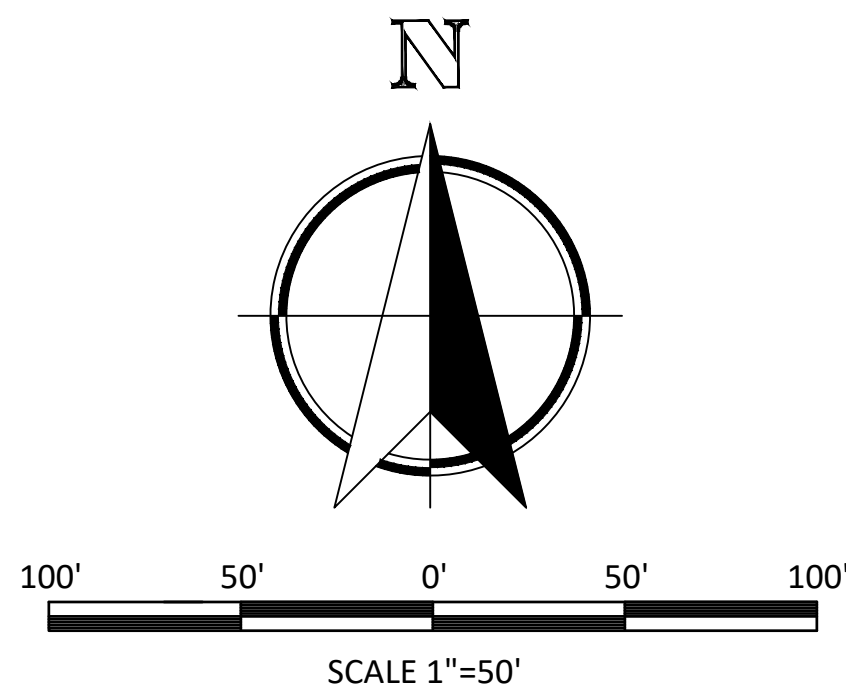
INSTALL SILT FENCE PER SECTION 628 OF THE "STATE SPECIFICATIONS" AND WDNR TECHNICAL STANDARD 1056 AT THE LOCATIONS SHOWN ON THE PLAN. ERECT SILT FENCE PRIOR TO STARTING A CONSTRUCTION OPERATION THAT MIGHT CAUSE SEDIMENTATION OR SILTATION AT THE SITE OF THE PROPOSED SILT FENCE. CONTRACTOR SHALL INSTALL SILT FENCING AT DOWNSLOPE SIDE OF STOCKPILES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL REQUIRED SILT FENCE MATERIAL.

ALL PROPOSED STORM SEWER STRUCTURES AND ADJACENT EXISTING STORM INLETS SHALL HAVE A LAYER OF GEOTEXTILE FABRIC (TYPE "FF") INSTALLED BETWEEN THE FRAME & GRATE TO PREVENT SEDIMENT OR SILT FROM ENTERING THE SYSTEM. THE INLET PROTECTION SHALL BE INSPECTED BY THE CONTRACTOR AND REPLACED EVERY 14 DAYS AND AFTER EACH RAINFALL EVENT. FABRIC TO BE REPLACED AS NEEDED TO MEET FIELD CONDITIONS.

THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE (WHEN NECESSARY OR AS REQUIRED BY LOCAL INSPECTORS AND/OR ENGINEER OF RECORD).

EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):

- PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
- BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
- ANY WATER PUMPED FROM PITTS, TRENCHES, WELLS OR PONDS SHALL BE DISCHARGED INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 AND BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM OR DRAINAGE DITCH. PUMPED WATER CAN BE TREATED IN FILTER BAGS, STONE FILTERS OR SIMILAR DEVICES. QUALITY OF PUMPED WATER SHALL BE CONTINUOUSLY MONITORED DURING PUMPING OPERATIONS.



CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES. PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES, OTHER THAN SHOWN ON THE PLANS, MUST HAVE PRIOR APPROVAL BY THE CITY OF RACINE.

DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.

ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 7 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF RACINE ORDINANCE.

EXCESS SOILS ARE TO BE HAULED OFF SITE OR ENCLOSED WITH AN APPROVED SEDIMENT CONTROL DEVICE WITHIN 24 HOURS.

SOIL PILES LEFT UNDISTURBED FOR 7 OR MORE DAYS WILL NEED TO BE STABILIZED BY AN APPROVED METHOD. ALL DISTURBED AREAS NOT COVERED BY PERMANENT STRUCTURES OR PAVEMENT SHALL BE FINISHED GRADED WITH 3'-6" TOPSOIL, SEEDED AND STABILIZED WITHIN 7 DAYS OF REACHING FINAL GRADE. IF DISTURBANCE OCCURS AFTER NOVEMBER 15TH AND BEFORE MAY 15TH, TYPE A SOIL STABILIZER SHALL BE USED.

ALL DISTURBED SLOPES EXCEEDING 5:1, SHALL BE STABILIZED WITH CLASS 1, TYPE A EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WisDOT) APPROVED (POLYMER) SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF. AS REQUIRED, EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052.

PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AT THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF RACINE.

EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

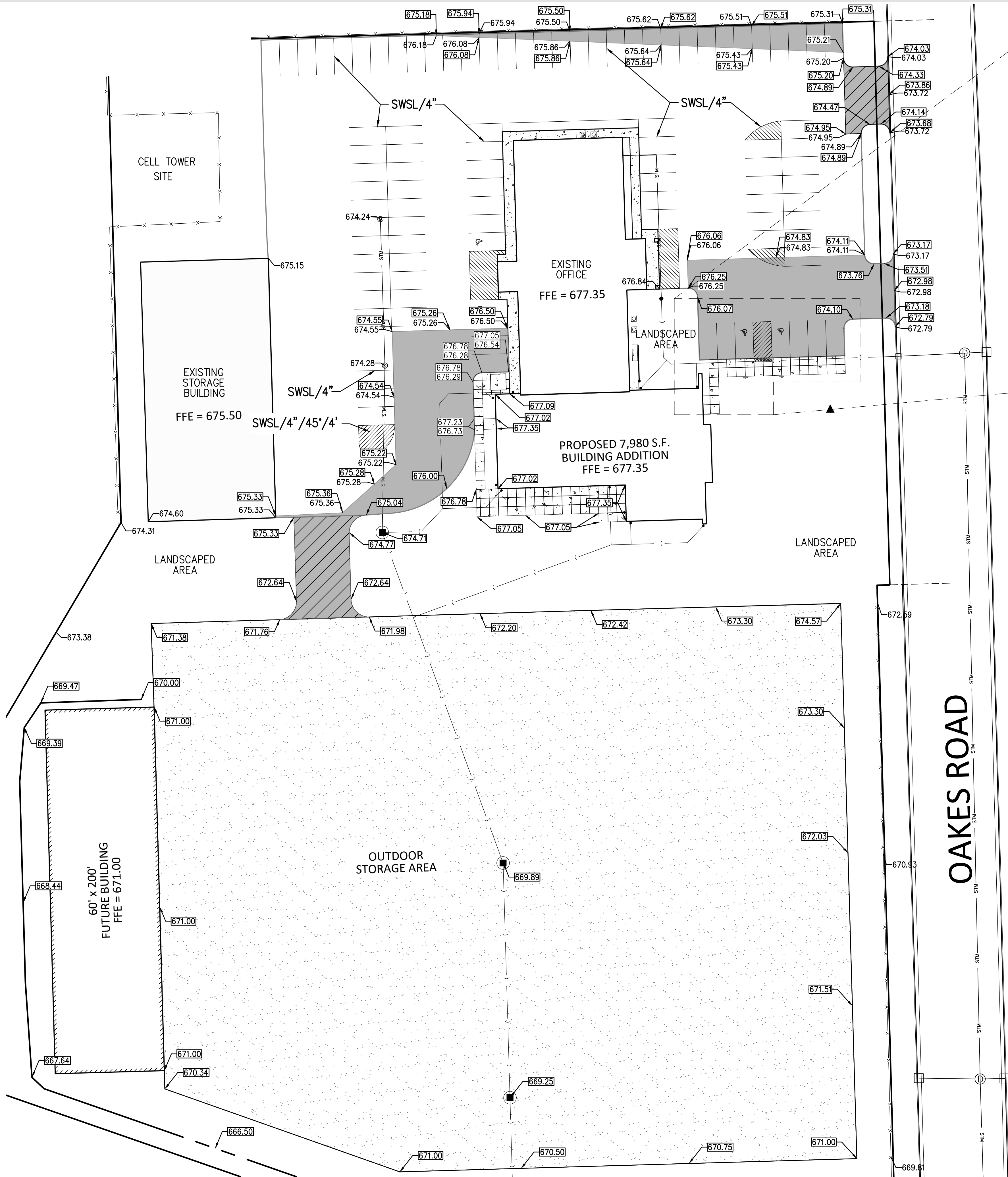
GRADING & EROSION CONTROL LEGEND

- 692 — EXISTING CONTOURS
- 702 — PROPOSED CONTOURS
- \ \ — SILT FENCE
-  STORM SEWER INLET PROTECTION
-  EROSION MAT - CLASS 1, URBAN, TYPE B
-  GRAVEL TRACKING PAD
-  MEDIUM RIP RAP
-  DISTURBANCE AREA (239,139 S.F. = 5.490 AC)

A.W. OAKES & SONS INC. BUILDING ADDITION
2000 Oakes Road, Racine, WI 53406
SITE GRADING & EROSION CONTROL PLAN

PROJECT NO.:
20050399.04
DRAWN BY: ALJ CHECKED BY: MFM
DATE: **5-10-2022**
SHEET NO.:

C-5



OAKES ROAD

REFERENCES

STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION, HEREIN REFERRED TO AS "STATE SPECIFICATIONS." THE CURRENT VERSION OF THE "STATE SPECIFICATIONS" IS AVAILABLE ON THE WISDOT WEBSITE AT <http://roadwaystandards.dot.wi.gov/standards/stdspec/index.htm>

"MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), 2009 EDITION WITH REVISIONS 1 AND 2 INCORPORATED.

GENERAL NOTES

CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE A MINIMUM OF 3 DAYS BEFORE THE START OF CONSTRUCTION TO IDENTIFY ANY UNDERGROUND UTILITIES PRESENT AT THE SITE. THE LOCATION OF EXISTING PRIVATE UTILITIES MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

ALL PUBLIC SIDEWALKS, CURBS OR PAVEMENTS DISTURBED DURING CONSTRUCTION SHALL BE SAW CUT AT THE NEAREST JOINT AND REPLACED IN KIND PER THE "CITY SPECIFICATIONS". CURB AND GUTTER REPLACEMENT SECTIONS SHALL BE TIED TO EXISTING BY INSTALLING THREE (3) NO. 4 (1/2-INCH), 18-INCH LONG TIE BARS, EVENLY SPACED, DRIVEN 9-INCHES INTO THE EXISTING CURB AND GUTTER AT THE CONNECTION POINT.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

PAVEMENT SPECIFICATIONS

DENSE AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF SECTION 305 OF THE "STATE SPECIFICATIONS". THE COMPLETED BASE SHALL BE IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SHALL BE CONSTRUCTED IN FOUR-INCH (4") LIFTS AND COMPACTED ACCORDING TO SUBSECTION 305.3.2.2 OF THE "STATE SPECIFICATIONS".

ASPHALTIC CONCRETE PAVEMENT SHALL BE WISDOT LT 58-28 S MEETING THE REQUIREMENTS OF SECTION 460 OF THE "STATE SPECIFICATIONS". PAVEMENT SHALL BE INSTALLED IN TWO (2) LIFTS IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET. A TACK COAT SHALL BE INSTALLED BETWEEN THE LOWER AND UPPER COURSES IN ACCORDANCE WITH SECTION 455.3.2 OF THE "STATE SPECIFICATIONS".

CONCRETE FOR PAVEMENT(S), SIDEWALKS, CURB & GUTTER AND DRIVEWAY APRONS SHALL BE GRADE A-FA, AIR-ENTRAINED, AS SPECIFIED IN SUBSECTION 501.3.1 OF THE "STATE SPECIFICATIONS". ALL EXTERIOR CONCRETE SHALL BE "READY-MIXED" AND RECEIVE A BROOM FINISH. ALL CONCRETE WORK SHALL BE CURED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBSECTION 415.2.4 OF THE "STATE SPECIFICATIONS".

ALL CONCRETE CURB AND GUTTER SHALL BE 30" VERTICAL FACE OR DRIVEWAY CURB CONFORMING TO THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SECTION 601 OF THE "STATE SPECIFICATIONS". CURB & GUTTER SHALL BE "REVERSE PAN CURB" OR "STANDARD CURB" AS INDICATED BY THE LEGEND BELOW AND INSTALLED IN A MANNER TO SHED STORM WATER RUNOFF TOWARDS THE DRAINAGE STRUCTURES.

CONTRACTION JOINTS SHALL BE AT TEN-FOOT (10') INTERVALS FOR CURB AND GUTTER AND FIVE-FOOT (5') INTERVALS FOR FIVE-FOOT (5') WIDE SIDEWALK. FINAL JOINTING PLAN FOR CONCRETE PAVEMENT TO BE PREPARED BY THE CONTRACTOR.

EXPANSION JOINTS SHALL BE PLACED AS OUTLINED IN SUBSECTION 601.3.6 OF THE "STATE SPECIFICATIONS". FILLER MATERIAL FOR EXPANSION JOINTS SHALL BE 1/2" FIBER MATERIAL.

CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLES, VALVE BOXES, ETC.) TO MATCH THE FINISHED GRADES OF THE AREA AFFECTED BY THE CONSTRUCTION.

PAVEMENT GRADING LEGEND

804.85	EXISTING SPOT GRADES		PROPOSED ASPHALT PAVEMENT
804.85	PROPOSED SPOT GRADES		PROPOSED CONCRETE PAVEMENT
805.35 804.85	TOP OF CURB/SIDEWALK GRADE FINISHED PAVEMENT GRADE		FUTURE GRAVEL STORAGE AREA

SIGN/POST LEGEND

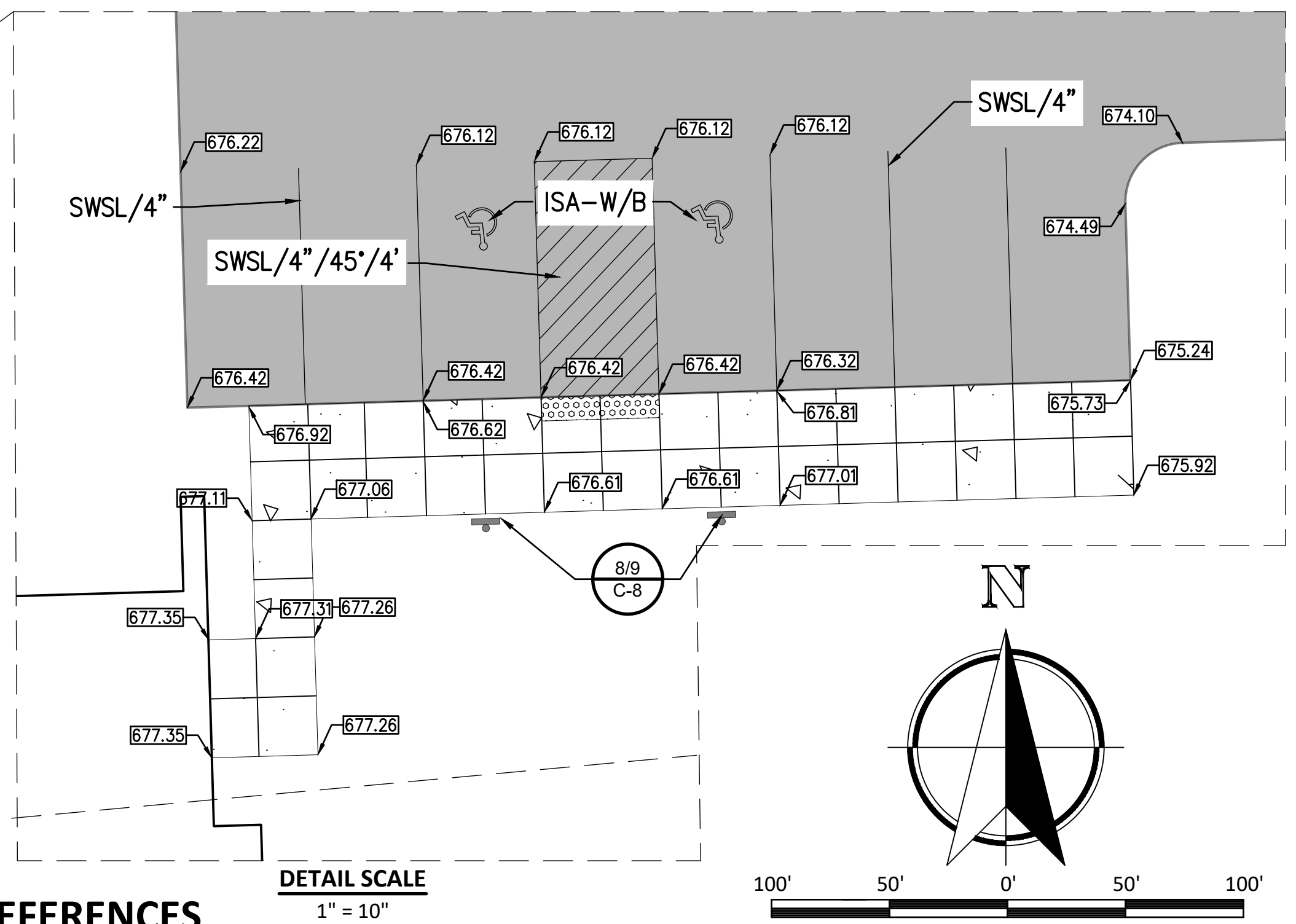
= SIGN MOUNTED ON POST (DETAIL 8 OR DETAIL 9)
AS SHOWN ON SHEET C-8

PAVEMENT MARKING LEGEND

ISA-W/B - INTERNATIONAL SYMBOL FOR ACCESSIBILITY - WHITE ON BLUE BACKGROUND

SWSL/4"/45"/4' - SINGLE WHITE SOLID LINE / 4" WIDE EACH, 45', 4' O.C.

SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE EACH



DIGGERS HOTLINE
Call 811 or (800) 242-8511
www.DiggersHotline.com

UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.

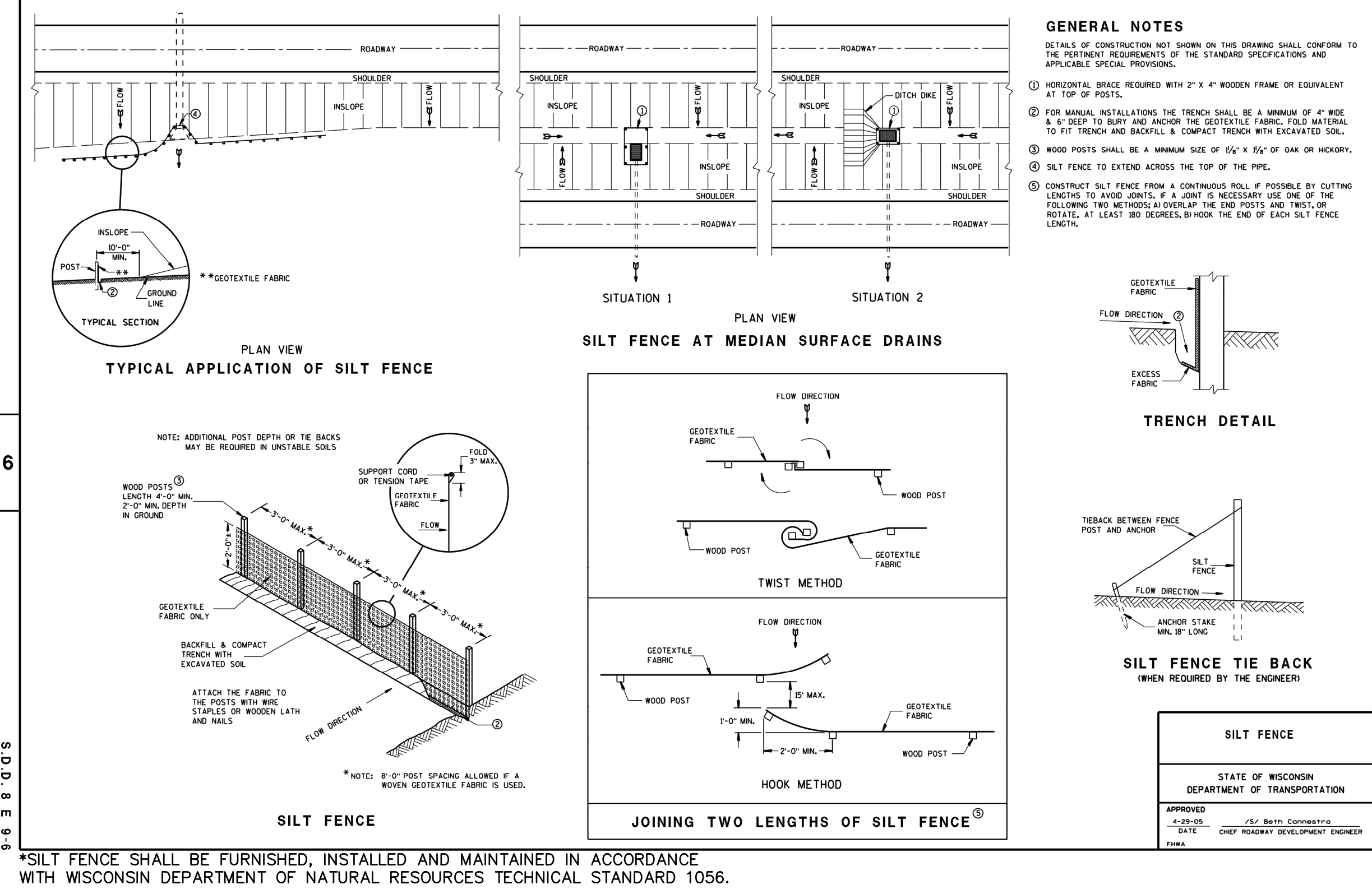
A.W. OAKES & SONS INC. BUILDING ADDITION
2000 Oakes Road, Racine, WI 53406

PAVEMENT GRADING PLAN

PROJECT NO.: 2005039904
DRAWN BY: ALJ CHECKED BY: MFM
DATE: 5-10-2022
SHEET NO.: C-6

C-6

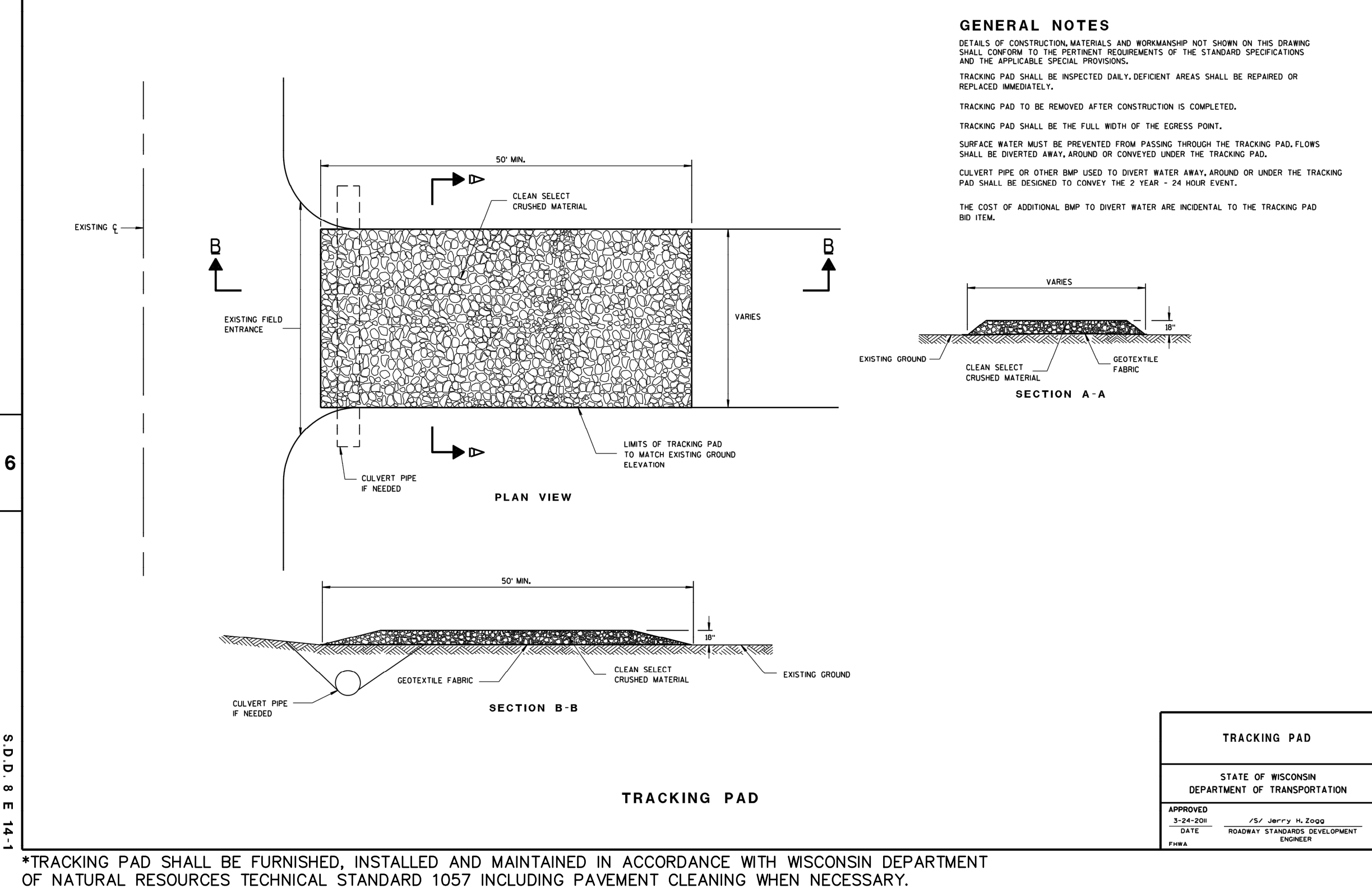
SDD 8e9 Silt Fence



1 SILT FENCE DETAIL

N.T.S.

