



Application for Administrative Review

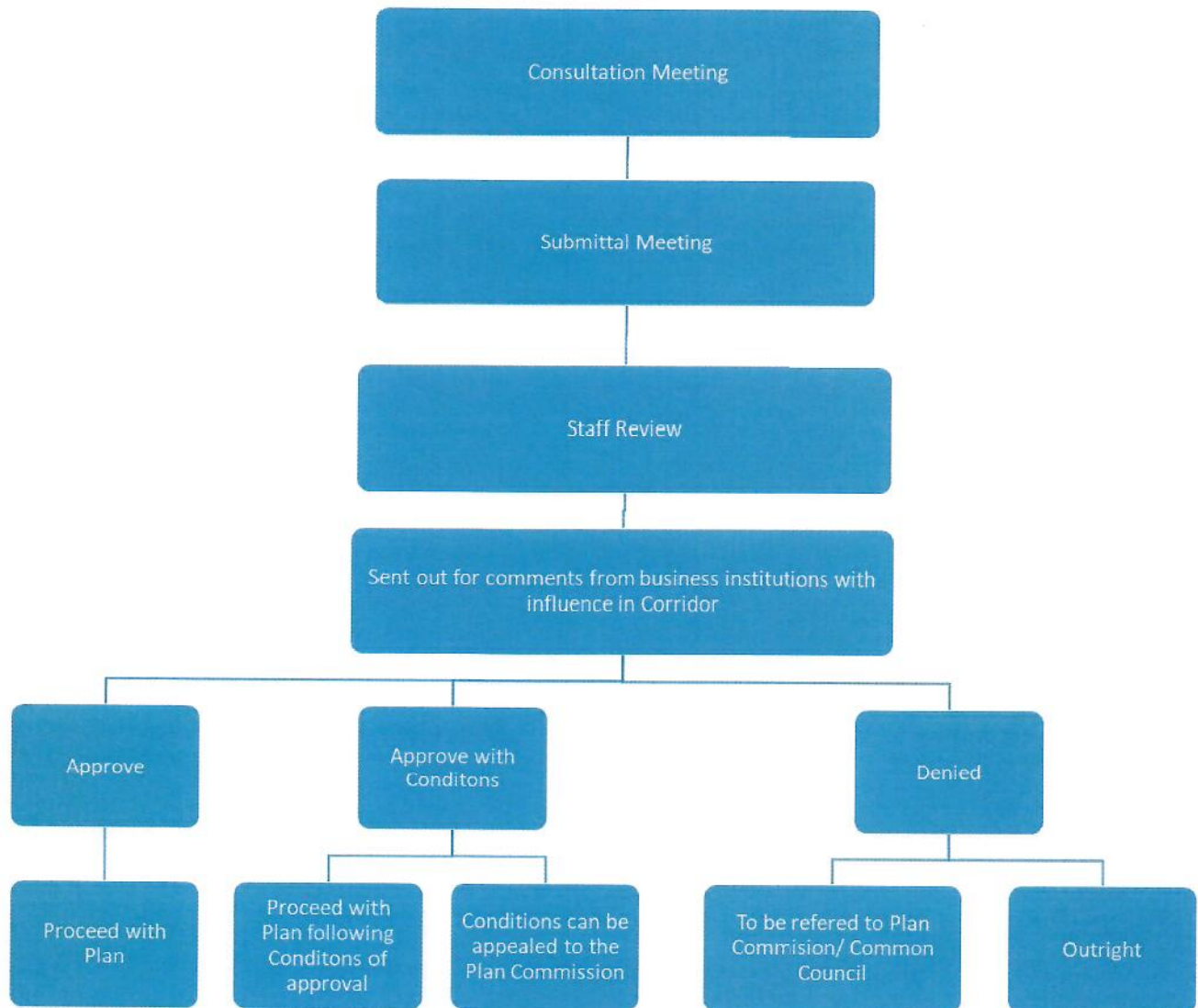
Applicant Name: Daniel Oakes
Address: 2000 Oakes Road City: Racine
State: WI Zip: 53406
Telephone: 262-886-4474 Cell Phone: 262-770-1455
Email: oakesd@AWOakes.com

Agent Name: Jeffrey E. Bridleman
Address: 600 52nd Street, Suite 220 City: Kenosha
State: WI Zip: 53140
Telephone: 262-652-2800 Cell Phone: 262-914-7831
Email: jeffb@pidarchitects.com

Property Address (Es): 2000 Oakes Road
Current Zoning: I-2 General Industrial
Current/Most Recent Property Use: Contractor or Construction Offices, shops and yards
Proposed Use: Contractor or Construction Offices, shops and yards



Application Review Process





If the required supplemental materials, which constitute a completed application, are not submitted, the application will not be processed.

Required Submittal Format

1. An electronic submission via email/USB drive/CD/Download link; and
2. One (1) paper copy, no larger than 11" x 17" size.

