

Kimyron Bonner
327 Main Street
 White Box Program Estimates

Carpentry	MMP Remodeling	\$11,551.00
	Martin and Son	\$15,900.00
Electrical	C. Evans Lighting	\$6,000.00
	MMP Remodeling	\$6,725.00
Plumbing	John Conner Co.	\$1,809.00
	MMP Remodeling	\$4,500.00
Flooring	Carpetland	\$3,480.00
	MMP Remodeling	\$4,550.00

	\$22,840.00	–	\$31,675.00
Total =	x 50%		x 50%
	\$11,420.00		\$15,838.00

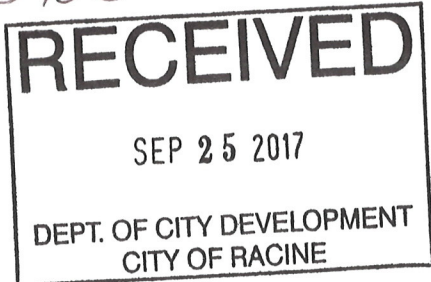
2033 sq. ft. x \$10.00 per sq. ft. = \$20,330.00

Maximum Grant Award = \$11,420.00

COMMERCIAL "WHITE BOX" GRANT APPLICATION

Applicant/Project Contact Information

Name: Kimyron Bonner
Address: 4015 19th St Racine, WI 53405
Phone: (262) 676-1113



Business or Leaseholder Information

Name of business: Mrs. Betty's Kitchen
Business Owner's/Leaseholder's Name: Kimyron Bonner
Address: 327 main St Racine, WI 53404
Phone: (262) 676-1113

Property Owner Information

Name: ANNA JEAN DRAEGER
Address: 327 MAIN ST

Years Owned Building: 38 YEARS

Age of Building: 1880

Area of First Floor (Square Feet): ?
2033 Sq. Ft.

Proposed Improvements (describe in detail)

upgrade electric, build walls, flooring, HVAC work,
Paint

Written Consent of Property Owner

Written consent of the property owner is required when the applicant and property owner are different entities or persons. Please submit with initial White Box grant application.

- I certify that I am aware of the attached application for the City of Racine White Box Program submitted for property that I own by a developer or leaseholder.
- I give my permission to the applicant, if a lessee or developer, to apply for the grant.
- I consent to the improvements proposed for my building and will accept responsibility for any permit or code violations that arise from the proposed improvements.
- I acknowledge that the City Building Division employees will inspect my property during the application period and will make reports as to compliance with building codes. By submitting this application, I consent to all inspections by the City Building Division employees for the purposes of this application consideration.
- I acknowledge that depending on the building, proposed use, size of building, building components, etc. it may be necessary for multiple City inspectors to inspect the building or space to provide a complete overview. The inspectors will assess the building and provide a Summary of Findings Report (SFR). The SFR will identify the major impediments necessary to address before occupancy of the building or space.
- I acknowledge the White Box Inspection is not intended to identify every detail or every code requirement. The intent is to identify significant deficiencies in the building or space (based on the applicant's proposed use) that will add a significant cost to their plan to occupy the space.
- I acknowledge that it may still be necessary for the applicant or me to obtain the services of a professional to prepare plans and specifications for their project.
- I certify that the subject property does not have any outstanding fees, penalties, or delinquencies with federal, state or local units of government (County, City of Racine).
- I certify that the subject property is not in foreclosure, litigation, condemnation, or receivership.
- I certify that I am not in violation of any City alcohol or soda licensing requirements.
- I certify that this subject building is more than 50 years old.
- I certify that this property is not tax exempt and is up to date on property taxes.
- I acknowledge that the applicant will receive the grant reimbursement and that reimbursement will be made after improvements have been inspected and proper documentation has been provided to the City of Racine.

Name of Property Owner: ANNA JEAN DRAEGER

Address of Subject Property: 327 MAIN ST

Signature of Property Owner: Anna Jean Draeger

Date: 9/22/17

Estimated Project Costs (detail out, separate labor and materials)

80,000

Labor = 60,000

materials = 20,000

Project Schedule (construction begin, end, and lease-up dates)

Begin end
11-1-17 12-10-17

Lease up aug. 2022

Applicant Certification

I have read the grant program guidelines (attached) If the application if approved, I will make the interior improvements described in this application, consistent with City Building Codes, and will complete within 120 days of approval.

Applicant Signature: _____

Date: _____

9/22/17

MMP Remodeling, LLC
N88W16726 Appleton Ave, Menomonee Falls, WI 53051
414-940-3442
www.mmpremodel.com

8/11/2017

Remodeling of Mrs. Betty's Kitchen
327 Main St, Racine, WI
Kimyron Bonner

Cost per 1000

General permit	\$	3,397.00
HVAC Permit , electrical permits	\$	1,500.00
Install appliances	\$	1,300.00

Main area 48x20 **CARPENTRY**

Demolition of the floors and removal of the equipment, walls, ceiling	\$	5,900.00
Move duct and return - extend	\$	4,200.00
Level floors main level	1500 SF	\$ 2,625.00
Frame walls 8x9 9x9 2x9 4.25x9 , doesn't include any framing for the ceiling	216 SF	\$ 1,188.00
Drywall walls	700 SF	\$ 1,330.00
Drywall ceiling	1200 SF	\$ 2,520.00
Paint walls and ceiling, texture	2200 SF	\$ 3,300.00

Office 26X12 **CARPENTRY**

Install new HW Mastercraft door 3, 8, 11, opening for new door, no relocate of the door as door in the poor shape

Frame walls 3x3x9 , doesn't include any framing for the ceiling	3 EA	\$ 2,600.00
Drywall walls	54 SF	\$ 297.00
Drywall ceiling	100 SF	\$ 190.00
Paint walls and ceiling	60 SF	\$ 126.00
	996 SF	\$ 796.80

Ceiling drywall hanging doesn't cover ceiling framing expansion or reconfigurations, framing replacement or installation, assumes that existing framing is adequate for drywall hanging, if any of these items are required, it will cost extra charge to complete. Doesn't include insulation .

Current ceiling is not in the condition to be repaired with changing layout of the main area storage

New hollow wood door 10 with jamb and door trims

1 EA	\$	650.00
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Doors and hardware, Doors Mastercraft® Hardwood Flush Prehung Interior Door

Doors and hardware, Doors Mastercraft® Hardwood Flush Prehung Interior Door

Accent Single Cylinder Satin Nickel Camelot Trim Decorative Security Set Lever

Exit devise Von Duprin Von Duprin 99L-NL

4 EA	\$	600.00
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Rim Exit Device with Night Latch Lever Trim installed

1 EA	\$	1,500.00
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\$ 11,551.00

Closers LCN LCN 3133

Concealed in DoorTrack Arm Door Closer for Interior doors	4 EA	\$	1,800.00
double action door Curtron Service-Pro Series 20 36" x 84" Single Aluminum Swinging Traffic Door with 9" x 14" Window, casing installed		\$	1,550.00

Floors

Install VCT floors 12x12 Armstrong® Standard Excelon Rave 12" x 12" Commercial Vinyl Composition Tile	1500 SF	\$	7,350.00
Install vinyl base	260 LF	\$	1,040.00

Dumpsters and street permit, recycling on our own, waste disposal via waste management	\$	1,500.00
No fire sprinklers installed and not priced		

Armstrong® Standard Excelon Multicolor 12" x 12" Commercial Vinyl Composition tile 5 years commercial warranty

1500 SF	\$	3,750.00
200 LF	\$	800.00

Vinyl base VPI® 4" x 160' x .080" Vinyl Straight Base 100.00 5 years warranty

Metal

Store front replacement	\$	8,050.00
Stainless steel panels, shelving and installation	\$	3,907.08
Metal 40' counter frame. 40' mesh frame with metal, metal frame. Exterior metal work.	\$	10,500.00

Sone work

Repair bricks on the wall	\$	650.00
Repair concrete outside of the store front, paint	\$	300.00

General purpose laminated counter-top with backer on the bottom by Wilsonart	\$	4,500.00
Granit countertops in black Perl, tan brown or Vancian gold	\$	6,000.00

Electrical

Electrical, install one new track lighting, reconfigure existing lighting , replace recessed lights, move fans, install heating lamp, doesn't include service upgrade	\$	13,800.00
B2ocled 1-Light Pendant, Retro Industrial Pendant Lighting, Black Paint, Metal Aluminum Shade, 10.63" diameter, Ceiling Lights	7 EA	\$ 350.00
Lithonia Lighting 4 Inch 8- Watt Brush Nickel LED Retrofit Gimbal	5 EA	\$ 325.00
Tracks segments Juno 8' Bronze Single Circuit Single R2 Track - Style #6J395	5 EA	\$ 600.00

Doesn't include any other fixtures, proposal only includes reconfigure existing fixtures per plan, covers outlets and switches , doesn't cover any hidden code-related issues or service upgrade.

Mechanical

- 7075.00

\$ 6725.00

Hood by captiveaire or similar, hood installation with duct and make up air, the proposed hoodmart is a high risk hood and not covered by our liability , doesn't include roofing alterations	\$ 33,500.00
Fire suppression system	\$ 4,200.00

Furniture

72" Cashier/Waitress station plywood core with standard plastic laminated by felling products	\$ 6,000.00
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Plumbing

Relocate Mop basin, To include water and waste piping,	\$ 4,500.00
Capping off piping according to the blue print, Reconfigure gas piping to accommodate gas appliances being installed	
Material and Labor costs	
Waste management to be completed through WM dumpster program	

Inspection with report, doesn't include certification of the inspection , includes coordination of city's inspections and fire department	\$ 1,000.00
Bonding fees	\$ 5,000.00
Testing agency not covered in this proposal, no other fixtures that are listed in this proposal are covered	

Subtotal	\$ 154,991.88
8% overhead	\$ 12,399.35
15% profit	\$ 25,108.68

Sales taxes	\$ 9,817.50
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Total	\$ 202,317.41
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This proposal includes the terms and conditions on the reverse side hereof and any documents specifically referred to above. All work to be performed in accordance with the drawings and specifications (if any) specifically referred to above and to be completed in a substantial and workmanlike manner for the sum of: \$_____. SEE ABOVE OPTIONS with payments to be made as follows: Down payment of 50% due at signing, 75% due at 75% completion at the project with BALANCE DUE ON COMPLETION of project.