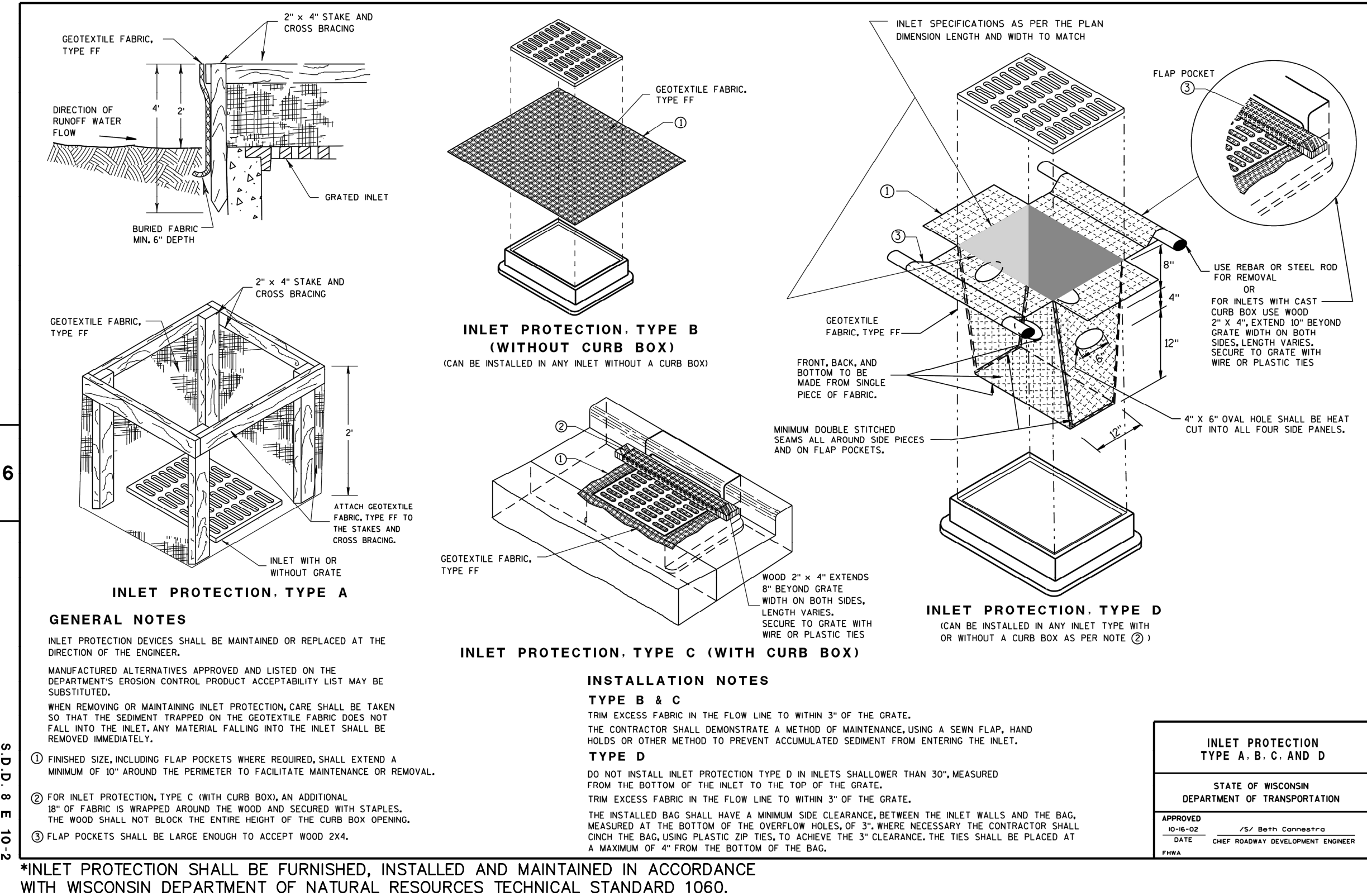
SDD 8e14 Tracking Pad



2 TRACKING PAD DETAIL

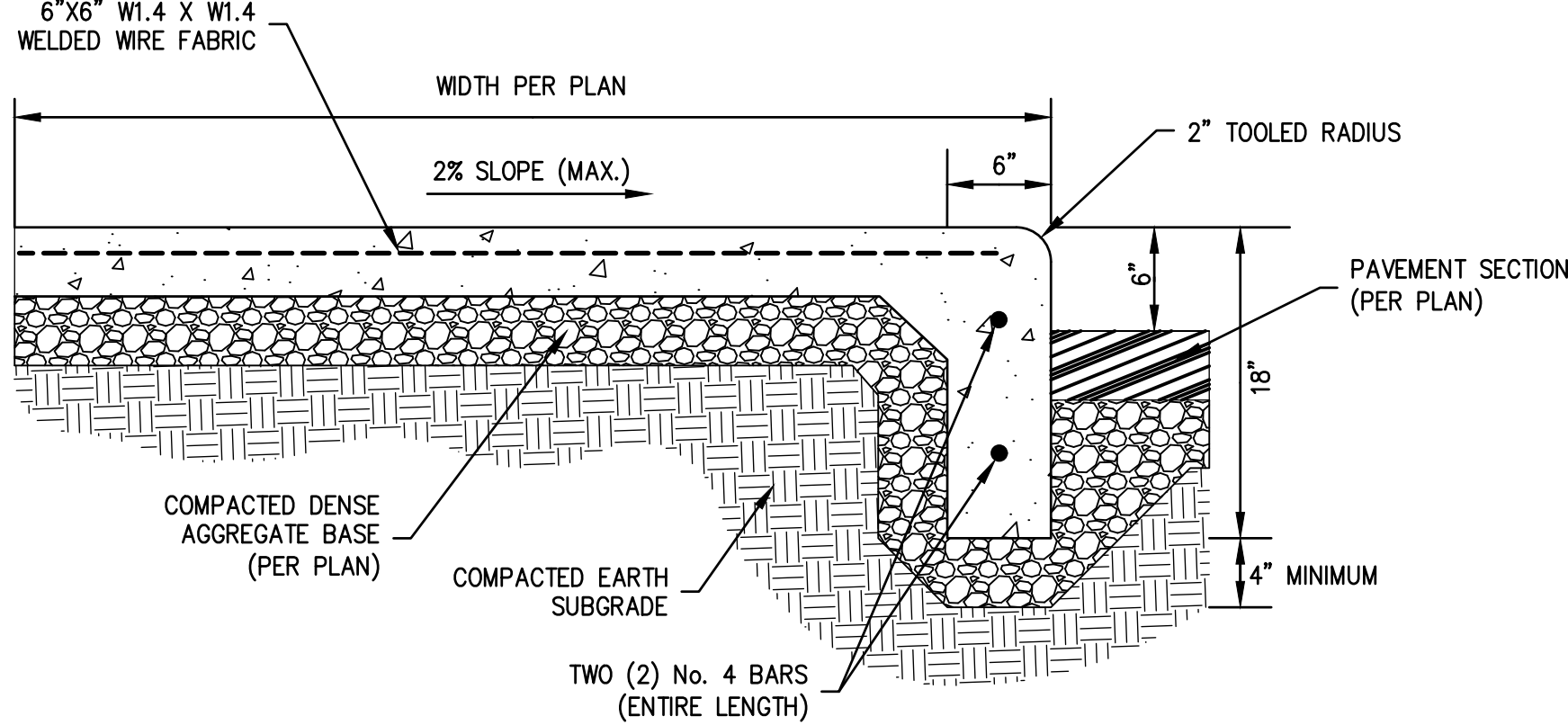
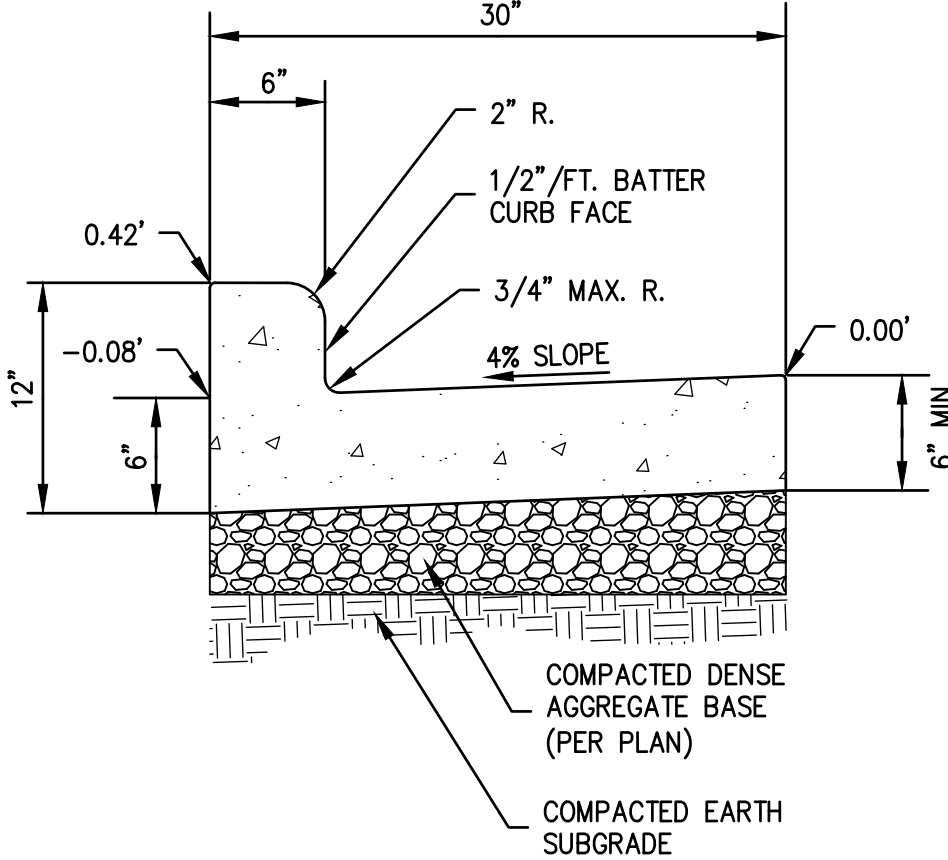
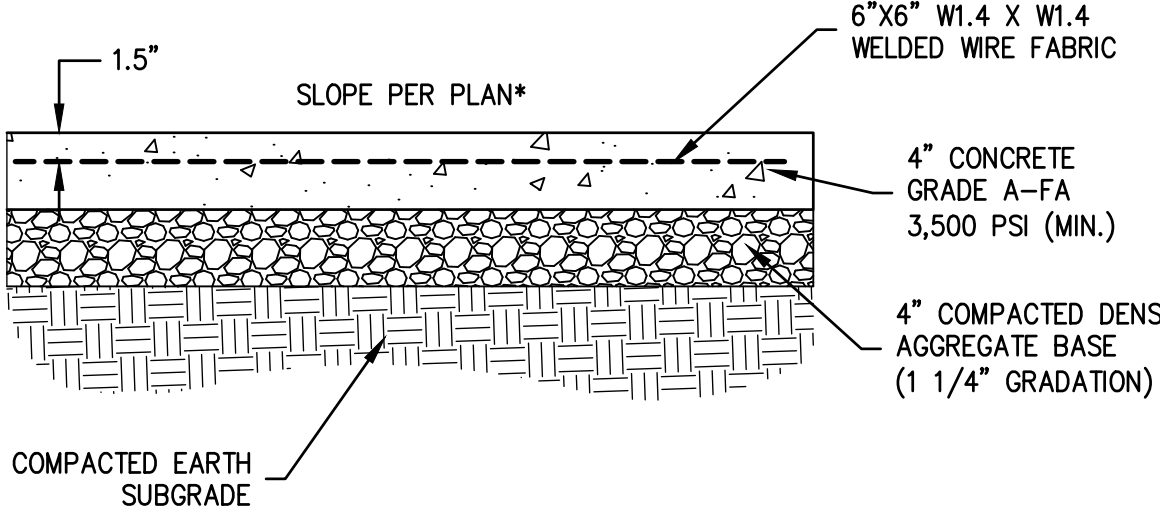
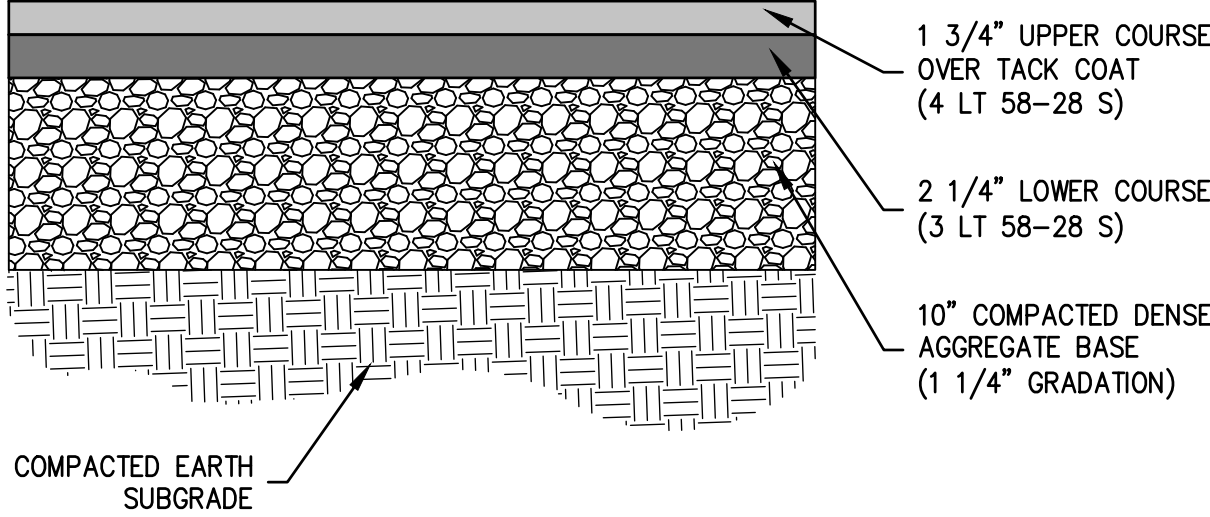
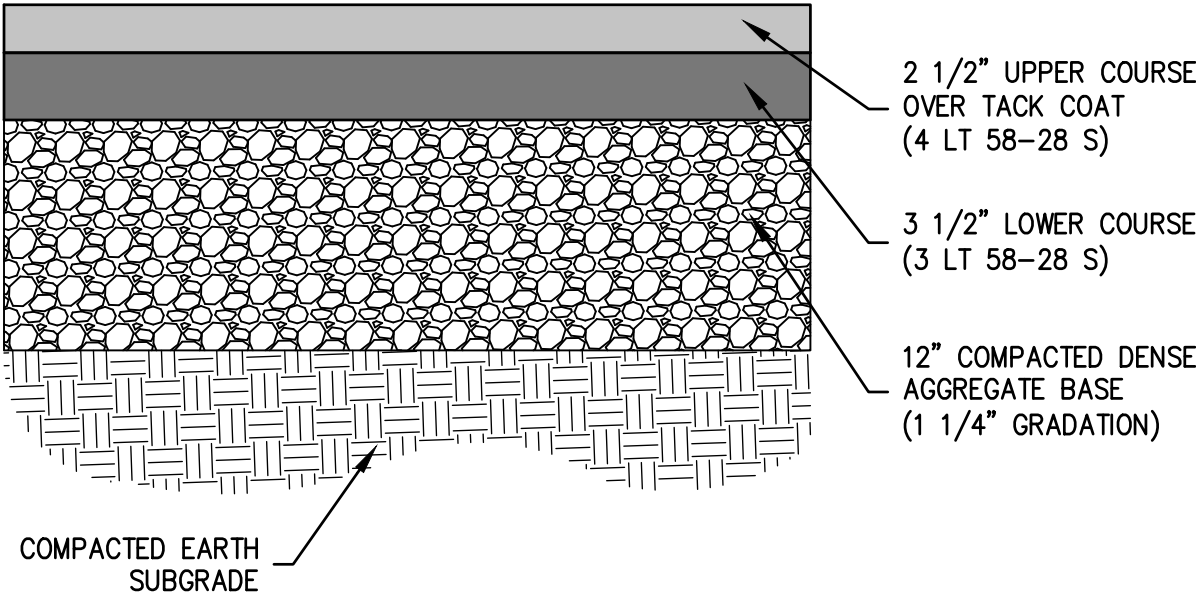
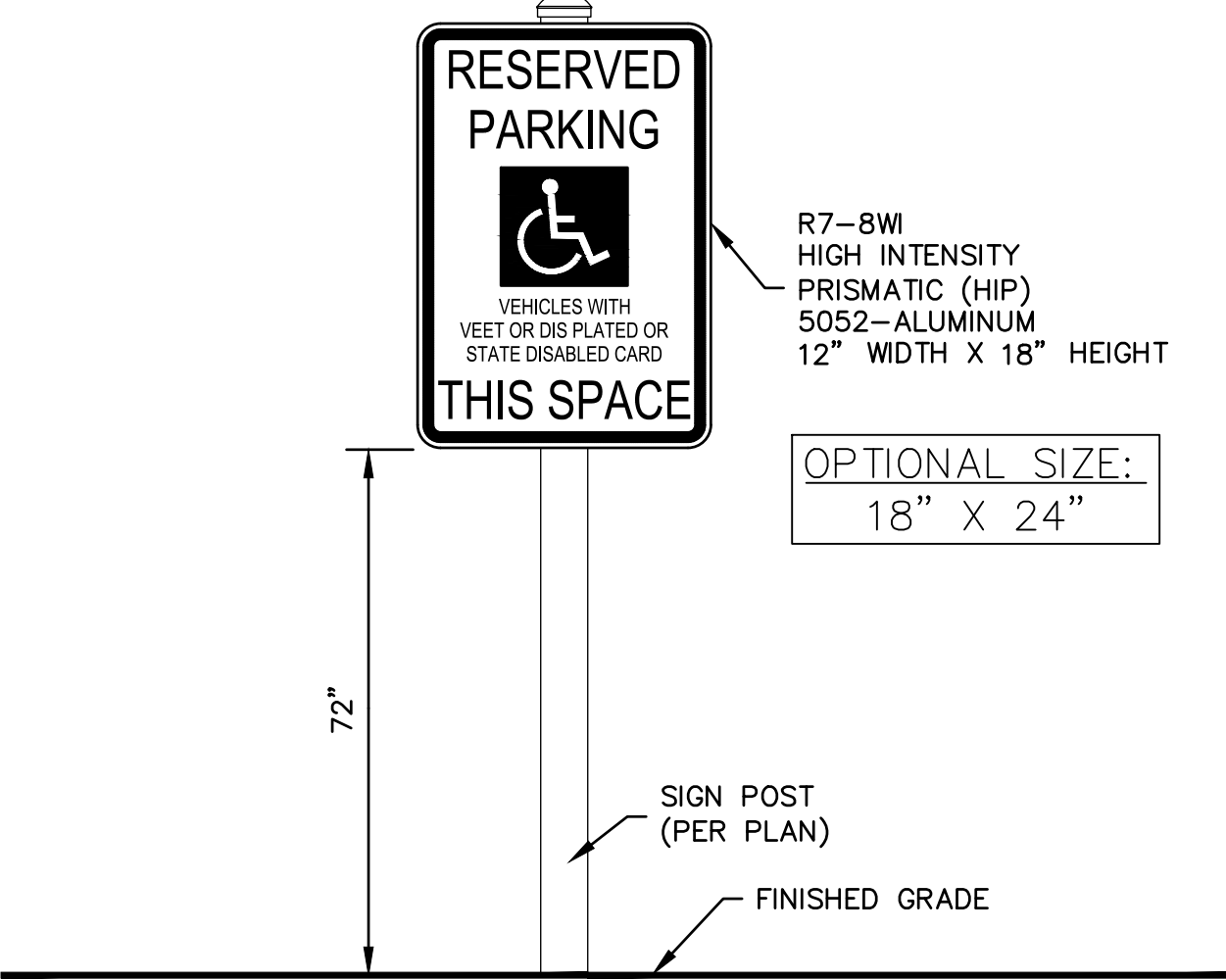
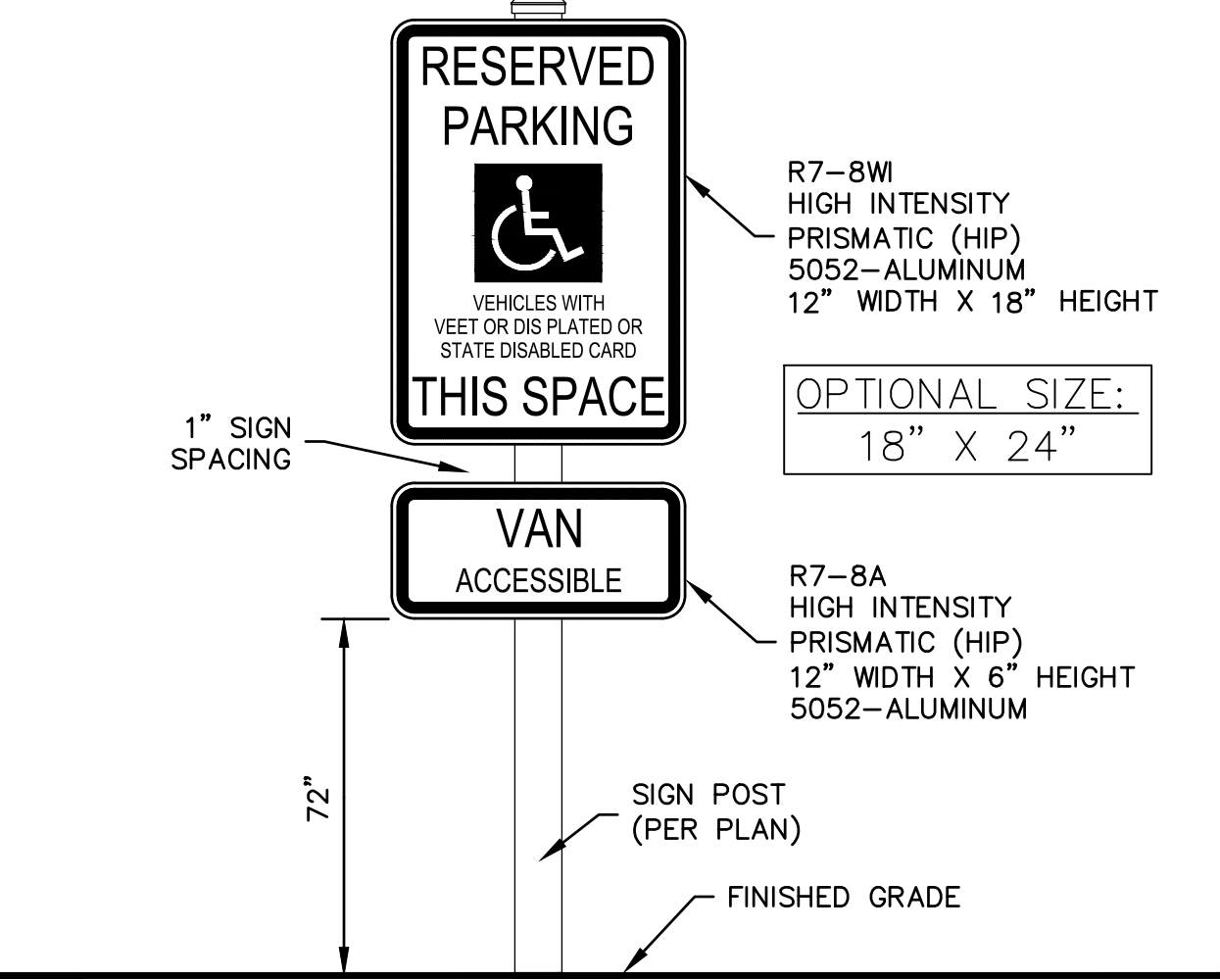
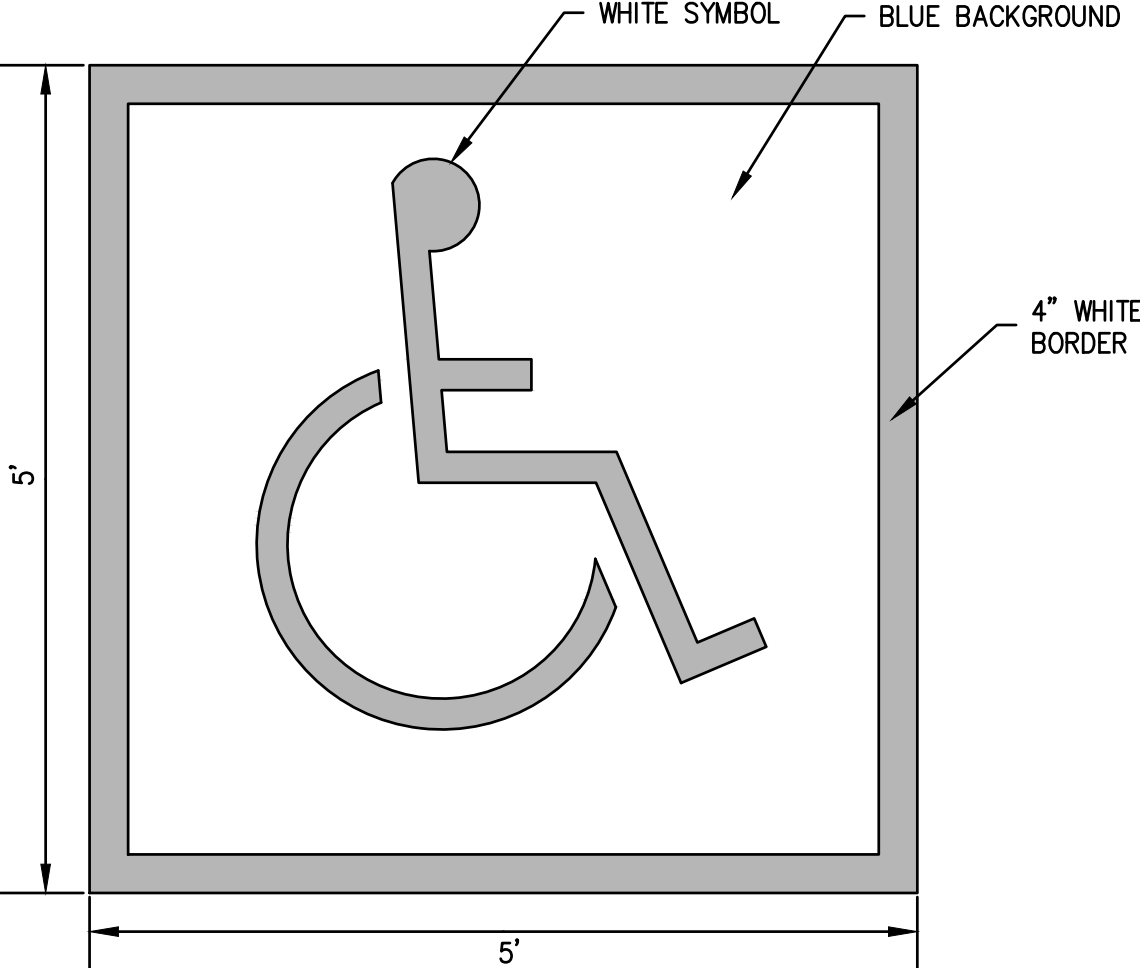
N.T.S.