Required Submittal Item	Applicant Submitted	City Received
1. Administrative Review Application		
2. Written description of project, including: a. Hours of operation b. Anticipated delivery schedule c. Maintenance plan d. General use of the building and lot	☐	
3. Site Plan (drawn to scale), including: a. Fully dimensioned property boundary b. All buildings (existing and proposed) c. Setbacks from property lines d. Identification as to whether all elements are "Existing" or "Proposed" e. Dimensioned parking spaces and drive aisle layout f. Trash enclosure location and materials g. Loading spaces h. Location of signage, with setbacks	☒	
4. Landscape Plan a. Bufferyards b. Parking Areas c. Screening and fencing locations d. Plant lists including the following: Latin and Common Names, Number of each planting material, and Size at planting.	☐	
5. Lighting Plan a. Location of light fixtures b. A cut sheet of light fixtures with indication of cut-offs or shielding c. Illumination diagram indicating intensity of lighting on the property.	☐	
6. Floor Plan a. Preliminary floor plan layout of all buildings/structures b. Labels for the type of use of the area c. Labels for square footage of the area	☒	
7. Signage Plan a. dimensioned color elevations of signage b. A diagram showing the location of the proposed signage	☐	





DEPARTMENT OF CITY DEVELOPMENT

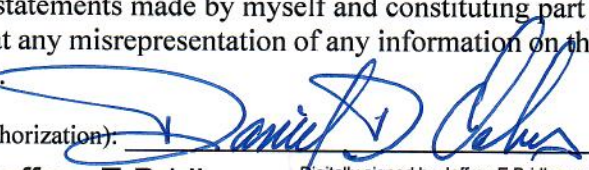


Required Submittal Item	Applicant Submitted	City Received
8. Building/site elevations (if new building or exterior changes planned) a. Building elevations showing all four sides of the buildings in color b. Elevation of trash enclosure area	☒	
9. Building Material Samples (if making exterior changes)	☒	

Acknowledgement and authorization signatures

The approval may contain conditions related to the improvement of the site which must be met prior to the issuance of a building occupancy permit. Conditions related to the operational aspect(s) of the business must be complied with at all times. That, in the event site improvement work required by ordinance cannot be completed prior to desired occupancy, a financial assurance, at 100% of the improvement estimate, guaranteeing completion of the required improvements must be placed on file with the City of Racine. Estimates and Assurance documents are subject to the review and final approval by the City. Improvements may include but are not limited to landscaping, fencing, lighting, pavement surfacing and sealing, dumpster enclosures, and exterior building improvements;

The signature(s) hereby certify that the statements made by myself and constituting part of this application are true and correct. I am fully aware that any misrepresentation of any information on this application may be grounds for denial of this application.

Owner Signature (acknowledgement and authorization):  Date: _____

Applicant Signature (acknowledgement): Jeffrey E Bridleman Digitally signed by Jeffrey E Bridleman
Date: 2021.03.29 11:55:41 -05'00' Date: _____





BUILDING ADDITION

A.W. OAKES & SONS INC.

2000 OAKS ROAD

RACINE, WISCONSIN 53406

PROJECT DATA

BUILDING CLASSIFICATION	
OCCUPANCY TYPE 'B' - BUSINESS	
CONSTRUCTION CLASSIFICATION	
EXISTING CONSTRUCTION:	
UNSPRINKLERED - TYPE 1A	
NEW CONSTRUCTION:	
FULLY-SPRINKLERED - TYPE 1A	
BUILDING AREAS	
EXISTING FIRST FLOOR AREA:	8,816 SF.
EXISTING BASEMENT FLOOR AREA:	4,550 SF.
FIRST FLOOR ADDITION:	3,250 SF.
BASEMENT ADDITION:	8,855 SF.
NEW FIRST FLOOR TOTAL AREA:	12,066 SF.
NEW BASEMENT TOTAL AREA:	13,405 SF.

GENERAL NOTES

1. DO NOT SCALE DRAWINGS.
2. CONTRACTOR SHALL FIELD VERIFY AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS AND DIMENSIONS.
3. EACH CONTRACTOR SHALL REVIEW COMPLETE PLANS FOR RELATED WORK.
4. ALL WORK SHALL BE IN COMPLIANCE WITH STATE AND LOCAL CODES FOR RESPECTIVE TRADES.