MMP, LLC
Nikita Outrobine
 Owner

ACCEPTANCE:

The above proposal, including the terms on the reverse side hereof, are accepted. You are authorized to do the work as specified. I understand that any items that are not listed in the scope are not to be completed unless it's a part of amendment and any additions to the scope will require amendment to this contract and done at extra charge. Any hidden conditions might result in extra charge. The permit fees are sibject to change per city's requirements and numbers for permits will be adjusted on the final invoice per actual cost paid for all the permits with copies of the city's receipts.

Signature

Printed

Date:

Signature

Printed

Date:

MARTIN AND SON CONTRACTING LLC	<i>Construction Estimate</i>
LA RUE MARTIN III P.O. BOX 85422 RACINE, WI. 53408 Mobile 262 880-5503 <u>martinandsoncontracting@gmail.com</u>	Kimyron Bonner 262-676-1113 <u>kymironbonner@rocketmail.com</u>
	327 Main St. Racine, WI. 53403

Payment Method	Start Date	Job
Charge, Cash or Check	TBA	Restaurant remodel

	NOW ACCEPTING CREDIT CARDS		
	Carpentry work, Painting, flooring installation		
	Construct new interior walls according to architect prints		
	Patch and repair ceiling as required to receive new paint		
	Paint ceiling of dining, kitchen hallway and restrooms		
	Patch, repair, and prepare sub floor as required to receive new flooring		
	Install new vct flooring in dining, hallway, and cooking area		
Notes	HALF DOWN AND HALF AT COMPLETION	Subtotal	\$20,000
		Deposit	\$0.00
		Balance Due	\$20,000

Deduct \$4100.00 painting

Thank you for your business
(262) 880-5503

\$15,900.00

Invoice

C. Evans Lighting Design LLC
8102 old spring st. (262) 930 7755
Racine, WI 53406

Invoice Number: I170918707
Invoice Date: 09/18/2017
Payment Terms: Due On Receipt
Invoice Amount: 6,000.00
Created By: Carter Evans

Billing Address
Mrs. Betty's kitchen
4015 19th St
Racine, WI 53405

Shipping Address
Mrs. Betty's kitchen

Item #	Item Name	Quantity	Unit Price	Taxable	Total
2265	Project: 327 Main St Provide wiring for: Hood and essential equipment connected. Provide wiring for lighting. Provide wiring for outlets. Provide power for egress lighting. Customer to supply all lighting fixtures.	1.00	6,000.00		6,000.00

Comment:

Term: 1/2 down at approval
1/4 at rough electrical and remainder at completion.
Thanks for your business!

Subtotal: \$ 6,000.00
Invoice Amount **\$ 6,000.00**
Check #1004 on 09/18/2017: (3,000.00)
Invoice Balance: \$ 3,000.00

John Conner Co., LLC
P.O. Box 044053
Racine WI 53404
United States
Phone: 2625100077



Mrs. Betty's Kitchen
Kimyron Bonner

Estimate #:	0201819
Date:	September 5, 2017
Estimate Total (USD):	\$1,809.00

To view your estimate online » Go to: <https://johnconnercolic-billing.freshbooks.com/view/GxJPDrdQxFbXaS>

Item	Description	Unit Cost (\$)	Quantity	Price (\$)
Plumbing	Supply Gas Piping to Range, Grill, and Fryer. Provide and Install Regulators and Dormont Gas Supply Connectors. (Gas pipe and fittings provided by Plumbing Contractor.)	1,040.00	1	1,040.00
Plumbing	Food Prep Sink Rough and Finishing Plumbing. (Rough Plumbing Material Provided By Plumbing Contractor.)	970.00	1	970.00
NOTES: All gas fixture connectors included in quote.				
Subtotal:				2,010.00
Discount - 10%:				-201.00
Estimate Total (USD):				\$1,809.00

This estimate was sent using FRESHBOOKS



ROSELAND, NJ 07068
(262) 554-7070
FAX (262) 554-7171

Date 09/17/17

PROPOSAL

**SUBMITTED TO Myron Bonner
JOB NAME: Mrs. Betty's Kitchen**

- **Carpetland to furnish and install VCT in the Dining Room, Hallway, Janitor's Closet and portion of the Kitchen as identified on the blueprint. Carpetland to furnish and install new luan underlayment in these areas. This quote does not factor removal of the existing floor.**

➤ **Total cost is \$3,480**

Subject to field measure, inspection and acceptance of substrate. Minimal floor prep included; additional prep to be billed on a time and material basis. Alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our controls. Owner to carry fire, tornado and other necessary insurance. All work to be completed in a workmanlike manner according to standard practices.

ACCEPTANCE: The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified.

RESPECTFULLY SUBMITTED,

Chris Terry
CARPETLAND U.S.A., INC.

X _____ by:

NOTE: This proposal may be withdrawn by us if not accepted within 30 days.