SDD 8e10 Inlet Protection Type A, B, C and D



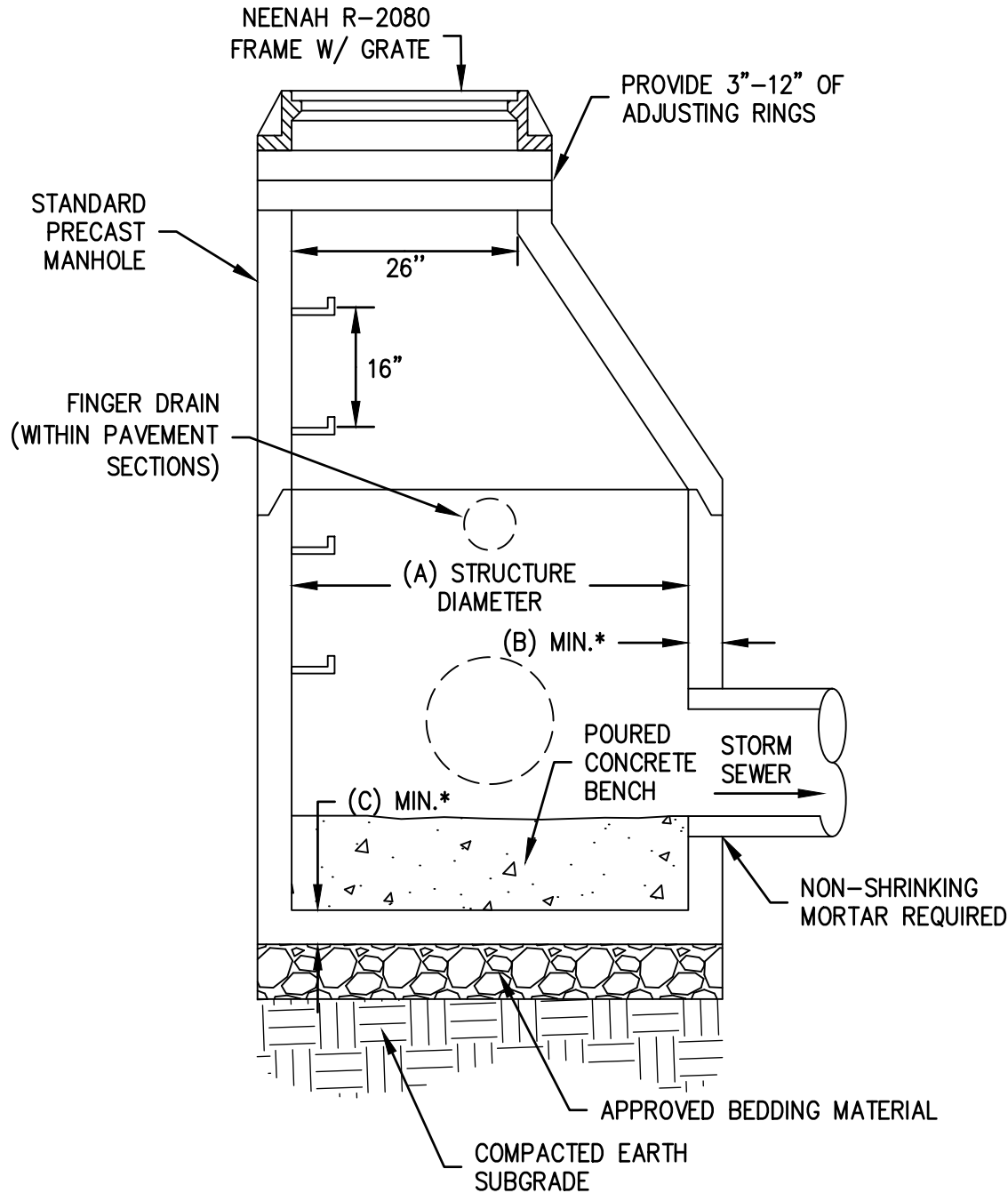
3 INLET PROTECTION DETAIL

N.T.S.

INSTALLATION NOTES FOR CURB AND GUTTER DETAILS 1. CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED DENSE AGGREGATE BASE COURSE EXTENDING A MINIMUM OF 12 INCHES BEHIND THE BACK OF CURB. 2. CURB PAN SHALL BE A MINIMUM OF SIX INCHES (6") THICK, EXPECT AT DRIVEWAY LOCATIONS WHERE IT SHALL BE A MINIMUM OF EIGHT INCHES (8") THICK. 3. INSTALL TWO (2) NO. 4, 18-INCH LONG EPOXY COATED TIE BARS ANCHORED WITH AN EPOXY, EVENLY SPACED, DRIVEN NINE INCHES (9") INTO TO EXISTING OR PREVIOUSLY INSTALLED CURB AND GUTTER. 4. WHEN PLACED ADJACENT TO NEW CONCRETE, INSTALL NO. 4 18-INCH LONG EPOXY COATED TIE BARS, 36" ON CENTER PLACED A MINIMUM OF THREE AND ONE HALF INCHES (3½") BELOW THE TOP OF THE CURB PAN. 5. LATERAL CONTRACTION JOINTS TO BE PLACED AT AN INTERVAL OF 10 FEET TO A MINIMUM DEPTH OF TWO INCHES (2"). 6. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT POINTS OF CURVATURE, ANGLE POINTS, THREE FEET (3') FROM EACH SIDE OF EVERY INLET AND EVERY 300 FEET ALONG TANGENT SECTIONS OR AS DIRECTED BY THE ENGINEER. EXPANSION JOINT FILLER MATERIAL SHALL MEET WISDOT SPECIFICATIONS HAVING THE SAME DIMENSIONS AS THE CURB & GUTTER WITH A 3/4" THICKNESS. 7. APPLY CONCRETE CURING COMPOUND PER WISDOT SPECIFICATIONS.								
1	CONCRETE CURB & GUTTER DETAIL NOTES	N.T.S.	2	INTEGRAL CONCRETE SIDEWALK / BARRIER CURB DETAIL	N.T.S.	3	30" VERTICAL FACE CONCRETE CURB AND GUTTER DETAIL	N.T.S.
 * SIDEWALK: 1.5% CROSS-SLOPE (TYP.) 2.08% CROSS-SLOPE (MAX.) PATIOS / PLAZAS / LANDINGS: 2.08% SLOPE IN ANY DIRECTION (MAX.) ALL OTHER PAVEMENTS: SLOPE PER PLAN								
4	LIGHT-DUTY CONCRETE PAVEMENT (4") (TYPICAL SECTION)	N.T.S.	5	MEDIUM-DUTY ASPHALT PAVEMENT (4") (TYPICAL SECTION)	N.T.S.	6	HEAVY-DUTY ASPHALT PAVEMENT (6") (TYPICAL SECTION)	N.T.S.
								
8	ADA "RESERVED PARKING" SIGN DETAIL	N.T.S.	9	ADA "RESERVED PARKING VAN ACCESSIBLE" SIGN DETAIL	N.T.S.	10	PAINTED INTERNATIONAL SYMBOL FOR ACCESSIBILITY DETAIL	N.T.S.

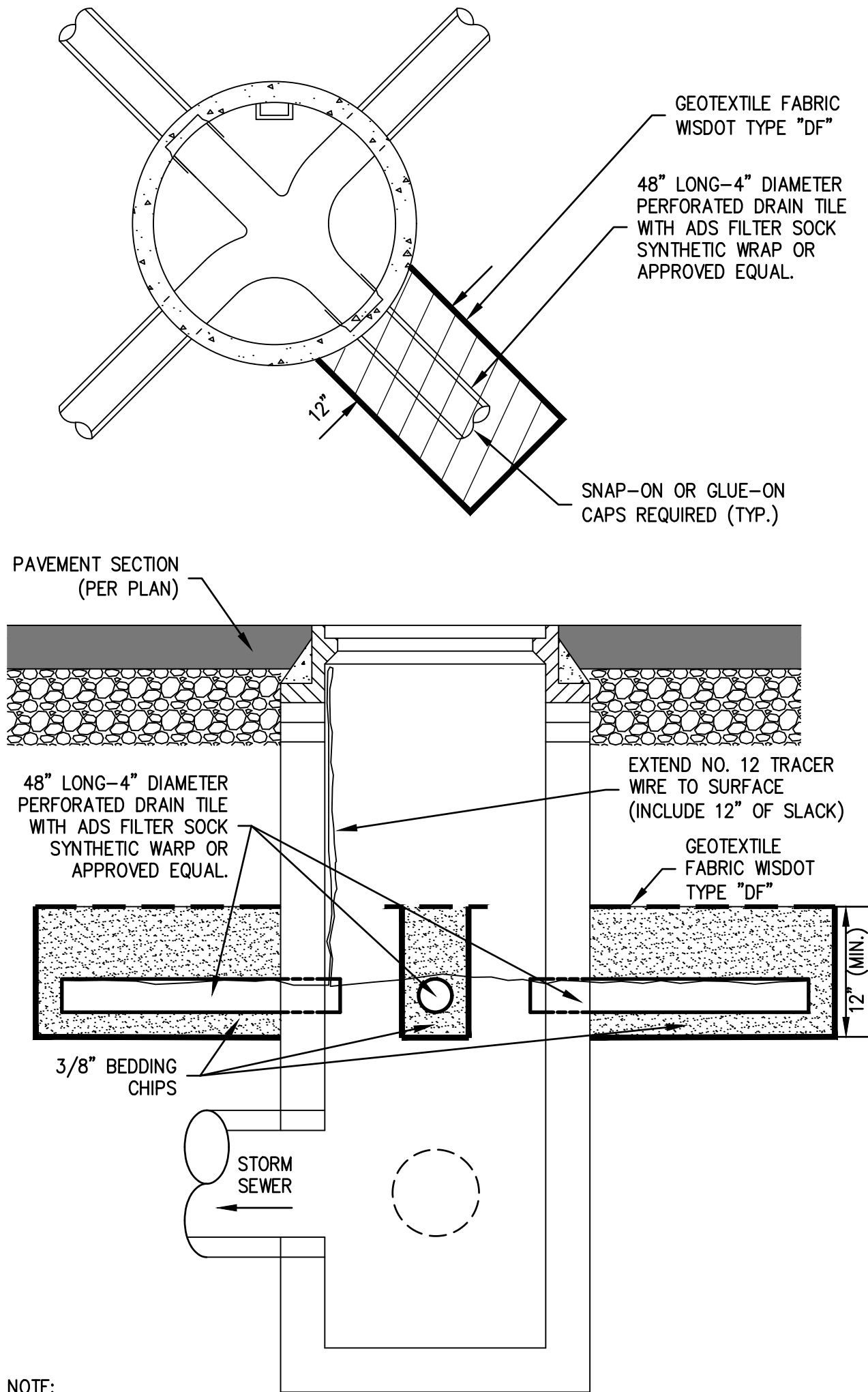
A	B	C
4'	5"	6"
5'	6"	8"
6'	7"	8"
7'	8"	8"
8' ±	9"	8"

* MINIMUM THICKNESS SHALL NOT BE LESS THAN THAT REQUIRED TO MEET AASHTO H-20 LOADINGS



1 STANDARD STORM SEWER MANHOLE DETAIL

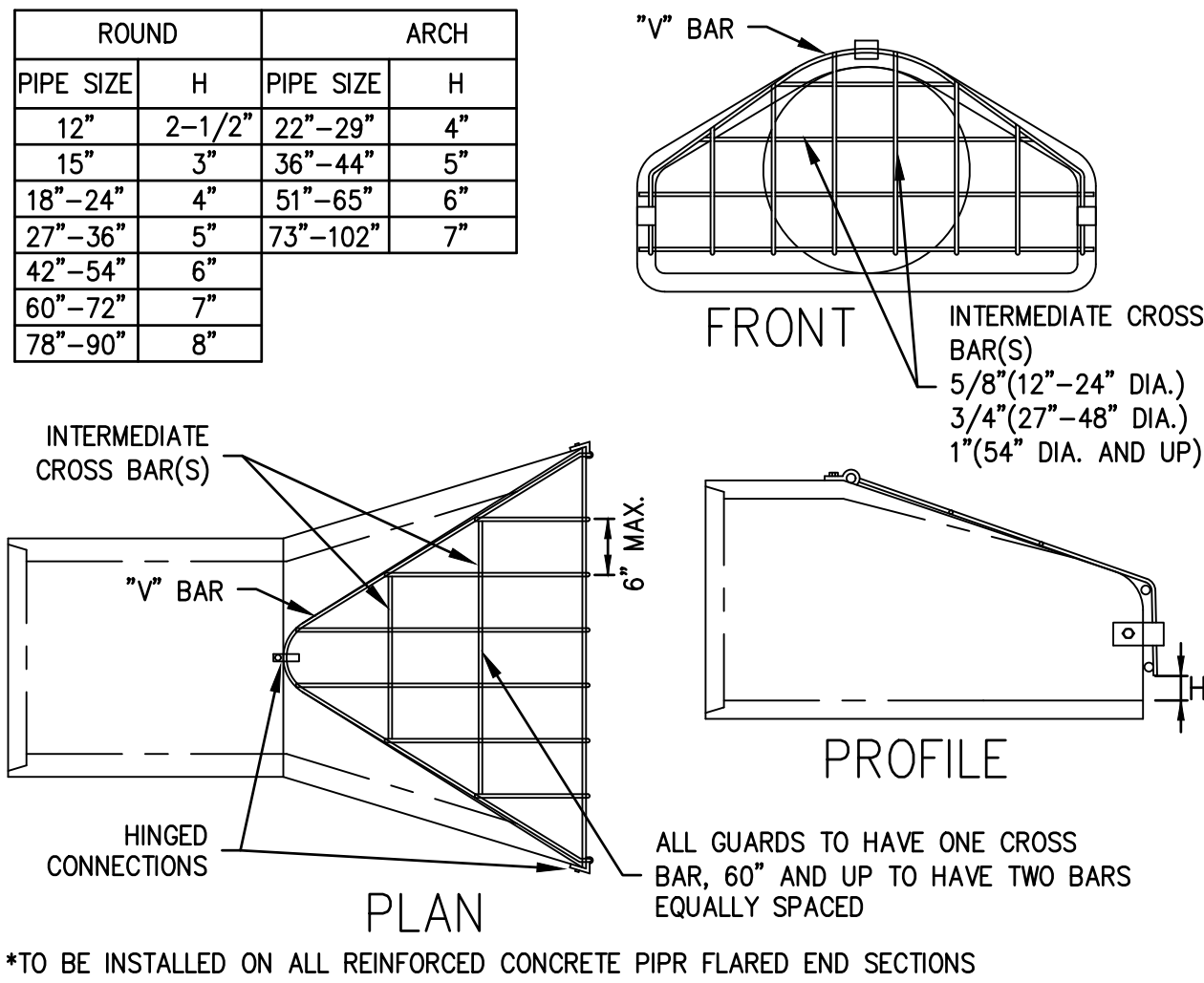
N.T.S.



- NOTE:
1. FINGER DRAINS SHALL BE INSTALLED IN ALL MANHOLES & CATCH BASINS.
 2. FINGER DRAIN CONNECTIONS SHALL BE CORED ONSITE OR PRECAST.
 3. FINGER DRAIN VERTICAL LOCATION MAY VARY DEPENDING ON STORM SEWER PIPE LOCATION.
 4. THE INVERT OF THE FINGER DRAINS MUST BE ABOVE THE TOP OF ALL STORM SEWER PIPES CONNECTED TO THE STRUCTURE.

2 STORM SEWER STRUCTURE FINGER DRAIN DETAIL

N.T.S.

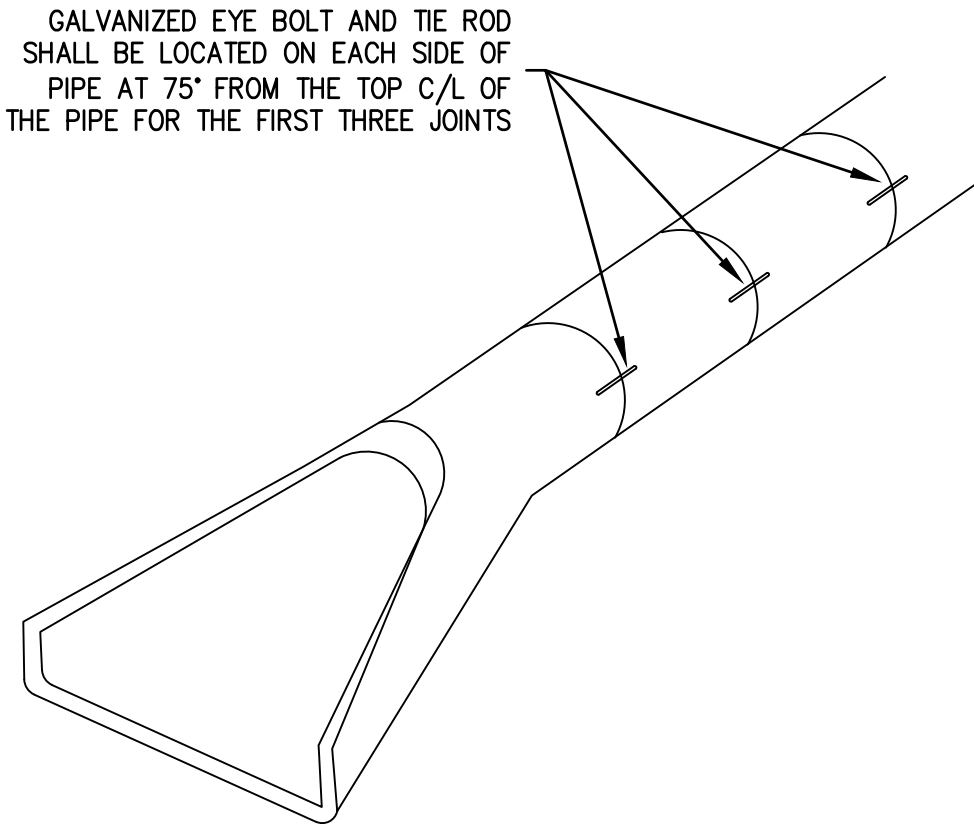
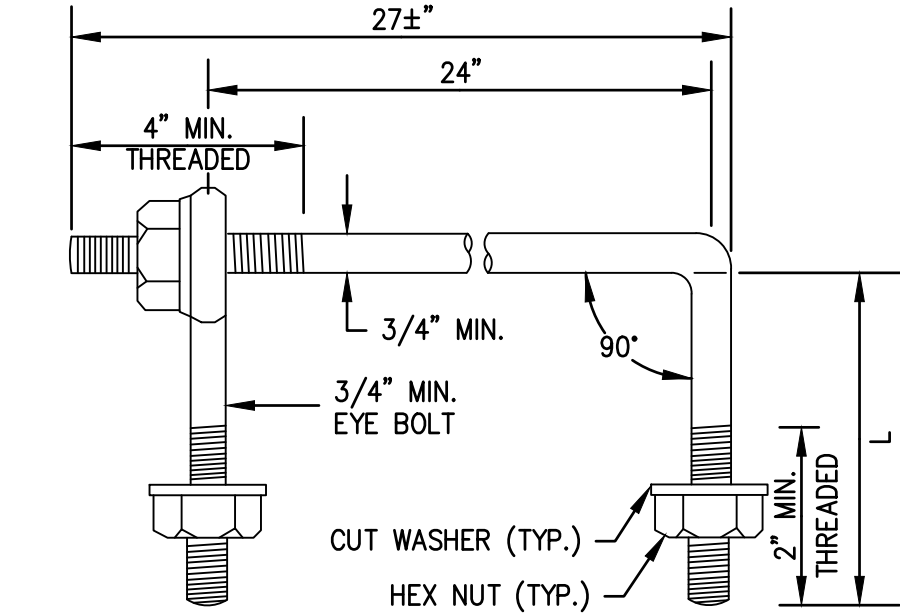


*TO BE INSTALLED ON ALL REINFORCED CONCRETE PIPE FLARED END SECTIONS

4 TRASH GUARD FOR FLARED ENDS DETAIL

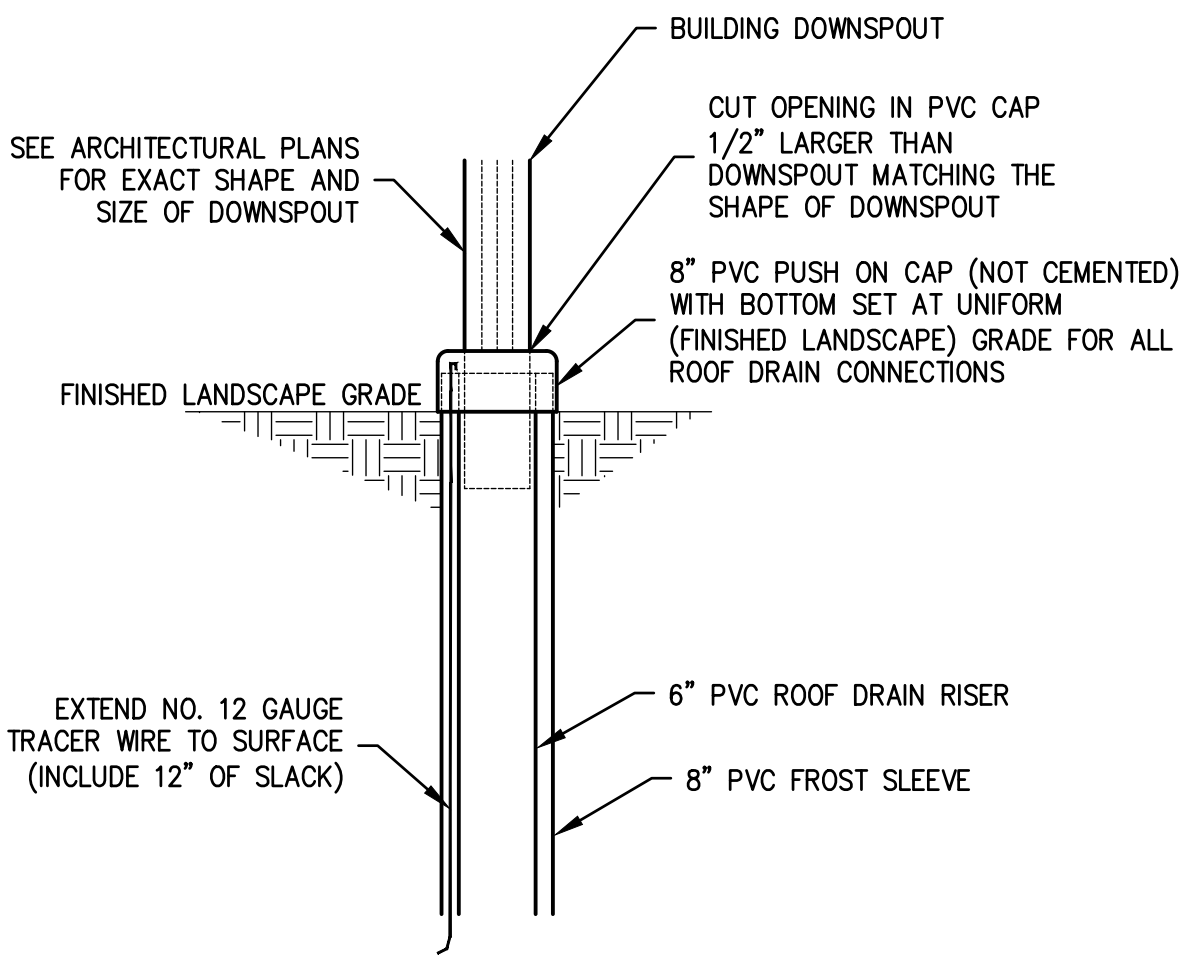
N.T.S.

EYE BOLT DIMENSION TABLE		
PIPE SIZE	L = LENGTH	
	TONGUE & GROOVE PIPE	MODIFIED BELL PIPE
18" TO 24"	4-1/2"	6-1/4"
30"	5"	7"
36"	5-1/2"	7"
42"	6"	
48"	6-1/2"	
60"	7-1/2"	
66"	8-1/2"	



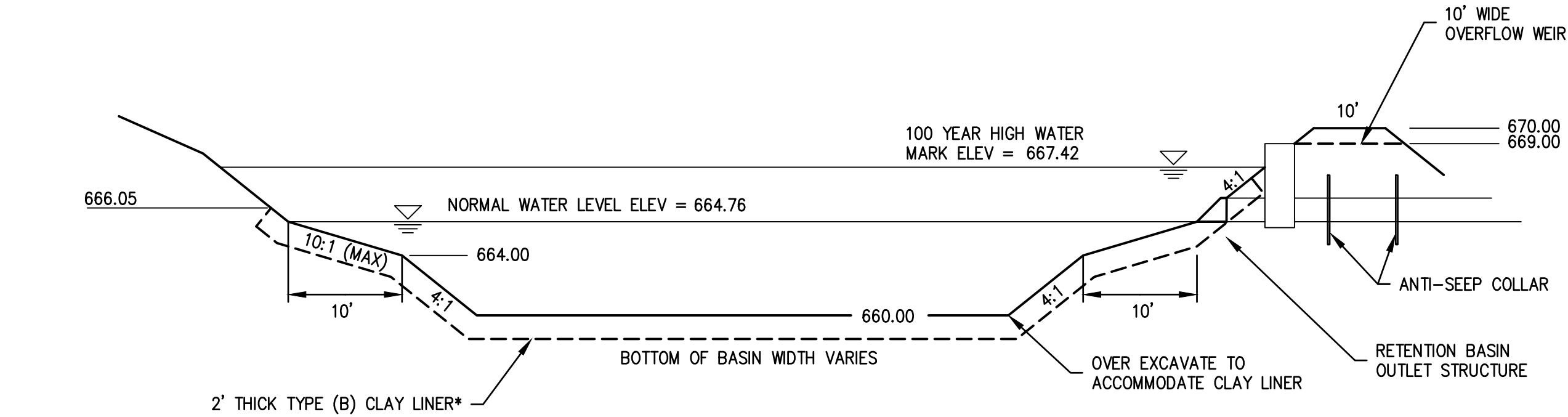
5 PIPE JOINT TIE DETAIL

N.T.S.



6 ROOF DRAIN (RD) RISER DETAIL

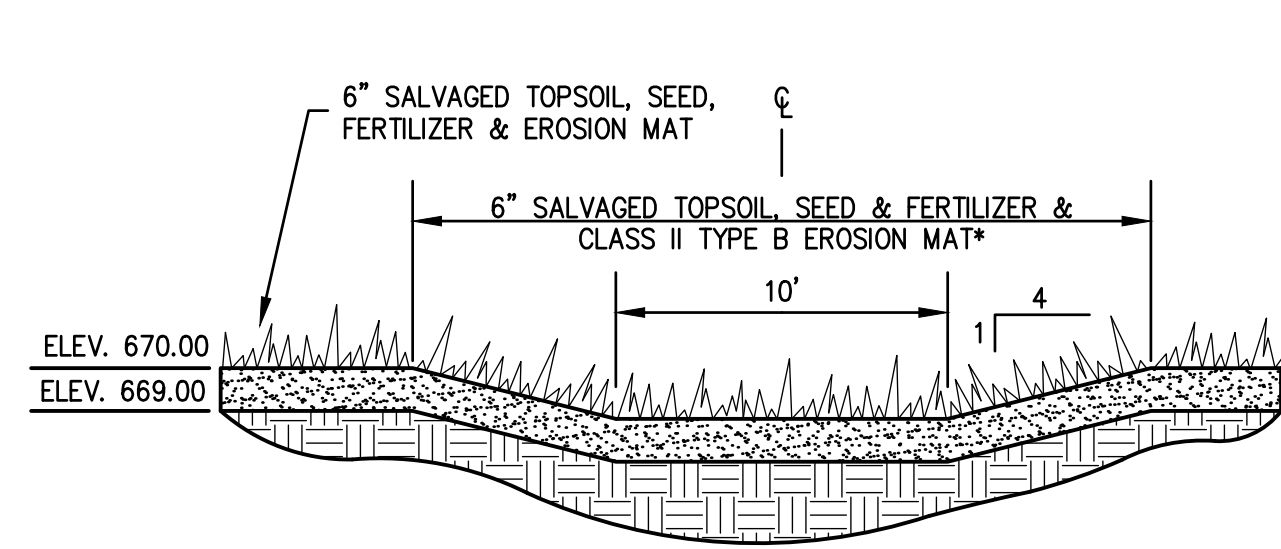
N.T.S.



*LINER MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH "TECHNICAL STANDARD" 1001

7 RETENTION BASIN CROSS SECTION (A-A) DETAIL

N.T.S.



8 RETENTION BASIN OVERFLOW WEIR DETAIL

N.T.S.

A.W. OAKES & SONS INC. BUILDING ADDITION
2000 Oakes Road, Racine, WI 53406

TYPICAL SECTIONS & CONSTRUCTION DETAILS

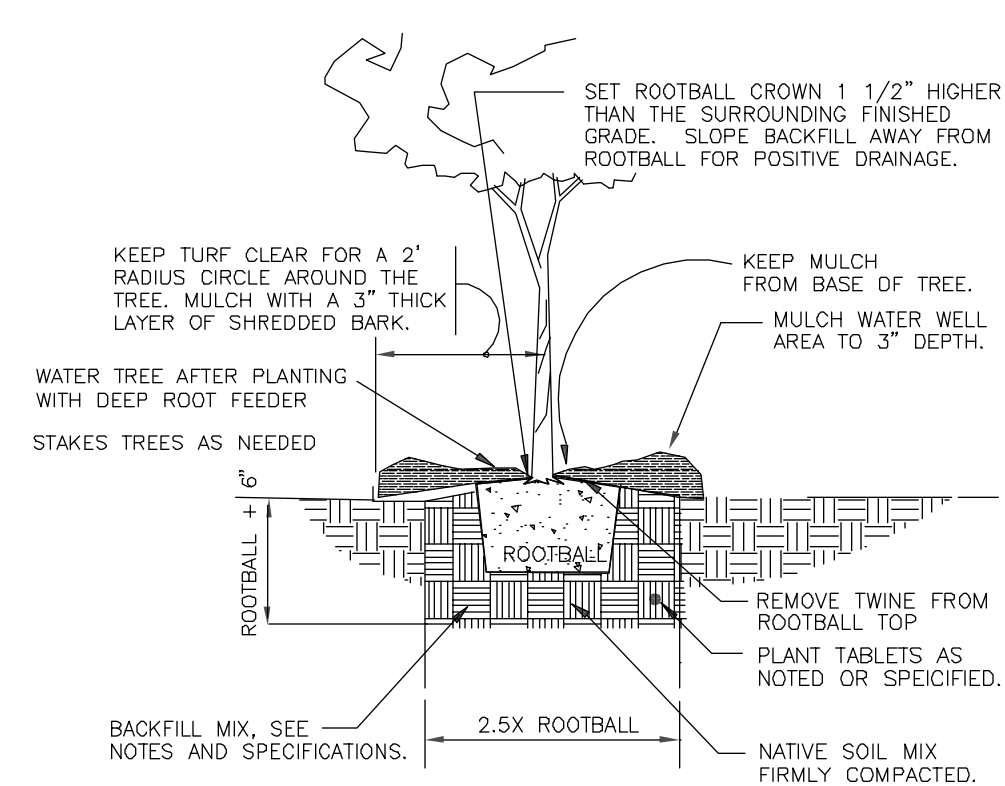
PROJECT NO.: 20050399.04
DRAWN BY: ALJ CHECKED BY: MRM
DATE: 5-10-2022
SHEET NO.:

C-9



PLANT SCHEDULE

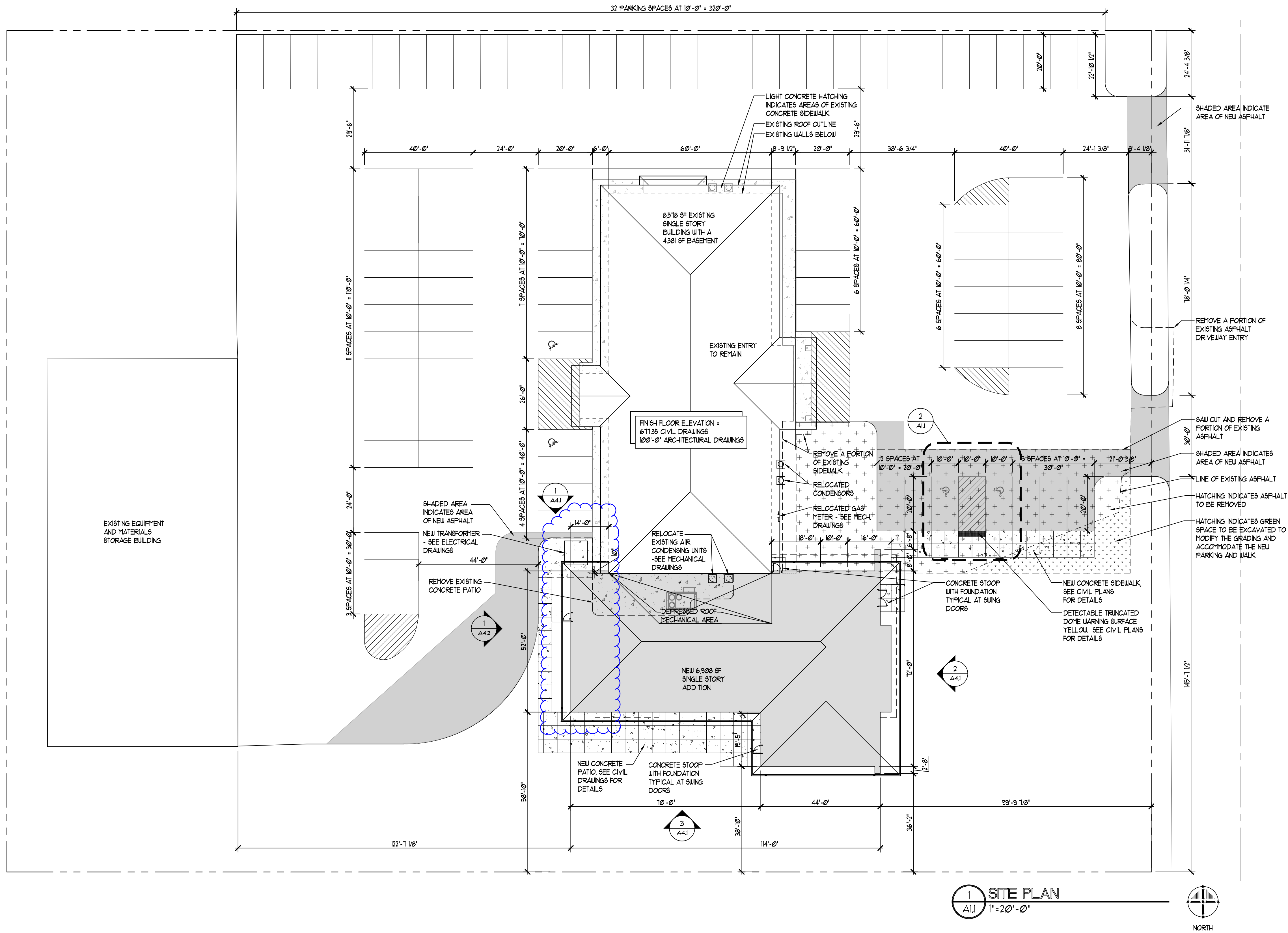
<u>TREES</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>QTY</u>	<u>REMARKS</u>
Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	6'	B&B	1	25' x 15' Mature Size
<u>SHRUBS</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>QTY</u>	<u>REMARKS</u>
Hydrangea paniculata 'Quick Fire'-Tree Form	Quick Fire Hydrangea-Tree Form	7 gal	Tree Form	1	
Ribes alpinum	Alpine Currant	24"		17	4' X 3' MATURE SIZE, HEDGE AS NEEDED
Rosa x 'Double Knockout Radtko'	Double Knockout Rose	3 gal		4	5' x 5' Mature Size
Spiraea japonica 'Tracy'	Double Play Big Bang Japanese Spiraea	5 gal		9	3' X 3' MATURE SIZE
<u>ANNUALS/PERENNIALS</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>QTY</u>	<u>REMARKS</u>
Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	1 gal		22	18" X 30" MATURE SIZE
<u>SHRUB EVERGREENS</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>QTY</u>	<u>REMARKS</u>
Juniperus chinensis 'Kallays Compact'	Kallay Compact Pfitzer Juniper	5 gal		6	3' x 5' Mature Size
Taxus x media 'Densiformis'	Dense Yew	24"	B&B	6	3' x 5' Mature Size



REVIEW CIVIL PLANS FOR AREA OF TURF DISTURBANCE

100 TREE PLANTING DETAIL

10. Sodded turf (if applicable) to be installed in staggered fashion with tight joints. Sod to be rolled and watered to a depth of 3-4" immediately upon laying of the turf. Stake sod on slopes of less than 3:1 grade. Peat sod is not acceptable.
11. Erosion blanket shall be installed on seeded slopes with a grade of 3:1 or less. 90 day single net, double net or Turf Reinforcement Mats shall be installed per the required use. Follow manufactures stapling guidelines to ensure proper stabilization. Install erosion blanket for dormant seed applications (after November 1st) or mid-summer installations or where ever applicable to promote healthy turf establishment.
12. Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, mowing of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth of the landscape.
13. If an irrigation system is not installed a temporary irrigation system shall be set up for a period of 30 days to water lawn areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering. Seed areas may require additional time for proper establishment
14. Warranty of plants, trees, evergreens, shrubs shall be for a period of 18 months from date of substantial completion. Perennials, ornamental grasses, annuals shall be guaranteed for one (1) growing season. One replacement will be required of each dead plant at the end of the warranty period.



PROPERTY AREA:	<u>130,680 SF.</u>
EXISTING OFFICE BUILDING:	8,518 SF.
EXISTING STORAGE BUILDING:	3,940 SF.
BUILDING ADDITION:	<u>6,308 SF.</u>
TOTAL BUILDING:	<u>25,426 SF.</u>
HARD SURFACES: (ASPHALT AND CONCRETE)	59,911 SF.
<u>TOTAL NON-POROUS SURFACES:</u>	<u>81,745 SF.</u>
GREEN SPACE:	42,935 SF.
25% OF PROPERTY:	<u>32,670 SF.</u>

CURRENT PARKING COUNT:

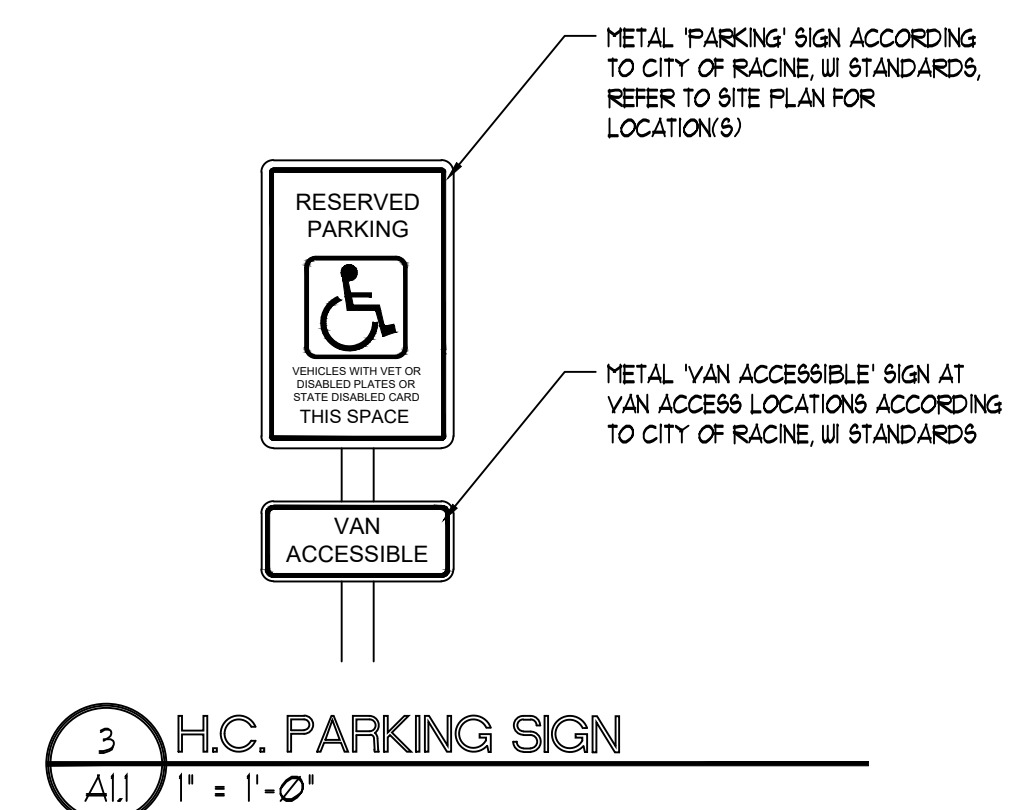
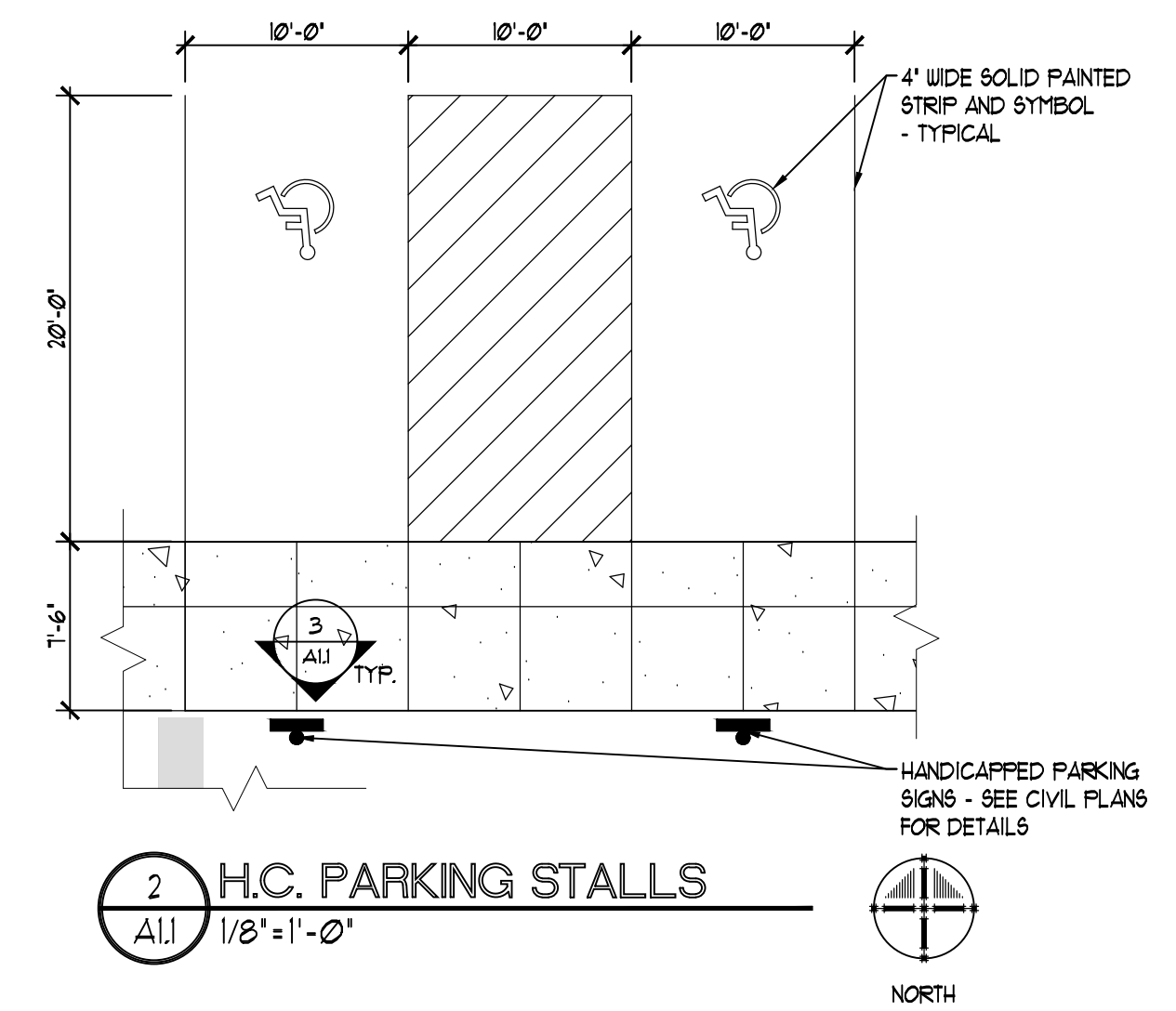
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4	HANDICAP PARKING SPACES