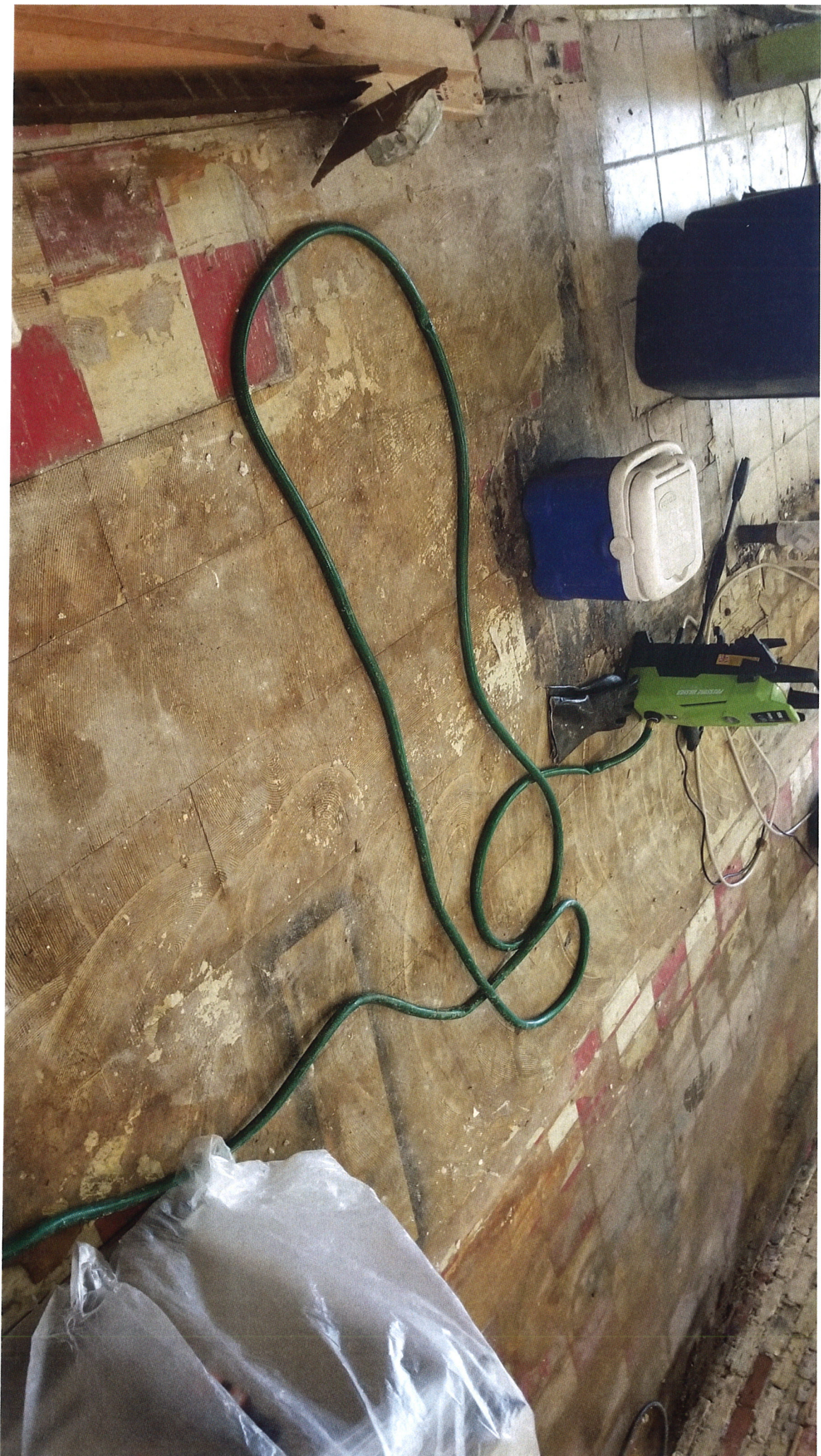














Remodding of Mrs. Betty's Kitchen

327 Main Street

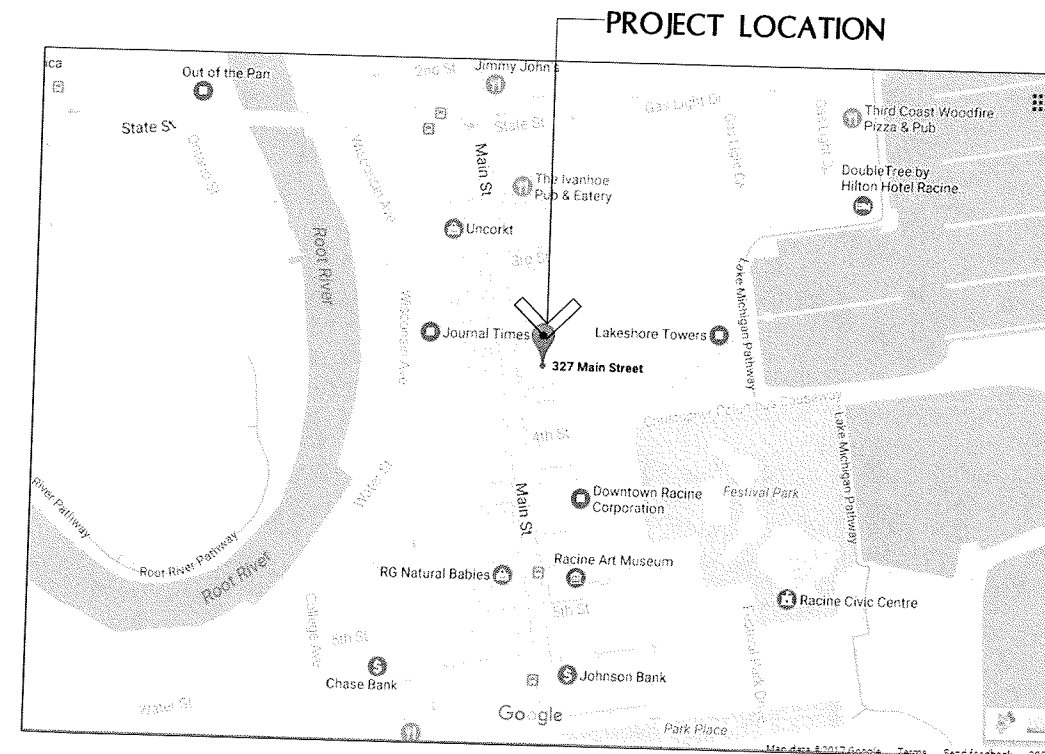
Racine, Wisconsin

SHEET INDEX

ARCHITECTURAL:

- A1 COVER SHEET/ SHEET INDEX, VICINITY MAP
- A2 GENERAL NOTES & CODE DATA
- A3 GENERAL NOTES
- A4 DEMOLITION PLAN
- A5 REMODELING PLAN
- A6 INTERIOR ELEVATIONS
- A7 EXTERIOR ELEVATIONS
- A8 REFLECTED CEILING PLAN
- A9 SECTIONS & DETAILS

MECHANICAL, ELECTRICAL & PLUMBING:
DESIGN-BUILD



VICINITY MAP

N.T.S.

Remodeling of
Mrs. Betty's Kitchen
327 Main Street
Racine, WI 53403

COVER SHEET
SHEET INDEX
VICINITY MAP

DRAWN BY: AA
ISSUE DATE: 6-20-2017
REVISION: DATE:

A1

GENERAL NOTES:

1. THE ARCHITECT MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, FOR THE METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
2. CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWING NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS, FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING SHORING, SCAFFOLDING, BRACING, ERECTION, ETC.); FOR COORDINATION OF THE VARIOUS TRADES; FOR SAFE CONDITIONS ON THE JOB SITE; AND FOR THE PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
3. VARIATIONS IN FIELD CONDITIONS RELATIVE TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT WORK SHALL NOT PROGRESS UNTIL WRITTEN PERMISSION FROM THE ARCHITECT IS OBTAINED.
4. THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT WITH THE OWNER.
5. ARCHITECT'S REVIEW OF DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC. ARE ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT. CONSTRUCTION SHALL NOT START WITHOUT SAID REVIEW, AND ONLY SHOP DRAWINGS STAMPED BY THE ARCHITECT WILL BE ALLOWED AT THE JOB SITE.
6. DRAWINGS ARE NOT TO BE USED FOR SHOP DETAILING OR FOR CONSTRUCTION UNLESS SPECIFICALLY STAMPED BY THE ARCHITECT ON THE DRAWINGS "FOR CONSTRUCTION". THESE DRAWINGS ARE TO BE REPRODUCED FOR THE PURPOSE OF USING THEM AS SHOP DRAWINGS.
7. UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
8. ALL DIMENSIONS ON SHOP DRAWINGS ARE TO BE CHECKED BY THE CONTRACTOR AGAINST ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL ARCHITECTURAL DRAWINGS AND TRADES.
9. UNLESS OTHERWISE SHOWN OR NOTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY INSERTS, HANGARS, PIPE SLEEVES, HOLES OR ANCHORS BOLTS THAT ARE REQUIRED BY THE MECHANICAL OR ELECTRICAL EQUIPMENT.
10. MADE FOR CONTRACTOR'S UNFAMILIARITY WITH REGULATIONS AND CODES.
11. ALL CONSTRUCTION SHALL BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE STATE THE CONTRACTOR SHALL COMPLY WITH THE LATEST OCCUPATIONAL SAFETY HEALTH ACT REQUIREMENTS. NO ALLOWANCE S WILL BE AND LOCAL BUILDING CODES.
12. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND BECOME FULLY FAMILIAR WITH EXISTING CONDITIONS ON SITE PRIOR TO BIDS, EXECUTION OF CONTRACT WITH OWNER AND START OF CONSTRUCTION. NO ALLOWANCES WILL BE MADE DUE TO THE CONTRACTOR'S UNFAMILIARITY WITH THE JOB SITE.
13. CONTRACTOR COORDINATE STAGING AREA WITH OWNER PRIOR TO DELIVERING OF MATERIALS TO SITE.
14. GENERAL CONTRACTOR TO PROTECT BUILDING COMPONENTS OF THE PROPERTY, UNLESS NOTED OTHERWISE GENERAL CONTRACTOR WILL BE BE RESPONSIBLE FOR AT AND ALL REPAIRS TO DAMAGED PROPERTY.
15. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERLS ARE DISCOVERED ON SITE DURING DEMOLITION.
16. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONFLICTS, INCONSISTENCIES IN SCOPE ON PLANS VS. EXISTING FIELD CONDITIONS, OR IF OTHER WORK OUTSIDE CONTRCAT HAS CAUSED ALTERATIONS TO CONDITIONS AND SCOPE.
17. CONTRACTOR TO VERIFY EXISTING GAS LINE SIZE, METER, POWER, CIRCUIT, ETC.
18. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW, COORDINATE AND INSTALL KITCHEN HOOD, MAKE-UP AND EXHAUST AIR AND ALL COMPONENTS ASSOCIATED WITH KITCHEN HOOD, MAKE-UP AND EXHAUST AIR AND FIRE SUPPRESSION SYSTEM.
19. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. IF CLARIFICATION OR ADDITIONAL INFORMATION ARE REQUIRED THE CONTRACTOR SHOULD VERIFY WITH ARCHITECT.
20. COORDINATE AND PROVIDE BACKING FOR ITEMS ATTACHED TO OR MOUNTED TO WALLS OR CEILING.
21. CONTRACTORS SHALL SUBMIT ELECTRONIC "PDF" SHOP DRAWINGS WITH TECHNICAL DATA AND APPLICABLE CUT SHEETS TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK. PROVIDE PHYSICAL SAMPLES OF INTERIOR AND EXTERIOR FINISHES WHERE REQUIRED.
22. CONTRACTOR SHALL SECURE AND PAY FOR FOR ALL REQUIRED APPROVALS, PERMITS, FEES AND LICENSEES RELATED TO THEIR DISCIPLINE PRIOR TO EXECUTION OF WORK.
23. WORK ON THIS PROJECT IS TO BE COMPLETED USING ACCEPTABLE CONSTRUCTION PRACTICES AND NEW, COMMERCIAL GRADE MATERIALS. IF QUESTIONS ARISE AS TO THE SPECIFIC MATERIAL TO BE USED, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE OWNER AND ARCHITECT. SUBSTITUTED PRODUCTS MUST BE APPROVED BY THE OWNER AND ARCHITECT PRIOR TO BIDDING.
24. INSTALL OWNER PROVIDED FOOD SERVICE EQUIPMENT IN LOCATIONS SHOWN.

CODE DATA:

COMMERCIAL BUILDING - TWO STORY
UPPER LEVEL RESIDENTIAL APARTMENT 2,033 S.F.
MAIN LEVEL BUSINESS 2,033 S.F.
SCOPE: REMODEL EXISTING SPACE
AREA TO BE REMODELED: 1090 S.F.
USE/ OCCUPANCY: EXISTING BUSINESS - GROUP "B". NO CHANGE OF USE
OCCUPANT LOAD: 30 PEOPLE
TYPE OF CONSTRUCTION:
TYPE III-B NONCOMBSUTIBLE, UNPROTECTED

Remodeling of
Mrs. Betty's Kitchen
327 Main Street
Racine, WI 53403

GENERAL NOTES
CODE DATA

DRAWN BY: AA
ISSUE DATE: 6-20-2017
REVISION: DATE:

MECHANICAL NOTES:

1. THESE DRAWINGS DO NOT ATTEMPT TO SHOW THE COMPLETE DETAILS OF BUILDING CONSTRUCTION WHICH AFFECT THE MECHANICAL INSTALLATION. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS WHICH AFFECT THE PROPER INSTALLATION OF THIS WORK. NO EXTRA PAYMENT WILL BE ALLOWED FOR THE FAILURE TO OBTAIN THIS INFORMATION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL REVIEW EXISTING FIELD CONDITIONS PRIOR TO BID AND SHALL TAKE INTO ACCOUNT IN BID PROPOSAL. NO ADDITIONAL COMPENSATION WILL BE ALLOWED DUE TO CONTRACTORS FAILURE TO INCLUDE ALL NECESSARY WORK IN THE BID PROPOSAL.
3. MECHANICAL CONTRACTOR SHALL COORDINATE ALL WORK WITH THE WORK OF OTHER TRADES. RESOLVE ALL CONFLICTS AT NO ADDITIONAL COST TO THE OWNER.
4. THESE DRAWINGS ARE A DIAGRAMMATIC REPRESENTATION OF WORK TO BE ACCOMPLISHED AND AS SUCH DO NOT SHOW ALL REQUIRED OFFSETS OF PIPING, DUCTWORK, ETC. MECHANICAL CONTRACTOR SHALL INSTALL MATERIAL AND EQUIPMENT AS TO CONFORM TO THE STRUCTURE EQUIPMENT CONNECTIONS AND MAINTAIN HEADROOM AND PASSAGEWAY.
5. ALL CUTTING AND PATCHING OF EXISTING STRUCTURE TO ACCOMMODATE NEW HVAC IS BY MECHANICAL CONTRACTOR.
6. ALL CONTROL WIRING SHALL BE RUN IN CONDUIT OR SHALL BE PLENUM RATED.
7. ALL STARTERS, DISCONNECTS SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR UNLESS OTHERWISE NOTED AND COORDINATED WITH OTHER TRADES. PATCH AND PAINT ALL UNUSED WALL/CEILING OPENINGS
8. ALL KITCHEN HOOD EXHAUST DUCTWORK SHALL HAVE FIELD APPLIED FIRE BARRIERS INSTALLED CONSISTING OF (2) LAYERS OF 3M FIRE BARRIER DUCT WRAP 615+ OR APPROVED EQUAL.
9. DESIGN-BUILD CONTRACTOR TO PROVIDE DESIGN OF EXHAUST, MAKE-UP ARE, GAS LINE SIZE AND CONNECTION, DUCT SIZING, ETC.
GREASE EXHAUST DUCTWORK SHALL BE PITCHED MINIMUM $\frac{1}{4}$ " PER FOOT TO GREASE RESERVOIR IN DUCT WORK.
INTERLOCK EXHAUST AND MAKE-UP AIR FANS WITH KITCHEN HOOD HEAT SENSORS TO START WHEN COOKING EQUIPMENT IS OPERATIONAL. HEAT SENSORS AND CONTROL PANEL TO BE PROVIDED BY HOOD MANUFACTURER.

GENERAL PLUMBING NOTES:

1. CONTRACTOR SHALL COORDINATE ALL WORK WITH EXISTING CONDITIONS AND WITH THE WORK OF OTHER TRADES.
2. CONTRACTOR WILL BE RESPONSIBLE TO REMOVE ANY EXISTING AND ALL ABANDONED PIPING, DUCTWORK, AND/OR CONDUIT TO BE CAPPED AT FLOOR PENETRATION OR MAIN.
3. CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF CONSTRUCTION BOUNDARY LIMITS UNLESS NOTED ON PLANS.
4. CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING AND VERIFYING ALL PIPING LOCATIONS AND THE SUBSEQUENT EFFECTS OF THE SHUT OFF OF THE PIPING BEFORE PROCEEDING WITH ANY DEMOLITION.
5. THE EXTENT OF THE EXISTING PIPE, VALVES, EQUIPMENT, ETC MAY NOT BE SHOWN IN ITS ENTIRETY. FIELD VERIFY EXACT SIZE, LOCATIONS, AND CONFIGURATION OF EXISTING PIPING.
6. IT IS THE INTENT OF THE THESE DOCUMENT THAT FIXTURES TO BE REMOVED SHALL INCLUDE THE REMOVAL OF ALL INCIDENTAL BRANCH PIPING SERVING THAT FIXTURE OR FIXTURES.
7. FIELD VERIFY ALL PLUMBING EQUIPMENT, FIXTURES ASSOCIATED PIPING TO BE REMOVED.
8. NO PIPING SHALL BE ABANDONED IN PLACE. ALL UNUSED EXISTING PIPING SHALL BE REMOVED.

ELECTRICAL NOTES:

1. ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL, STATE, LOCAL CODES, FEDERAL AND STATE REGULATIONS, AND ALL REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING JURISDICTION.
2. THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE FULL EXTENT OF WORK AND PROJECT CONDITIONS, AND SHALL BE FAMILIAR WITH THE LOCAL CONDITIONS AND CODES RELATING TO THE WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATIONS OF THE CONTRACT.
3. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY EQUIPMENT, MATERIALS, INSTALLATIONS, ETC., THAT ARE DEFICIENT OR IN VIOLATION OF LOCAL CODES AND REGULATIONS.
4. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS, LABOR, EQUIPMENT, DEVICES, FIXTURES, SERVICE REQUIREMENTS, ETC., NECESSARY FOR A COMPLETE AND FULLY OPERATIONAL ELECTRICAL SYSTEM/ INSTALLATION.
5. THE CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE WITH THESE DRAWINGS. WHERE MORE STRINGENT REQUIREMENTS ARE SET FORTH BY LOCAL CODES AND REGULATIONS. THE GREATER REQUIREMENTS SHALL GOVERN. ANY DEVIATIONS FROM THESE DRAWINGS SHALL BE RECORDED AND PROVIDED IN WRITING TO THE ARCHITECT.
6. THE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC AND THE CONTRACTOR SHALL INSTALL EQUIPMENT TO MEET FIELD CONDITIONS.
7. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE RESPECTIVE TRADES AND VERIFY LOCATIONS AND REQUIREMENTS FROM THE ARCHITECTURAL DRAWINGS, FIELD MEASUREMENTS AND SUPPLIER SHOP DRAWINGS.
8. THE CONTRACTOR SHALL CHECK ALL DRAWINGS AND SPECIFICATIONS OF OTHER TRADES AND INCLUDE IN THEIR BID ANY ADDITIONAL WORK REQUIRED BY THIS TRADE.
9. ALL OUTLETS. ALL OUTLETS SHALL BE MOUNTED VERTICALLY UNLESS OTHERWISE NOTED.
COORDINATE ALL FINAL DEVICE REQUIREMENTS WITH ARCHITECT PRIOR TO INSTALLATION.
10. ALL CONDUITS SHOULD BE SUPPORTED IN COMPLIANCE WITH CODE REQUIREMENTS AND INSTALLED IN A MANNER AS TO AFFORD MINIMUM INTERFERENCE WITH OTHER TRADES. ALL CONDUITS ABOVE CEILING SHALL BE RIGIDLY SUPPORTED BY SUITABLE HANGERS FROM THE STRUCTURAL SLAB DECK OR FRAMING ABOVE INDEPENDENT OF THE CEILING, CEILING SUPPORT SYSTEM AND OTHER TRADE COMPONENTS. ALL CONDUITS SHALL BE CONCEALED.
11. FIRE RATED SEALS SHALL BE PROVIDED FOR ALL CONDUIT PENETRATIONS THROUGH FIRE RATED FLOORS, WALLS, AND CEILINGS.
12. CONTRACTOR SHALL VERIFY ALL EQUIPMENT CONNECTION CONFIGURATIONS. ALL DEVICES SHOWN ARE FOR REFERENCE ONLY, TO COMMUNICATE DESIGN INTENT, FINAL LOCATIONS SHALL BE VERIFIED PRIOR TO INSTALLATION. THIS NOTE SHALL APPLY TO BUT NOT BE LIMITED TO RECEPTACLES, SWITCHES, ETC.
13. THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL ABOVE CEILING REQUIREMENTS (PLENUM, NON-PLENUM, AIR HANDLING, ETC.) AS REQUIRED BY LOCAL AUTHORITY BEFORE THE INSTALLATION OF ELECTRICAL EQUIPMENT, MATERIALS AND DEVICES, WIRING, CABLING, AND THE ORDERING OF LIGHTING FIXTURES.

EQUIPMENT NOTES:

1. CONTRACTOR TO COORDINATE ALL FINAL CONNECTION TYPES PRIOR TO ROUGH-IN. ALL CONNECTIONS ARE TO BE VERIFIED AND COORDINATED WITH PANEL BOARDS, BREAKERS DISCONNECTS, PLUG TYPES, CORDS, ETC. PRIOR TO ORDERING DEVICES AND ELECTRICAL GEAR. ANY CHANGES TO THE EQUIPMENT SHALL BE COORDINATED IN THE FIELD AND SHALL NOT BE THE RESPONSIBILITY OF THE OWNER. DISCREPANCIES IN THE EQUIPMENT SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO THE BID.
2. ANY COST OCCURRED FROM FAILURE TO COORDINATE BETWEEN ELECTRICAL, MECHANICAL AND GENERAL CONTRACTOR ON THIS PROJECT SHALL NOT BE THE RESPONSIBILITY OF THE OWNER.
3. ALL DISCONNECTS AND PANELS ARE TO BE NEMA 3R RATED IN THE KITCHEN AREA.
4. KITCHEN HOOD WIRING SCHEMATICS SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR. GENERAL CONTRACTOR TO COORDINATE BETWEEN ELECTRICAL AND MECHANICAL CONTRACTOR. GENERAL CONTRACTOR TO DETERMINE WHO MAKES THE FINAL CONNECTIONS. THE GENERAL CONTRACTOR, ELECTRICAL CONTRACTOR AND MECHANICAL CONTRACTOR SHALL COORDINATE AND PROVIDE ALL THE PARTS, PIECES AND CIRCUITRY TO MAKE A COMPLETE AND OPERATIONAL SYSTEM FOR THE HOOD, EXHAUST, MAKE-UP AIR AND FIRE SUPPRESSION SYSTEM.

Remodeling of
Mrs. Betty's Kitchen

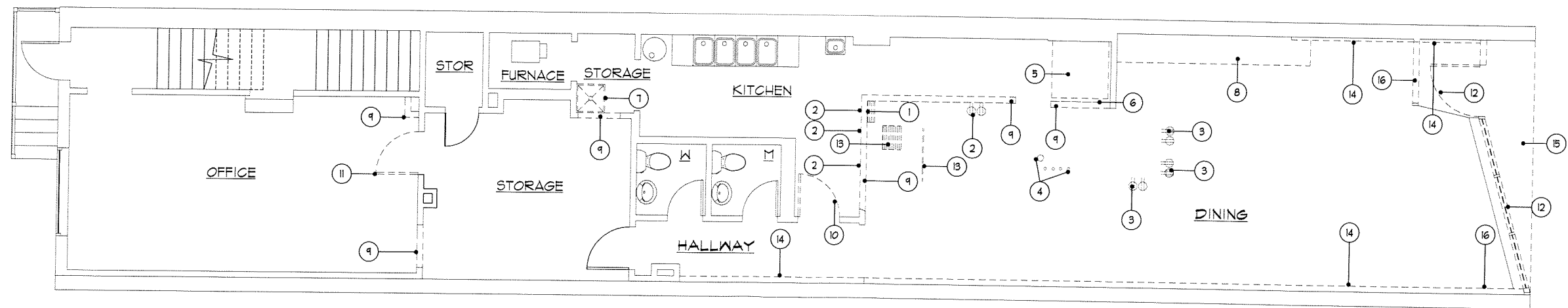
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GENERAL NOTES

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A3

- KEYED DEMOLITION NOTES:
- 1. REMOVE EXISTING FLOOR AND WALL GRILLES AND RELOCATE TO NEW WALL AS SHOWN ON REMODELING PLAN. VERIFY LOCATION WITH OWNER.
 - 2. REMOVE EXISTING WALL. OUTLETS. CAP OFF LINES AS REQUIRED.
 - 3. REMOVE EXISTING FLOOR OUTLETS. CAP OFF LINES AS REQUIRED.
 - 4. REMOVE EXISTING PLUMBING LINES. CAP OFF AS REQUIRED.
 - 5. REMOVE EXISTING WALLS, HOOD, ANGUL, GAS, ELECTRICAL, ETC...RECOGNFIGURE FOR NEW WORK AS REQ'D.
 - 6. REMOVE EXISTING STAINLESS STEEL WALL PANEL. REUSE AS PRACTICABLE AS POSSIBLE.
 - 7. REMOVE EXISTING MOB SINK. CAP OFF ALL PLUMBING LINES AS REQ'D.. RELOCATE AS SHOWN PER REMODEL PLAN. CONNECT ALL PLUMBING LINES AS REQ'D.
 - 8. REMOVE REMOVE EXISTING DROPPED SOFFIT. PATCH, REPAIR & FINISH CEILING TO MATCH ADJACENT SURFACES
 - 9. REMOVE EXISTING WALL.
 - 10. REMOVE EXISTING DOOR & FRAME.
 - 11. RELOCATE EXISTING DOOR, FRAME & EXIT SIGN PER REMODELING PLAN NOTE #7.
 - 12. REMOVE EXISTING DOOR & STOREFRONT.
 - 13. REMOVE CEILING RETURN GRILLE RELOCATE TO DINING AREA AWY FROMMSUPPLY GRILLES. VERIFY LOCATION WITH OWNER.
 - 14. REMOVE EXISTING FURRING. EXPOSED BRICK. SEE INTERIOR ELEVATIONS.
 - 15. REMOVE EXISTING SOFFIT. REPLACE WITH PREFINISHED ALUM. SOFFIT.
 - 16. REMOVE EXISTING MIRROR.



DEMOLITION PLAN

1/4" = 1'-0"

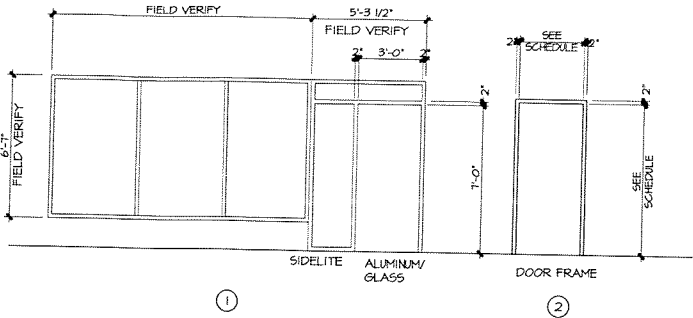


- DENOTES NEW WALL
- DENOTES EXISTING WALL TO REMAIN
- DENOTES EXISTING WALL TO BE REMOVED

DEMOLITION
PLAN

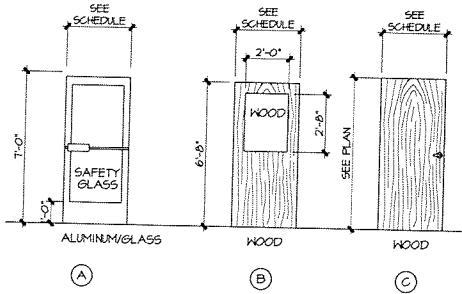
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REVISION: DATE:

DOOR SCHEDULE										
DOOR NO.	TYPE	SIZE	DOOR			FRAME			NOTES	
			MAT'L	GLAZING	RATING	TYPE	MAT'L	HARDWARE		
①	A	3'-0" X 7'-0"	ALUM	YES	NA	1	ALUM	1	PAINT TO MATCH WALL	
②	B	3'-0" X 6'-8"	HM	YES	NA	2	HM	2		
③	C	3'-0" X 7'-0"	HM	NA	NA	3	HM	3		
④	C	EXISTING	EXISTING	NA	NA	EXISTING	EXISTING	NA	RELOCATE AS SHOWN	
⑤	C	EXISTING	EXISTING	NA	NA	EXISTING	EXISTING	NA		
⑥	C	EXISTING	EXISTING	NA	NA	EXISTING	EXISTING	NA		
⑦	C	EXISTING	EXISTING	NA	NA	EXISTING	EXISTING	NA		
⑧	C	EXISTING	EXISTING	NA	NA	EXISTING	EXISTING	NA		
⑨	C	EXISTING	EXISTING	NA	NA	EXISTING	EXISTING	NA		
⑩	C	3'-0" X 7'-0"	HM	NA	NA	3	HM	NA		
⑪	C	3'-0" X 6'-8"	HM	NA	NA	4	HM	4		



FRAME TYPES

1/8" = 1'-0"



DOOR TYPES

1/8" = 1'-0"

HARDWARE

HARDWARE SET #1	HARDWARE SET #2	HARDWARE SET #3	HARDWARE SET #4
1 SET PIVOTS STOP ALUM. THRESHOLD CLOSER 1 SET WEATHERSTRIPPING PUSH/PULL KEY CYLINDER LOCK	1 SET PIVOT HINGES VISION PANEL	1 1/2 PAIRS HINGES STOP LATCH SET	1 1/2 PAIRS HINGES STOP LOCK SET

ROOM FINISH SCHEDULE

ROOM NAME	FLOORING FINISH	BASEBOARD FINISH	CEILING HEIGHT	CEILING FINISH	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL
DINING	VCT	SEE ELEVATIONS	9'-0"	PAINTED	SEE ELEVATIONS	SEE ELEVATIONS	SEE ELEVATIONS	SEE ELEVATIONS
KITCHEN	VCT & EXISTING	SEE ELEVATIONS	9'-0"	PAINTED	SEE ELEVATIONS	SEE ELEVATIONS	SEE ELEVATIONS	SEE ELEVATIONS
HALLWAY	VCT	VB	9'-0"	PAINTED	SEE ELEVATIONS	SEE ELEVATIONS	SEE ELEVATIONS	SEE ELEVATIONS
M & W	-	-	9'-0"	-	-	-	-	-
STORAGE (3)	-	-	9'-0"	-	-	-	-	-
FURNACE	-	-	9'-0"	-	-	-	-	-
JANITOR CLOSET	VCT	VB	9'-0"	PAINTED	PS&B	PS&B	PS&B	PS&B

FINISH SCHEDULE NOTES

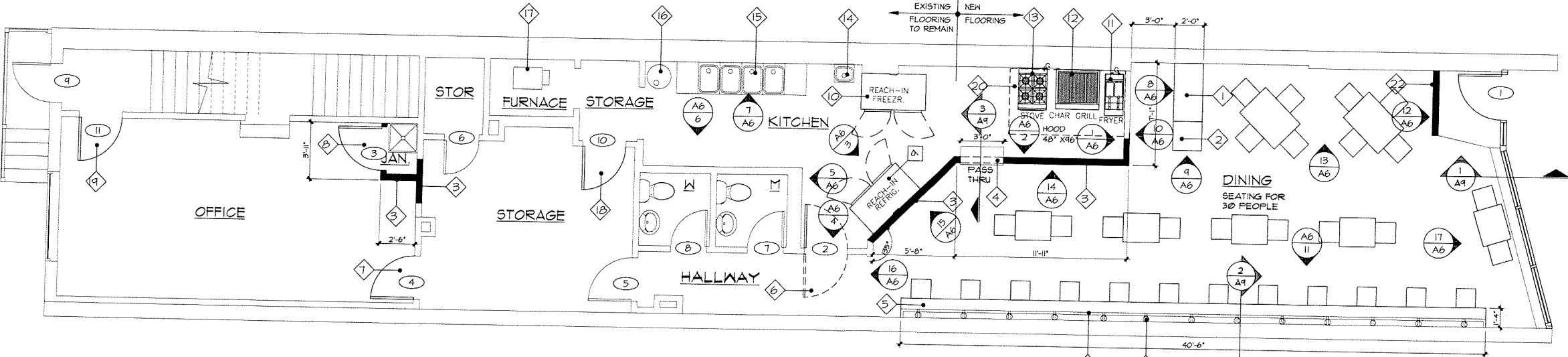
- PAINT CEILING OF DINING, KITCHEN HALLWAY AND RESTROOMS
- PATCH AND REPAIR CEILING AS REQ. TO RECEIVE NEW PAINT
- PROVIDE NEW VCT FLOORING IN DINING, HALLWAY AND COOKING AREA
- REPLACE EXISTING DAMAGED SUBFLOOR WITH CDX PLYWOOD THICKNESS TO MATCH EXISTING. PREPARE SURFACE TO RECEIVE NEW FLOORING.
- NO FLOORING IN OTHER AREAS NOT MENTIONED.