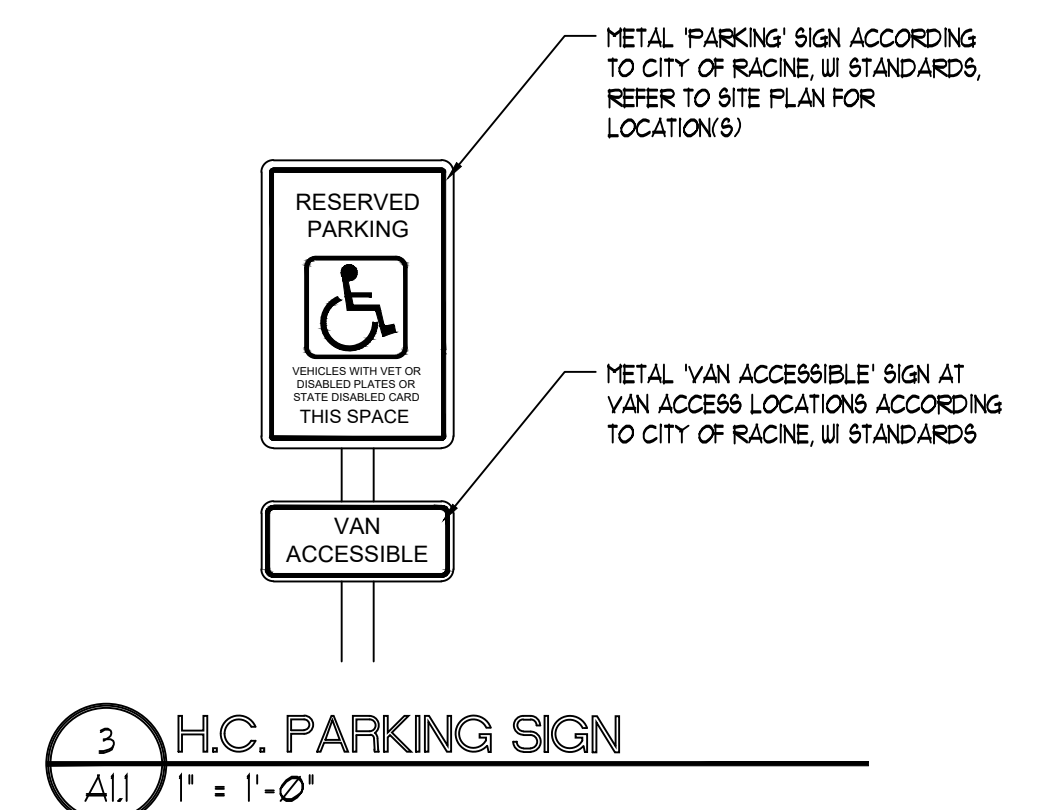
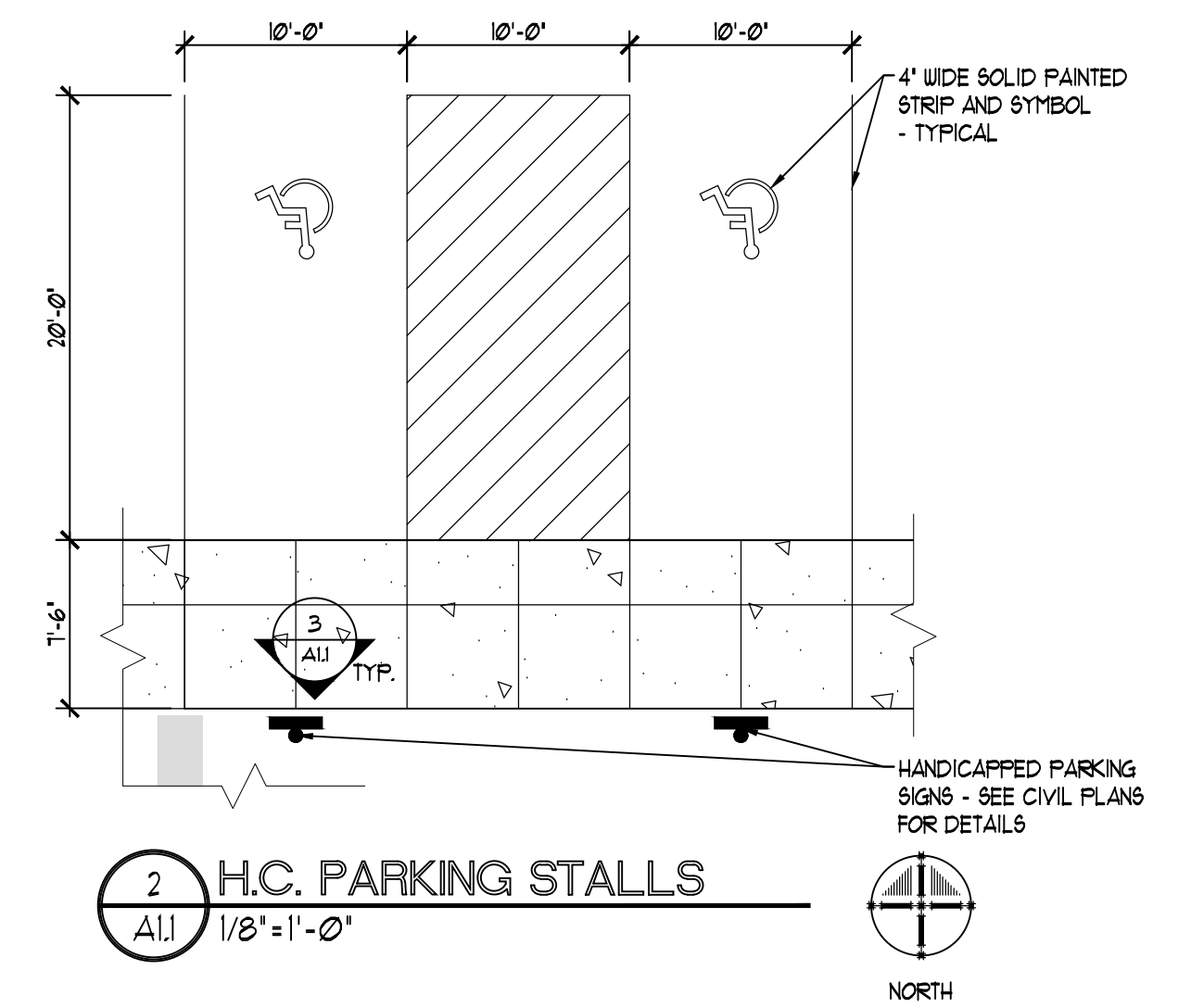
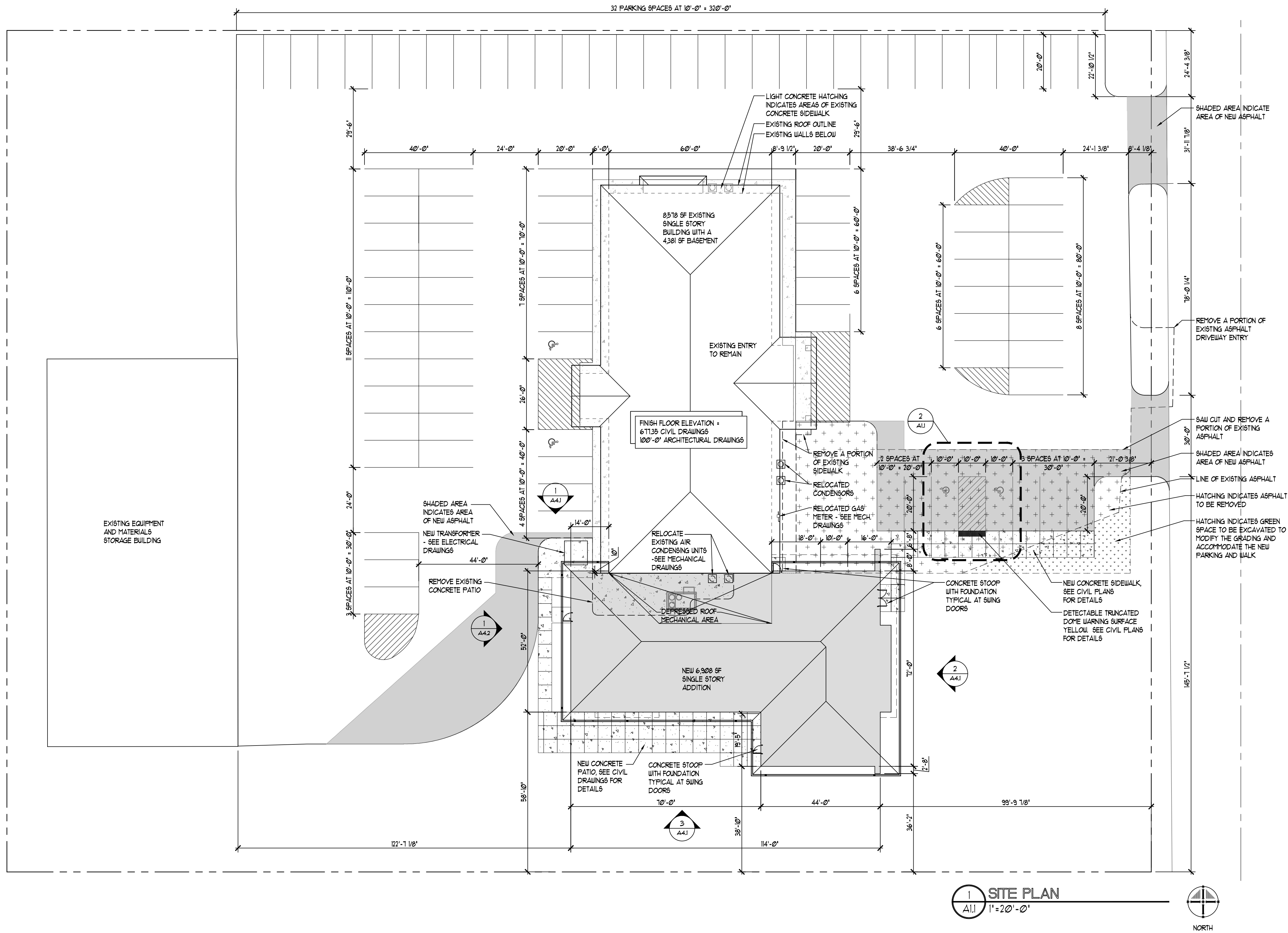
REQUIRED PARKING PER MUNICIPAL CODE OF RACINE WI

-PER CHAPTER 114, SEC. 114-1188 OF ARTICLE XI -
OFF STREET PARKING AND LOADING
REQUIREMENTS

USE: CLASS 25: CONTRACTORS AND
CONSTRUCTION YARDS AND OFFICES
REQUIRED: 2 SPACES PER EMPLOYEE

11 SPACES REQUIRED





PROPERTY AREA:	130,680 SF.
EXISTING OFFICE BUILDING:	8578 SF.
EXISTING STORAGE BUILDING:	9340 SF.
BUILDING ADDITION:	6,308 SF.
TOTAL BUILDING:	25,416 SF.
HARD SURFACES: (ASPHALT AND CONCRETE)	59,971 SF.
<u>TOTAL NON-POROUS SURFACES:</u>	<u>81,745 SF.</u>
GREEN SPACE:	42,935 SF.
25% OF PROPERTY:	32,670 SF.

CURRENT PARKING COUNT:

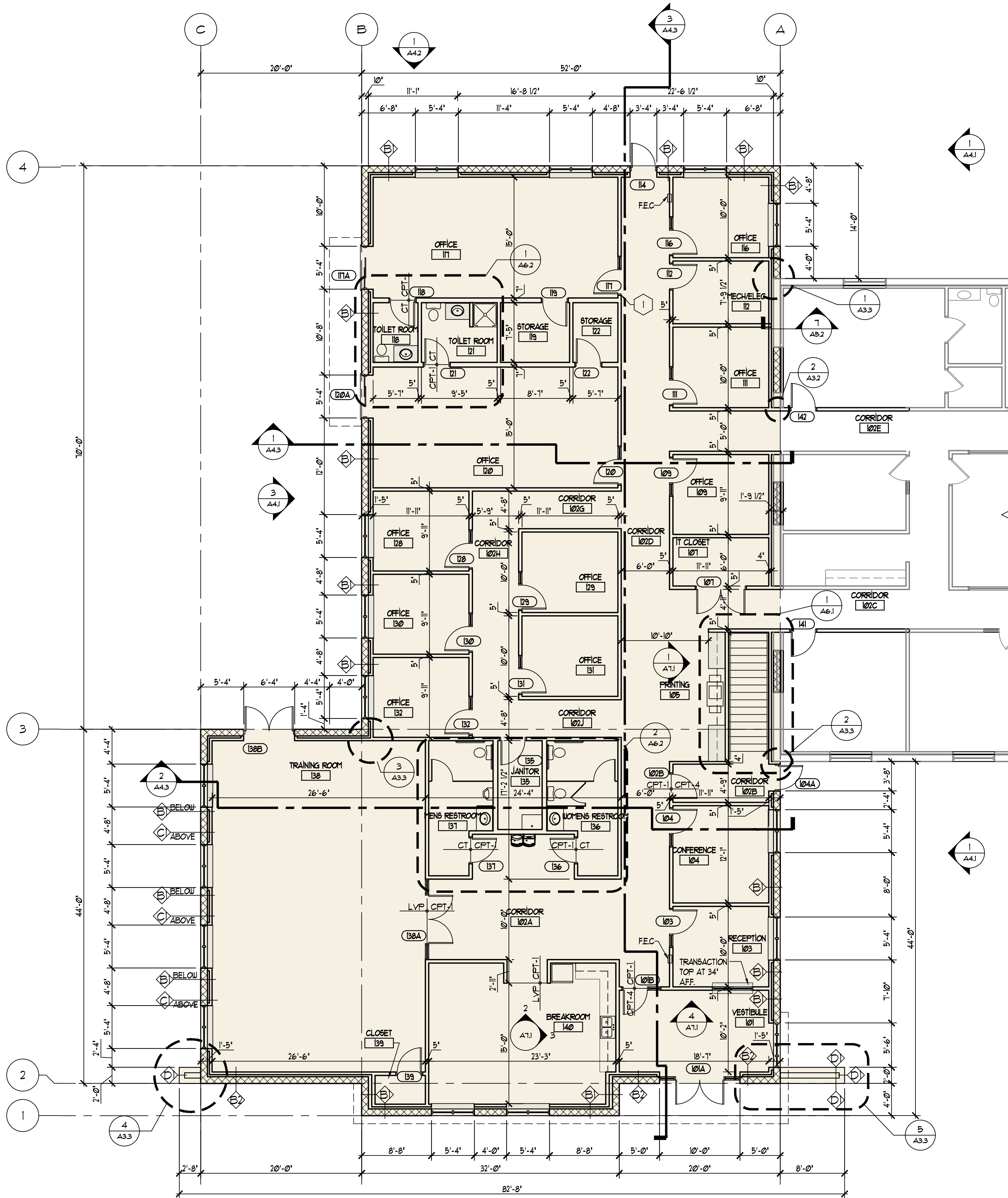
91	NON-HANDICAP PARKING SPACES
4	HANDICAP PARKING SPACES

REQUIRED PARKING PER MUNICIPAL CODE OF RACINE WI

- PER CHAPTER 114, SEC. 114-1108 OF ARTICLE XI - OFF STREET PARKING AND LOADING REQUIREMENTS

USE: CLASS 25: CONTRACTORS AND CONSTRUCTION YARDS AND OFFICES
REQUIRED: 2 SPACES PER EMPLOYEE

71 SPACES REQUIRED



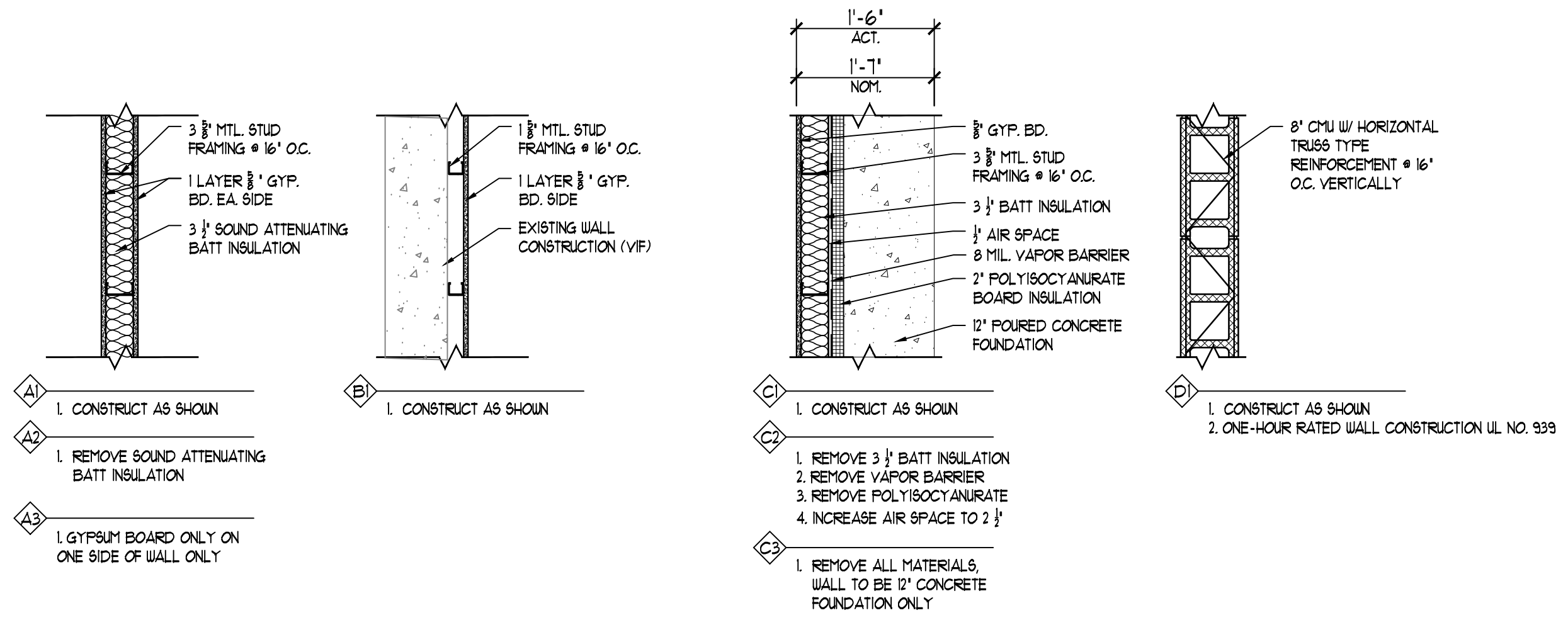
1 FIRST FLOOR PLAN
A3.1 1/8" = 1'-0" 6,950' SF

- FLOOR PLAN KEY NOTES
- 1 PROVIDE GYPSUM BOARD EXPANSION JOINT AT EDGE OF FRAME
 - 2 PROVIDE GYPSUM BOARD EXPANSION JOINT AS DIMENSIONED AND ALIGNED WITH CORRIDOR ACROSS THE HALL

ROOM FINISH SCHEDULE												
ROOM NAME	NO.	FLOOR	BASE	WALLS				CEILING		PAINT		REMARKS
				NORTH	EAST	SOUTH	WEST	MAT'L	HT.	WALLS	CLG	
VESTIBULE	101	CPT-4	RUBBER	GYP. BD./GLAZING	GYP. BD./GLAZING	GYP. BD.	GYP. BD./GLAZING	SAT-1	9'-0"	YES	NO	--
CORRIDOR	101A	CPT-1	RUBBER	GYP. BD./GLAZING	GYP. BD.	GYP. BD./GLAZING	GYP. BD.	SAT-1	9'-0"	YES	NO	--
CORRIDOR	101B	CPT-4	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	NOTE: 4
CORRIDOR	101C	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	NOTE: 5
CORRIDOR	101D	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
CORRIDOR	101E	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	NOTE: 5
CORRIDOR	101G	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
CORRIDOR	101H	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
CORRIDOR	101J	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
RECEPTION	103	CPT-1	RUBBER	GYP. BD./GLAZING	GYP. BD./GLAZING	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
CONFERENCE	104	CPT-1	RUBBER	GYP. BD./GLAZING	GYP. BD./GLAZING	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
PRINTING	105	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
IT CLOSET	107	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
OFFICE	109	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
OFFICE	111	CPT-1	RUBBER	GYP. BD./GLAZING	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
MECH/ELEC	112	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
OFFICE	116	CPT-1	RUBBER	GYP. BD./GLAZING	GYP. BD.	GYP. BD.	GYP. BD./GLAZING	SAT-1	9'-0"	YES	NO	--
OFFICE	117	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD./GLAZING	SAT-1	9'-0"	YES	NO	--
TOILET ROOM	118	C.T.	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
STORAGE	119	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
OFFICE	120	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
TOILET ROOM	121	C.T.	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
STORAGE	122	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
OFFICE	128	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD./GLAZING	GYP. BD.	SAT-1	9'-0"	YES	NO	--
OFFICE	129	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
OFFICE	130	CPT-1	RUBBER	GYP. BD.	GYP. BD./GLAZING	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
OFFICE	131	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
OFFICE	132	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD./GLAZING	GYP. BD.	SAT-1	9'-0"	YES	NO	--
JANITOR	135	SEALED CONCRETE	RUBBER	GYP. BD./FRP	GYP. BD./FRP	GYP. BD./FRP	GYP. BD./FRP	SAT-3	9'-0"	YES	NO	NOTE: 2
WOMENS RESTROOM	136	C.T.	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-2	9'-0"	YES	NO	--
MENS RESTROOM	137	C.T.	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-2	9'-0"	YES	NO	--
TRAINING ROOM	138	LVP	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
CLOSET	139	CPT-1	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT-1	9'-0"	YES	NO	--
BREAKROOM	140	LVP	RUBBER	GYP. BD./OPEN	GYP. BD./OPEN	GYP. BD./GLAZING	GYP. BD./GLAZING	SAT-1	9'-0"	YES	NO	--

- ROOM FINISH SCHEDULE NOTES:
- 1. SEE SHEET A3.2 FOR DOOR SCHEDULE, DOOR AND FRAME TYPES AND HARDWARE SETS.
 - 2. INSTALL FRP FROM FINISH FLOOR TO 4'-0" AFF.
 - 3. RUBBER BASE TO BE INSTALLED AT WALL LOCATIONS. DO NOT INSTALL RUBBER BASE ON DOOR AND / OR WINDOW FRAMING.
 - 4. STEEL RISER AND HANDRAILS ARE TO BE PAINTED.
 - 5. CEILING HEIGHT TO BE TIED INTO AND MATCH EXISTING CEILING GRID.