KEYED REMODELING NOTES:

- 1 • WAITRESS STATION: PLASTIC LAM. & SOLID SURFACE COUNTER
- 2 • CASHIER: PLASTIC LAM. & SOLID SURFACE COUNTER.
- 3 • NEW WALL 5/8" GYP. BD. BOTH SIDE ON 2X4'S @ 16" O.C. PAINT TO MATCH ADJACENT SURFACES.
- 4 • PASS THRU WITH: (2) STAINLESS STEEL SHELVES.
- 5 • NEW SOLID SURFACE COUNTER WITH BRACKET SUPPORTS @ 36" O.C.
- 6 • NEW DOUBLE ACTING DOOR SEE DOOR SCHEDULE.
- 7 • RELOCATED DOOR, FRAME & EXIT SIGN. DOOR #4 SEE DOOR SCHEDULE.
- 8 • NEW DOOR. SEE SCHEDULE.
- 9 • REACH-IN REFRIGERATOR BY OWNER INSTALLED BY CONTRACTOR.
- 10 • REACH-IN FREEZER BY OWNER INSTALLED BY CONTRACTOR.
- 11 • NEW FRYER BY OWNER INSTALLED BY CONTRACTOR.
- 12 • CHAR GRILL BY OWNER INSTALLED BY CONTRACTOR.
- 13 • STOVE BY OWNER INSTALLED BY CONTRACTOR.
- 14 • EXISTING SINK TO REMAIN.
- 15 • EXISTING (4) COMPARTMENT SINK TO REMAIN.
- 16 • EXISTING GREASE TRAP TO REMAIN.
- 17 • EXISTING FURNACE TO REMAIN.
- 18 • NEW DOOR IN NEW OPENING SEE DOOR SCHEDULE.
- 19 • NEW DOOR IN EXISTING OPENING SEE DOOR SCHEDULE.
- 20 • NEW HOOD, EXHAUST, MAKE-UP AIR & SUPPRESSION SYSTEM.
- 21 • PROVIDE OUTLET ON BRCK WALL AT EACH CHAIR.
- 22 • LIGHT GAUGE STEEL MESH WELDED TO 2X2 STEEL TUBES. BY "MCNICHOLS" OR APPROVED EQUAL. ITEM# 3603130041. WIRE MESH, SQUARE WELDED, PLAIN STEEL COLD ROLLED, WELDED UNCONSTRUCTION, 3" MESH, .135" WIRE, 2.865" OPENING, 91% OPEN AREA, SHEET.

FINISH KEY

FLOOR	BASE	WALLS	CEILING
CPT CARPET	VB 4" VINYL BASE	PS&B PAINTED GYPSUM WALL BOARD	ACT ACOUSTICAL CEILING TILE
SV SHEET VINYL	QTB QUARRY TILE BASE	EB EXPOSED BRICK	VF/ACT VINYL FACED ACT
VCT VINYL COMPOSITION TILE	CTB CERAMIC TILE BASE	VNC VINYL WALL COVERING	PS&B PAINTED GYPSUM WALL BOARD
QT QUARRY TILE	- EXISTING TO REMAIN	FRP/PS&B FIBERGLASS WALL PANEL	- EXISTING TO REMAIN



REMODELING PLAN

1/4" = 1'-0"

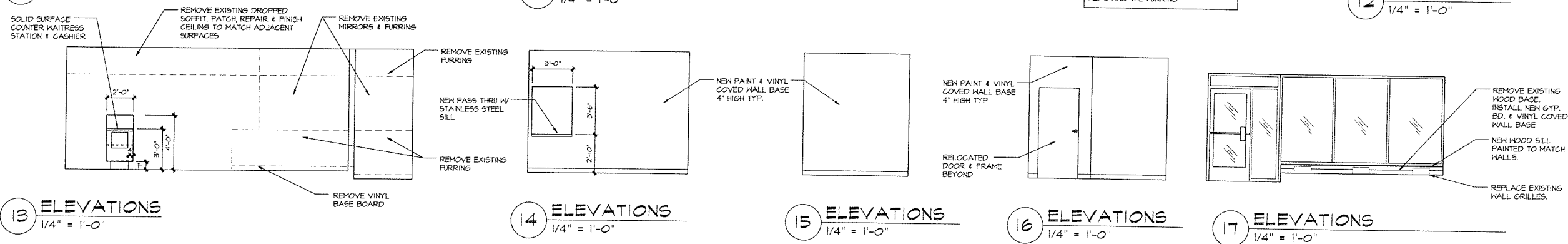
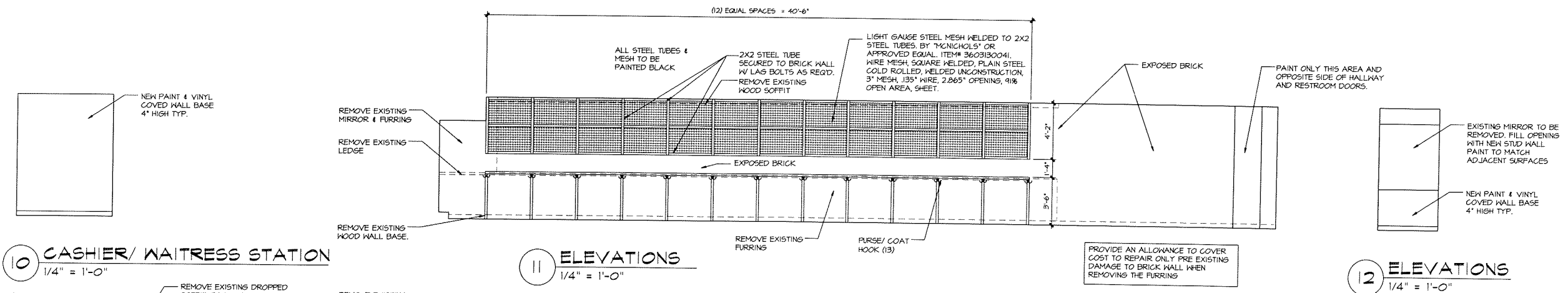
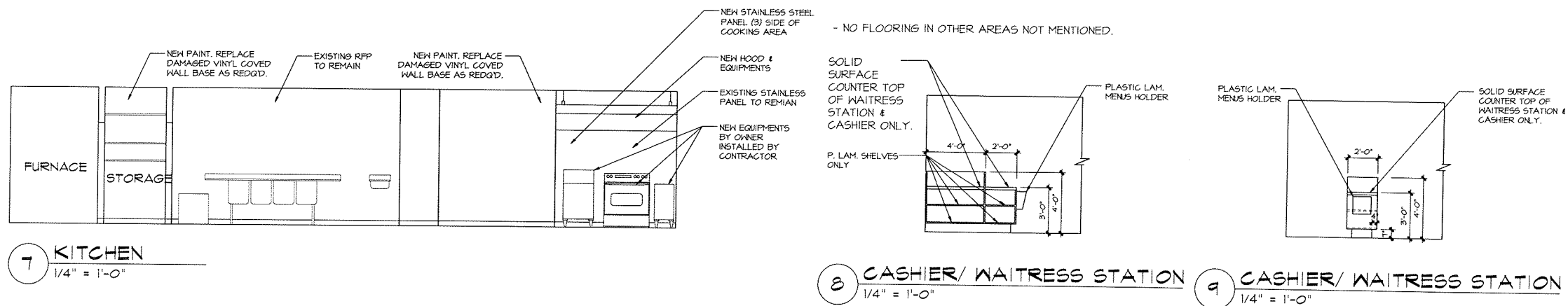
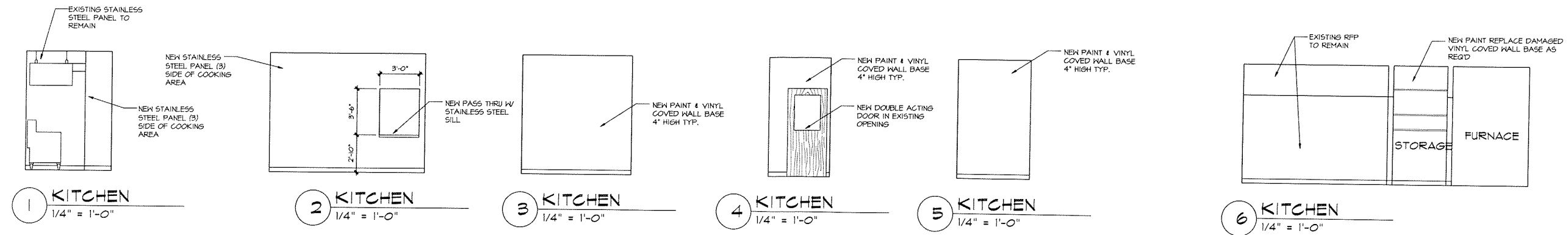
- DENOTES NEW WALL
- DENOTES EXISTING WALL TO REMAIN
- - - - - DENOTES EXISTING WALL TO BE REMOVED

Remodeling of
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Racine, WI 53403

REMODELING
PLAN

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REVISION: DATE:

A5

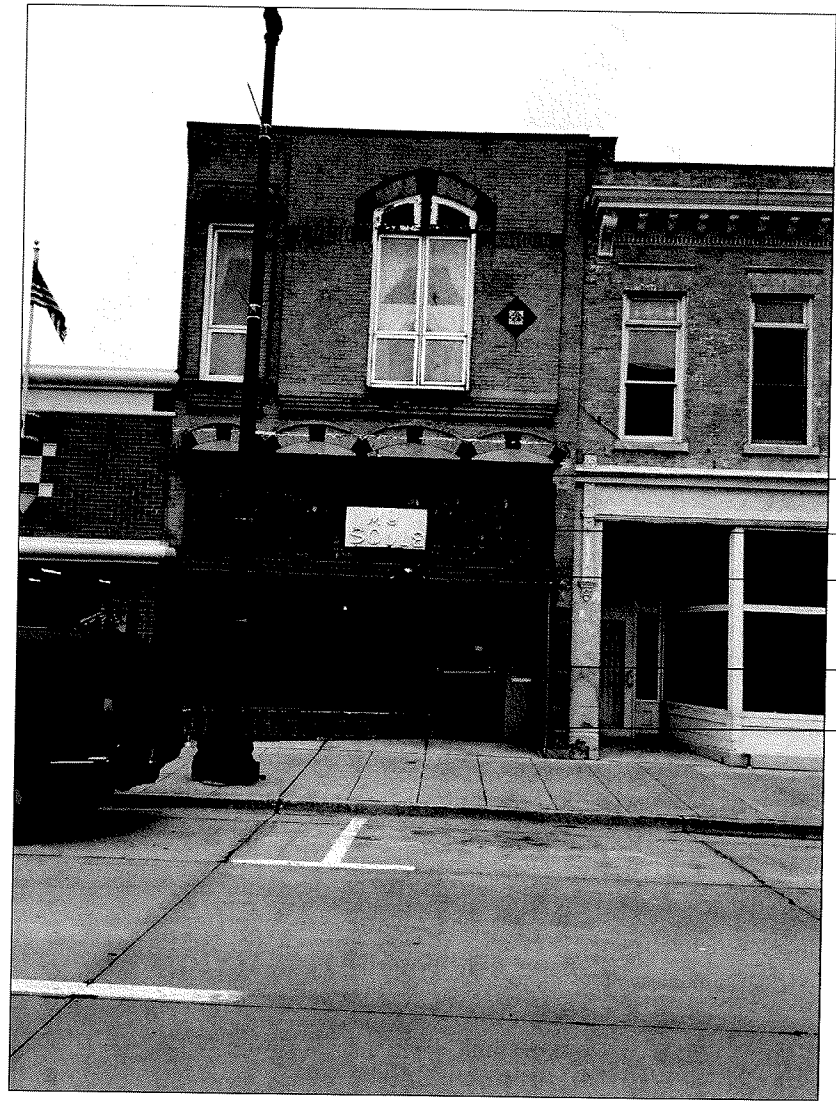


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INTERIOR ELEVATIONS

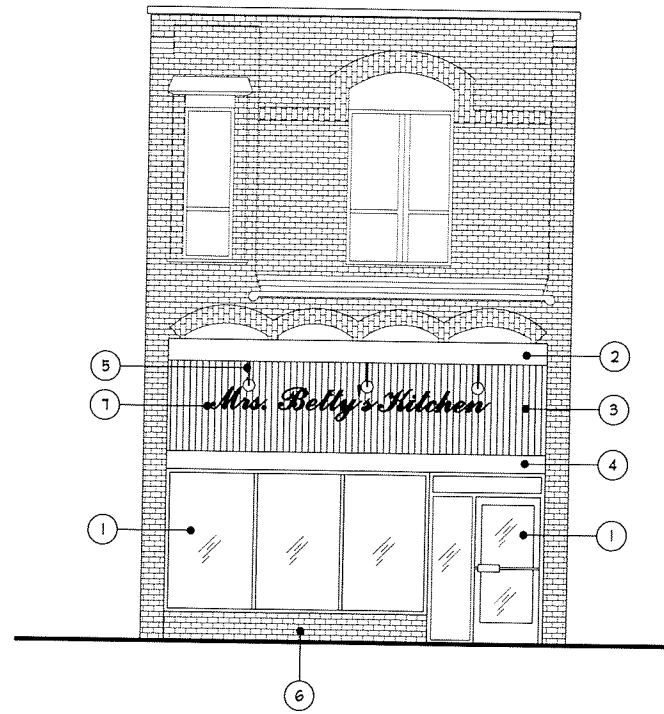
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REVISION: DATE:

- KEYED NOTES - EXISTING FRONT ELEVATION
- ① —● EXSITING STEEL BEAM TO REMAIN.
 - ② —● REMOVE EXISTING CEDAR SHAKE, REPLACE EXISTING DAMAGED SUBSTRATE AS REQ'D.
 - ③ —● EXISTING FASCIA TO REMAIN.
 - ④ —● REMOVE EXISTING STOREFRONT & FRAMED WALL.
 - ⑤ —● EXISTING BRICK TO REMAIN.



① EXISTING FRONT ELEVATION
N.T.S.

- KEYED NOTES - PROPOSED FRONT ELEVATION
- ① —● NEW STOREFRONT W/ INSULATING GLASS & THERMALLY BROKEN FRAME. ANODIZED ALUMINUM FRAME - DARK BRONZE. TINTED TAN GLAZING.
 - ② —● EXISTING STEEL BEAM. CLEAN, SCRAPE TREAT AGAINST RUST. PAINT DARK BRONZE.
 - ③ —● CORRUGATED GALVANIZED METAL PANE "SINEWAVE 26T"x7/8" BY C.M.I.N.C" OR APPROVED EQUAL SECURED TO SUBSTRATE AS REQ'D.
 - ④ —● EXISTING FASCIA: REPAIR DENTS, SCRAPE FLAKING PAINT, REPAIR DAMAGED CORNERS. PREPARE SURFACE FOR NEW PAINT. PAINT DARK BRONZE.
 - ⑤ —● NEW (3) LIGHT FIXTURES. SEE REFLECTED CEILING PLAN FOR INFORMATION.
 - ⑥ —● EXISTING BRICK TO REMAIN. REPAIR, RESTORE AS REQ'D. AFTER INSTALLATION OF NEW STOREFRONT.
 - ⑦ —● BUILDING SIGN VERIFY COLOR & STYLE WITH ARCHITECT.



② PROPOSED FRONT ELEVATION
1/4" = 1'-0"

Remodeling of
Mrs. Betty's Kitchen
327 Main Street
Racine, WI 53403

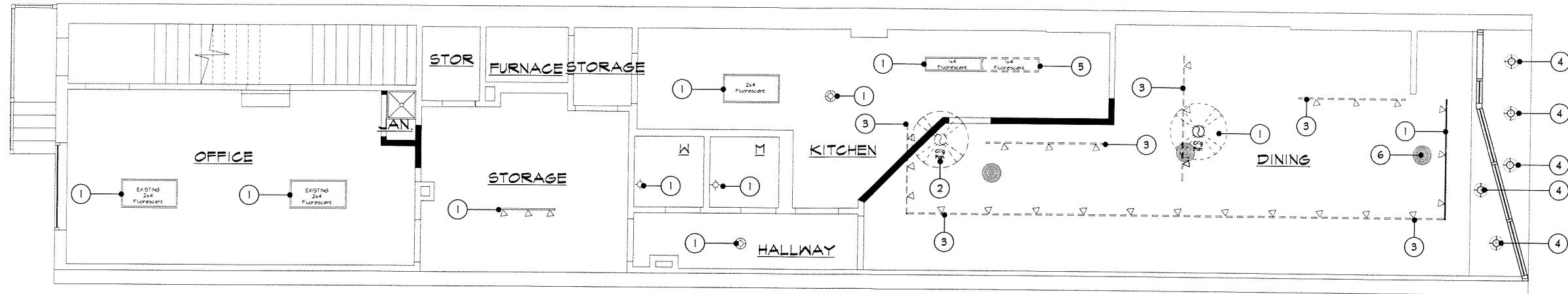
EXTERIOR
ELEVATIONS

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A7

Remodeling of Mrs. Betty's Kitchen

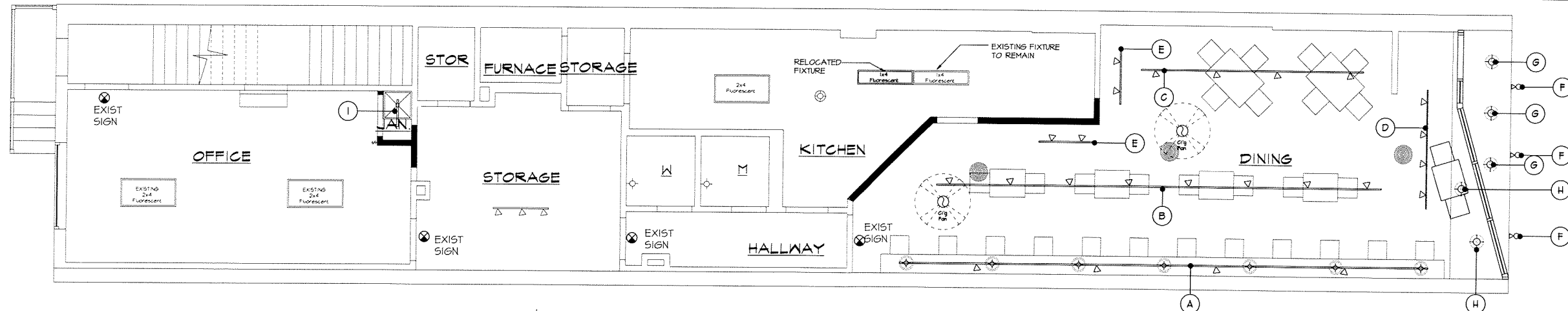
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REFLECTED CEILING - DEMOLITION PLAN
1/4" = 1'-0"

KEYED NOTES - REFLECTED CEILING DEMOLITION PLAN

- 1 - EXISTING TO REMAIN.
- 2 - REMOVE EXISTING FAN AND RELOCATE PER OWNER'S DIRECTION.
- 3 - REUSE/ RELOCATE EXISTING TRACKS. RECONFIGURE PER REMODELING PLAN. IF NOT POSSIBLE FURNISH & INSTALL NEW TRACKS PER PROPOSED LAYOUT. DO NOT REUSE EXISTING HEADS.
- 4 - REPLACE EXISTING RECESSED FIXTURES PER REMODELING PLAN.
- 5 - RELOCATE EXISTING FIXTURE PER REMODELING PLAN.
- 6 - EXISTING CEILING GRILLS (3) TO REMAIN.