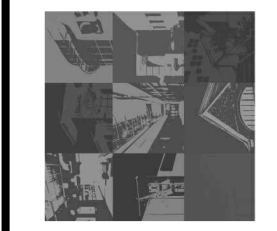
WALL TYPES



A.W. OAKES & SON INC. ADDITION
2000 Oakes Road, Racine, WI 53406
FIRST FLOOR PLAN

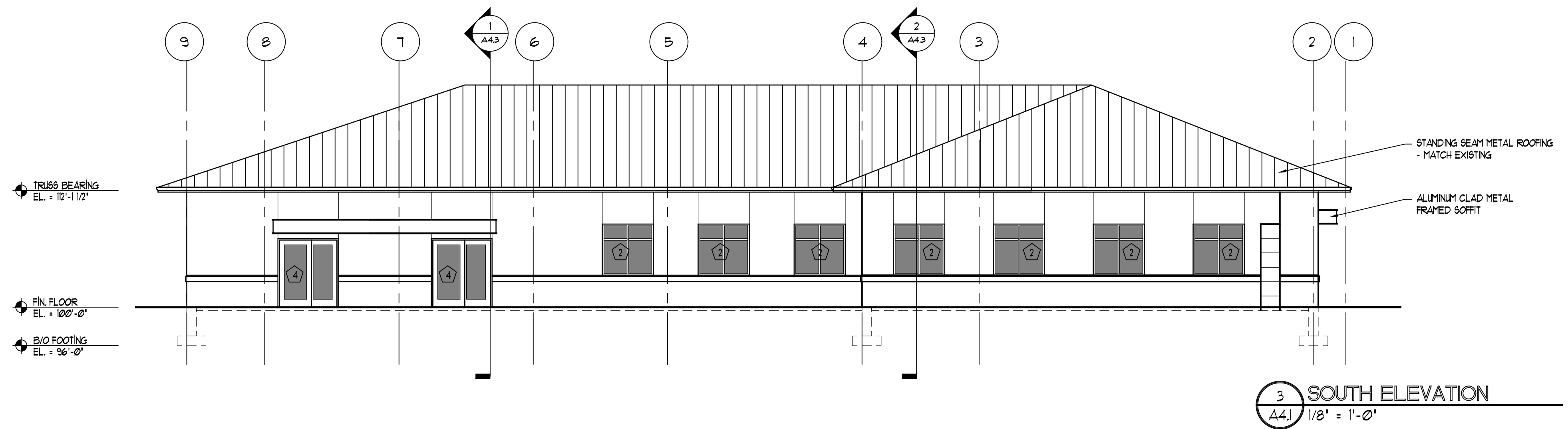
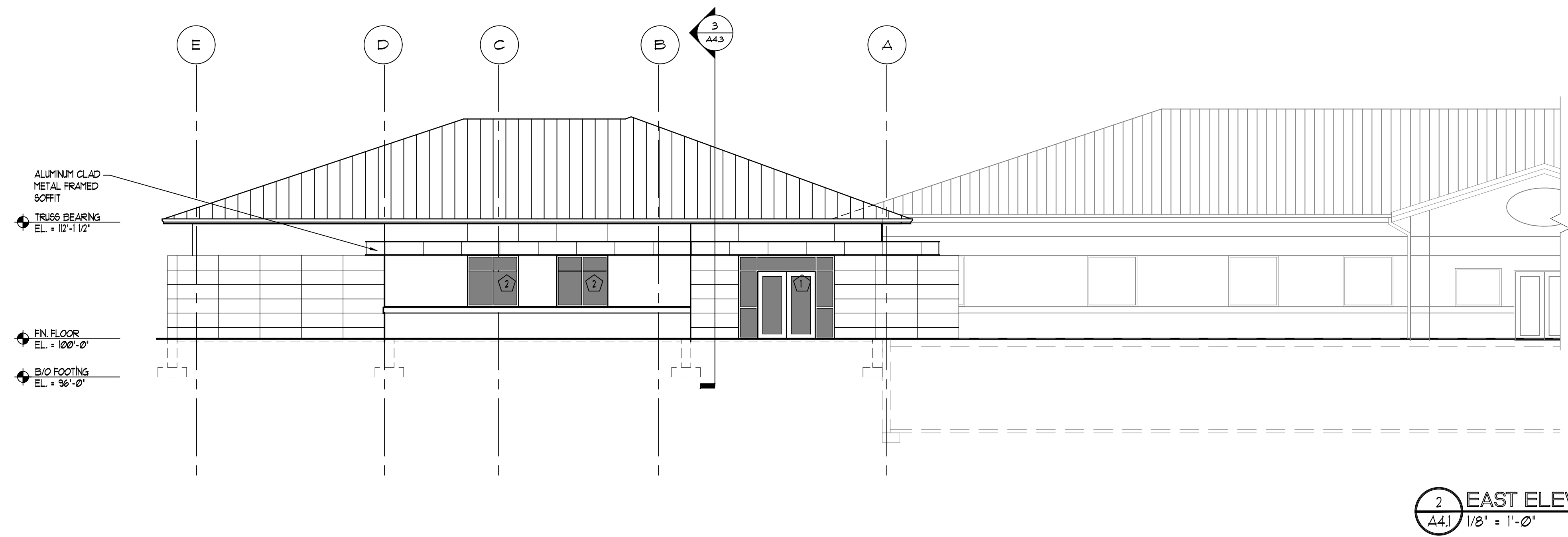
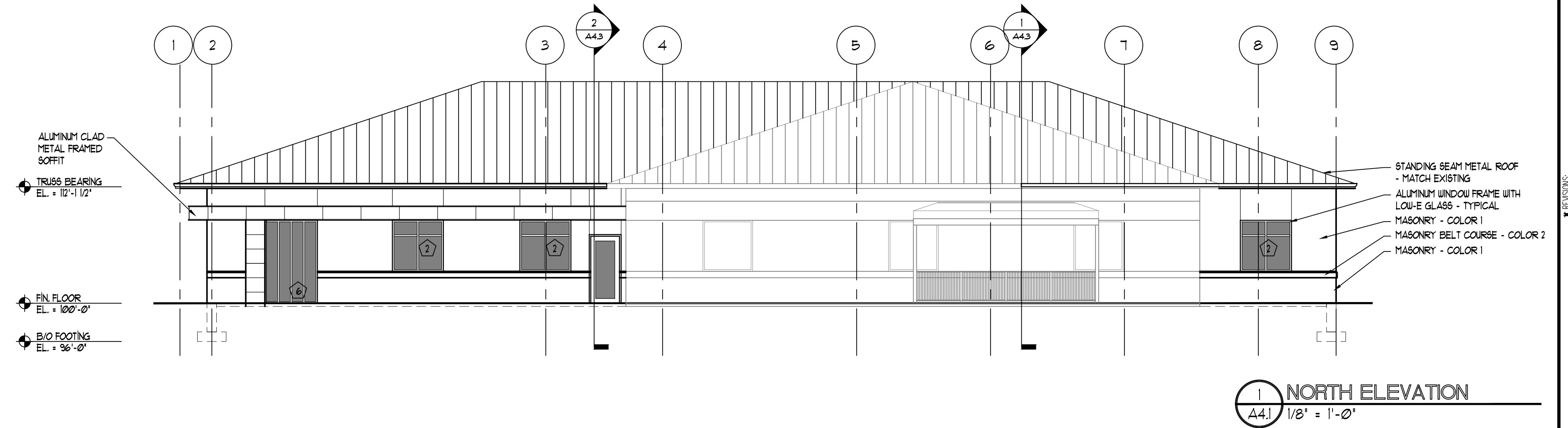
600 Fifty-Second Street
Suite 220
Kenosha, WI 53140
Ph.: (262) 652-2800
www.pdarchitects.com

Partners in Design
ARCHITECTS



PROJECT NO.: 94821014
DRAWN BY: JRW CHECKED BY: JEB
DATE: 05.06.2022
SHEET NO.:

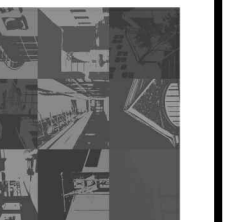
A3.1



A.W. OAKES & SON INC. ADDITION
2000 Oakes Road, Racine, WI 53406
EXTERIOR BUILDING ELEVATIONS

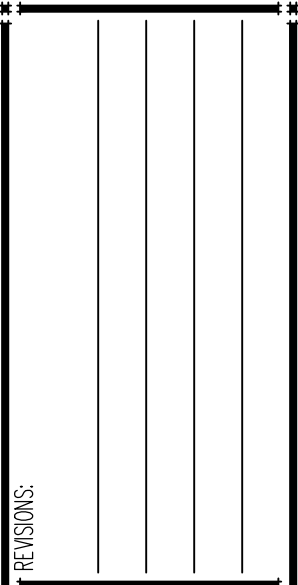
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A4.1



A.W. OAKES & SON INC. ADDITION
2000 Oakes Road, Racine, WI 53406

600 Fifty-Second Street
Suite 220
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94821.014
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DATE:
05.06.2022
SHEET NO.:

A4.2



2 TYPE 1 AL. FRAMING ELEV.
A4.2 1/4' = 1'-0'



4 TYPE 3 AL. FRAMING ELEV.
A4.2 1/4' = 1'-0'



5 TYPE 4
A42 1/4" = 1'-0"



1. PROVIDE TEMPERED GLAZING AT THE FOLLOWING LOCATIONS (AND ANY OTHER LOCATIONS REQUIRED BY CODE):
 - A. INGRESS AND MEANS OF EGRESS DOORS.
 - B. FIXED PANELS IN SWINGING DOORS.
 - C. INDIVIDUAL FIXED PANELS ADJACENT TO DOORS.
 - D. FIXED PANELS WHOSE BOTTOM EDGE IS LESS THAN 18 INCHES FROM THE FLOOR.
 - E. GLAZING IN GUARDS AND RAILINGS.
2. ALL GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL CODES.
3. ALL GLAZING IN OR ADJACENT TO DOORS OR IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION SHALL BE TEMPERED.
4. PROVIDE TEMPERED GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL WHEN ALL OF THE FOLLOWING CRITERIA APPLY. THE EXPOSED AREA OF AN INDIVIDUAL PANEL IS GREATER THAN 5 SF, THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, THE EXPOSED TOP EDGE IS LESS THAN 36" ABOVE THE FLOOR AND ONE OR MORE WALKING SURFACES ARE WITHIN 36" HORIZONTALLY FROM THE PLANE OF THE GLAZING.
5. IF GLAZING IS IN AN INSULATED UNIT, BOTH LITES MUST BE TEMPERED, LAMINATED SAFETY GLASS, OR A COMBINATION OF THE TWO.
6. EXTERIOR STOREFRONT GLAZING AND DOORS TO HAVE 1" INSULATED GLASS, INTERIOR STOREFRONT GLAZING AND DOORS TO HAVE 1/4" SINGLE GLASS UNO.



ENTRANCE VIEW



SOUTH-EAST VIEW



EAST ELEVATION



NORTH ELEVATION



AERIAL VIEW

REVISIONS

A.W. OAKES & SON INC. ADDITION
2000 Oakes Road, Racine, WI 53406

EXTERIOR RENDERINGS

601 Fifty-Second Street
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ARCHITECTS

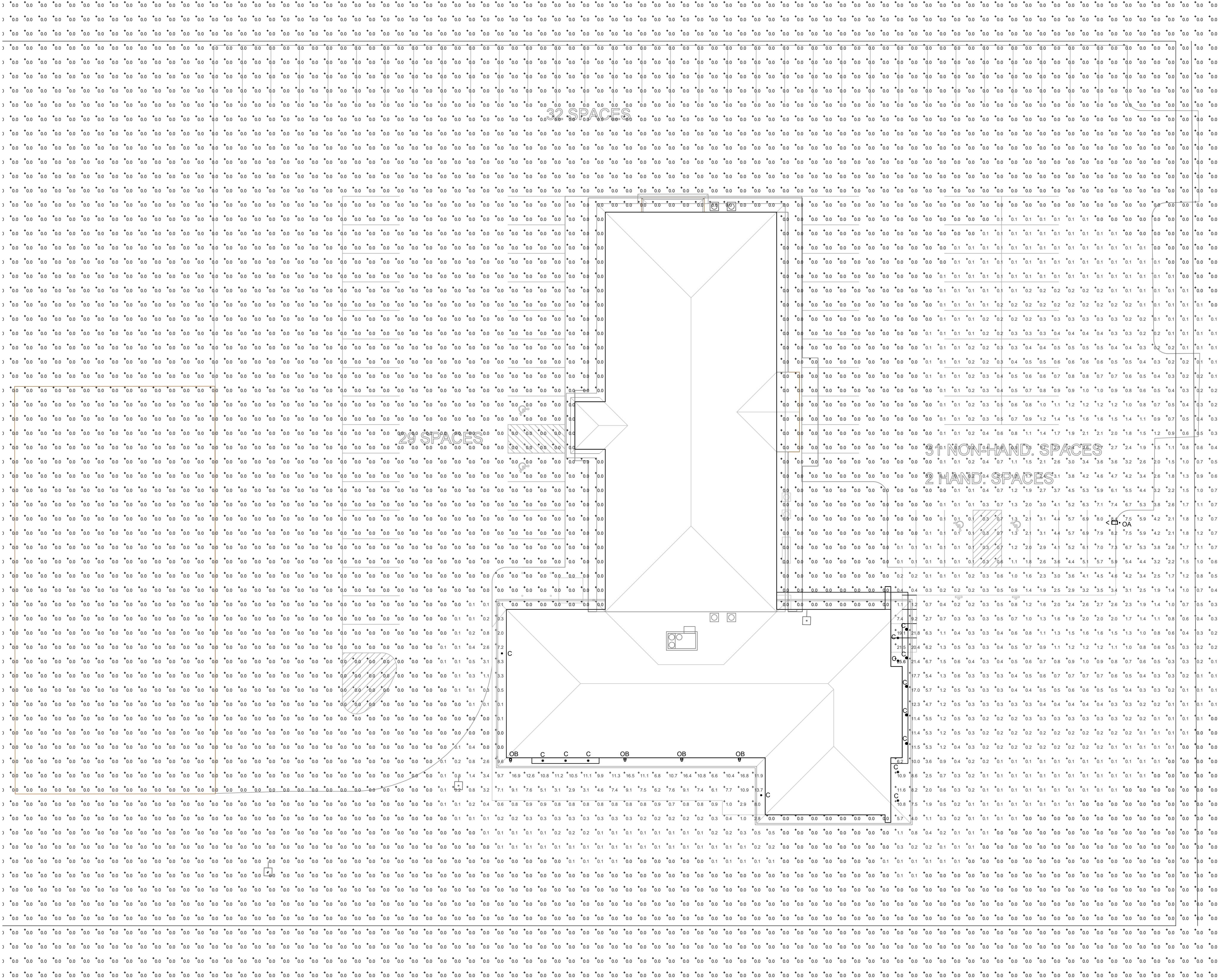


PROJECT NO.: 94821014
DRAWN BY: JRW CHECKED BY: JEB
DATE: 05.06.2022
SHEET NO.:

A4.3

Schedule											
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage
	C	14	Liton Lighting Inc	CH618UE-D10/CR6L22SW-T40	6" RECESSED LUMINAIRE MOUNTED IN THE CANOPY	4000K LED	1	CH618UE-D10_CR6L22SW-T40.ies	1622	1	18
	OA	1	ATG ELECTRONICS	ARIA AA-150W-40-T3	TYPE IV LUMINAIRE MOUNTED ON A 20' POLE ON A 2" BASE	4000K LED	1	AIRIA AA-150-40-T3.IES	19320	1	148.999
	OB	4	ATG ELECTRONICS	GUARD PACK WPGP-28-40-T3S	WALLPACK BUILDING MOUNTED 8" AFG	4000K LED	1	GUARD PACK WPGP-28-40-T3S-277V.IES	3604	1	28.1

Statistics						
Symbol	Description	Avg	Max	Min	Max/Min	Avg/Min
+	SITE PHOTOMETRICS	0.3 fc	25.6 fc	0.0 fc	N/A	N/A



A.W. OAKES & SON INC. ADDITION
2000 Oakes Road, Racine, WI 53406



JDP Electrical
Design, LLC
Electrical Design
& Consulting

583 WISN7 College Ave.
Muskego, WI 53150
jdp@jdp-electric.com
(414) 750-2006

PROJECT NO.
948.21.014

DATE
05.10.21

SHEET NO.
E1.2