REFLECTED CEILING - REMODELING PLAN
1/4" = 1'-0"

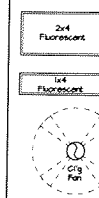
NEW LIGHT SCHEDULE

QUANTITY	ITEM
4 Type A	Juno R8bz
1 Type A	Juno R6bz
1 Type A	Juno R29 bz (floating feed)
8 Type A	Juno T31bl (pendant adapters)
4 Type A	Juno R552bz (heads)
4 Type A	467910 12PAR30S/AMB/F40/B30/DIM ULW
4 Type A	Juno R23bz (mini inline)
7 Type A	Pendent, B2ocled pd2, black
4 Type B	Juno R8bz3type bjuno R23bz (mini inline)
1 Type B	Juno R29 bz (floating feed)
8 Type B	Juno R552bz (heads)
8 Type B	467910 12PAR30S/AMB/F40/B30/DIM ULW
2 Type C	Juno R8bz
1 Type C	Juno R23bz (mini inline)
1 Type C	Juno R29 bz (floating feed)
4 Type C	Juno R552bz (heads)
4 Type C	467910 12PAR30S/AMB/F40/B30/DIM ULW

NEW LIGHT SCHEDULE

QUANTITY	ITEM
4 Type C	467910 12PAR30S/AMB/F40/B30/DIM ULW
1 Type D	Juno R8bz2type djuno R29 bz (floating feed)
4 Type D	Juno R552bz (heads)
4 Type D	467910 12PAR30S/AMB/F40/B30/DIM ULW
2 Type E	Juno R4bz2type ejuno R29 bz (floating feed)
4 Type E	Juno R552bz (heads)
4 Type E	467910 12PAR30S/AMB/F40/B30/DIM ULW
3 Type F	Goose neck raslo/rqnl5abr
2 Type G	Recessed interior S4410 (led retro trim - painted bronze)
3 Type H	Recessed exterior S4411 (led retro trim - painted bronze)
1 Type I	Ceiling NUVO 65-1103, 2 foot led strip
5	recessed canslC22 Juno
3	led lamp exterior rated a lamp

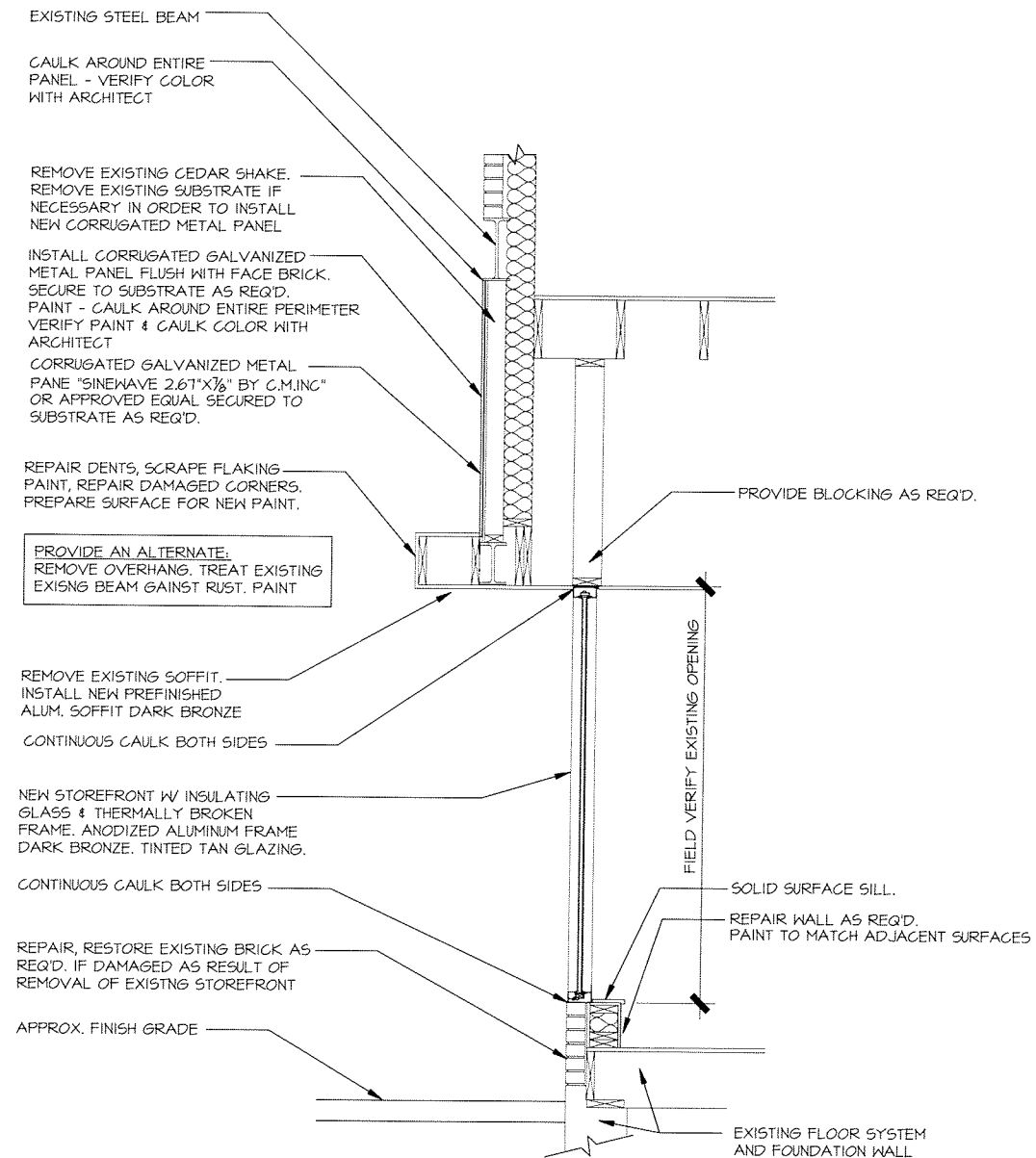
- J - Junction Box
- D - Duplex Outlet
- Ceiling Mounted Light Fixture
- S - Single Pole Switch
- P - Pendant Fixture
- R - Recessed Light
- DO - Exterior light
- ⊗ - Exit Light



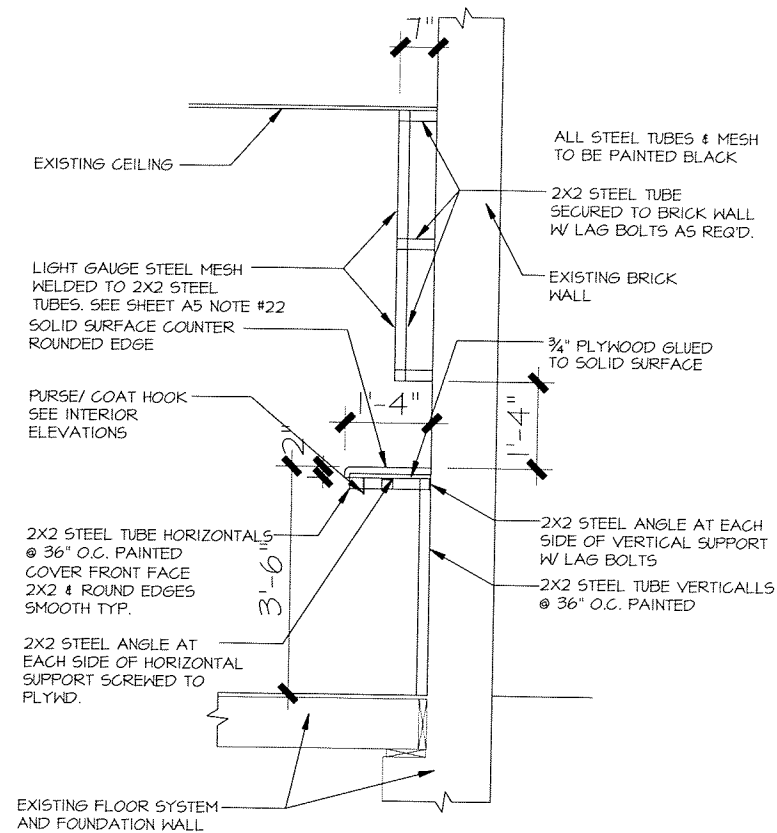
REFLECTED PLAN

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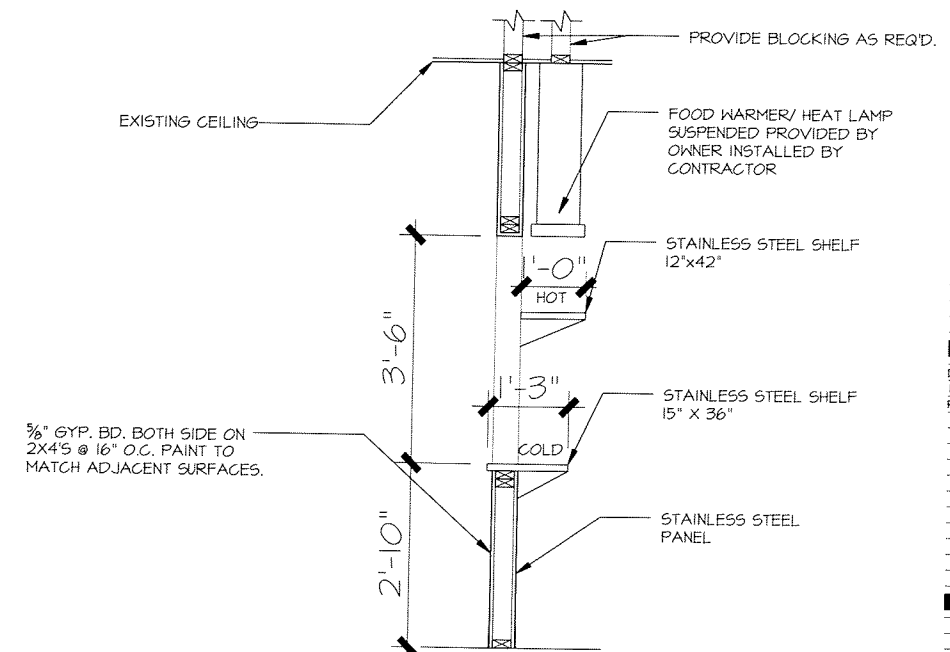
A8



1 SECTION THRU STOREFRONT
SCALE: 3/4" = 1' - 0"



2 SECTION THRU COUNTER
SCALE: 3/4" = 1' - 0"



3 SECTION THRU PASS-THRU
SCALE: 3/4" = 1' - 0"

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**SECTIONS
&
DETAILS**

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A9