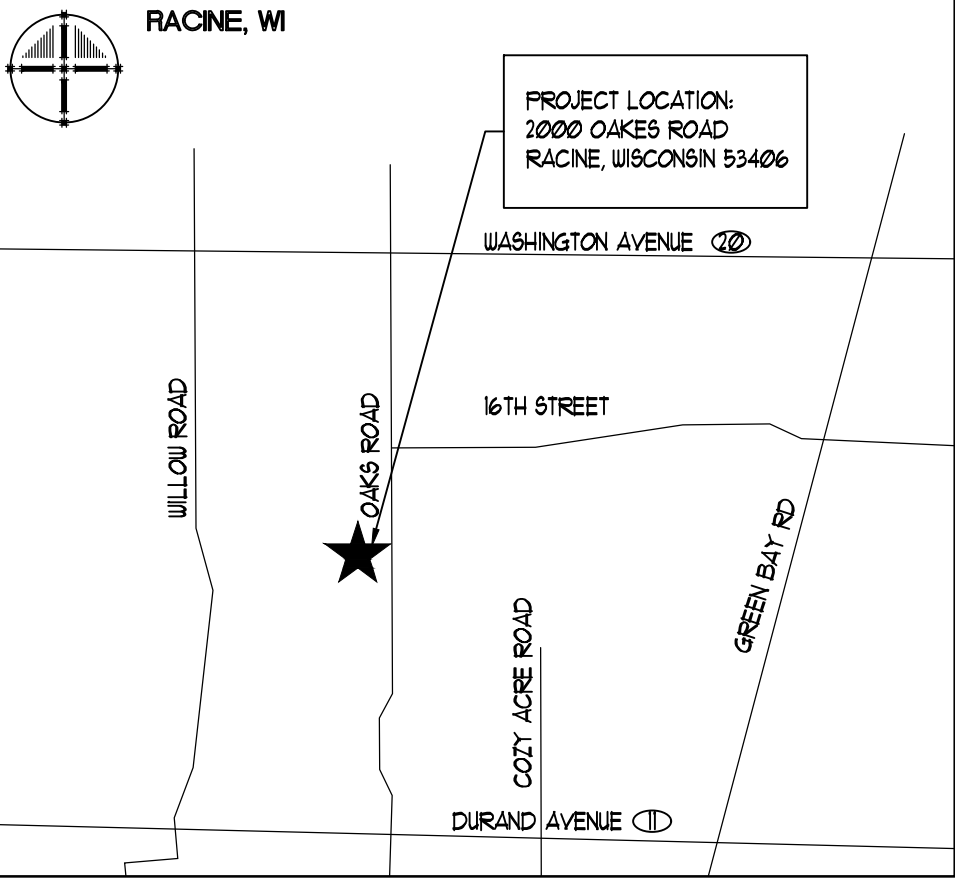
ABBREVIATIONS

ALT	ALTERNATE	HOOR	HARDWARE
A/E	ARCHITECT/ENGINEER	HM	HOLLOW METAL
AF	ABOVE FINISH FLOOR	HT	HEIGHT
ALUM	ALUMINUM	HW	HOT WATER
BD	BOARD	INT	INTERIOR
B/O	BOTTOM OF	INSUL	INSULATION
CPT	CARPET	JT	JOINT
CL	CENTER LINE	LAV	LAVATORY
CJ	CEILING	MFR	MANUFACTURER
CJ	CONTROL JOINT	MIN	MINIMUM
CMU	CONCRETE MASONRY UNIT	MO	MASONRY OPENING
CONC	CONCRETE	MTL	METAL
CONT	CONTINUOUS	NIC	NOT IN CONTRACT
CO	CLEAN OUT	NTS	NOT TO SCALE
CW	COLD WATER	OC	ON CENTER
CT	CERAMIC TILE	OFCI	OWNER FURNISHED, CONTRACTOR TO INSTALL
DBL	DOUBLE	OFF	OPPOSITE
DF	DRINKING FOUNTAIN	FLYUD	PLYWOOD
DIA	DIAMETER	FL	PLASTIC LAMINATE
DIM	DIMENSION	E	PLATE
DN	DOWN	PT	PORCELAIN TILE
DR	DOOR	QT	QUARRY TILE
DS	DOWNSPOUT	REQ'D	REQUIRED
DTL	DETAIL	RO	ROUGH OPENING
DWG	DRAWING	SHT	SHEET
EA	EACH	SV	SHEET VINYL
EFS	EXTERIOR INSULATION AND FINISH SYSTEM	SIM	SIMILAR
EL	ELEVATION	SS	SOLID SURFACE
EJ	EXPANSION JOINT	SS	STAINLESS STEEL
EQ	EQUAL	STD	STANDARD
EQUIP	EQUIPMENT	SAT	SUSPENDED ACOUSTIC TILE
EXIST	EXISTING	TD	TO BE DETERMINED
EXT	EXTERIOR	TEMP	TEMPORARY
EWC	ELECTRIC WATER COOLER	T/O	TOP OF
FEC	FIRE EXTINGUISHER CABINET	T&G	TONGUE AND GROOVE
FIN	FINISH	TYP	TYPICAL
FD	FLOOR DRAIN	UNO	UNLESS NOTED OTHERWISE
FLR	FLOOR	VCT	VINYL COMPOSITION TILE
FRP	FIBERGLASS REINFORCED PLASTIC	VB	VINYL BASE
GA	GAUGE	VIF	VERIFY IN FIELD
GALV	GALVANIZED	WD	WOOD
GYP BD	GYP/UM BOARD	WUF	WELDED WIRE FABRIC

SHEET INDEX

11	TITLE SHEET
ARCHITECTURAL	
A11	ARCHITECTURAL SITE PLAN, DETAILS AND NOTES
A30	BASEMENT FLOOR PLAN
A31	FIRST FLOOR PLAN
A41	EXTERIOR BUILDING ELEVATIONS
A42	EXTERIOR BUILDING ELEVATIONS AND WINDOW FRAME TYPES
A43	EXTERIOR RENDERINGS

LOCATION MAP



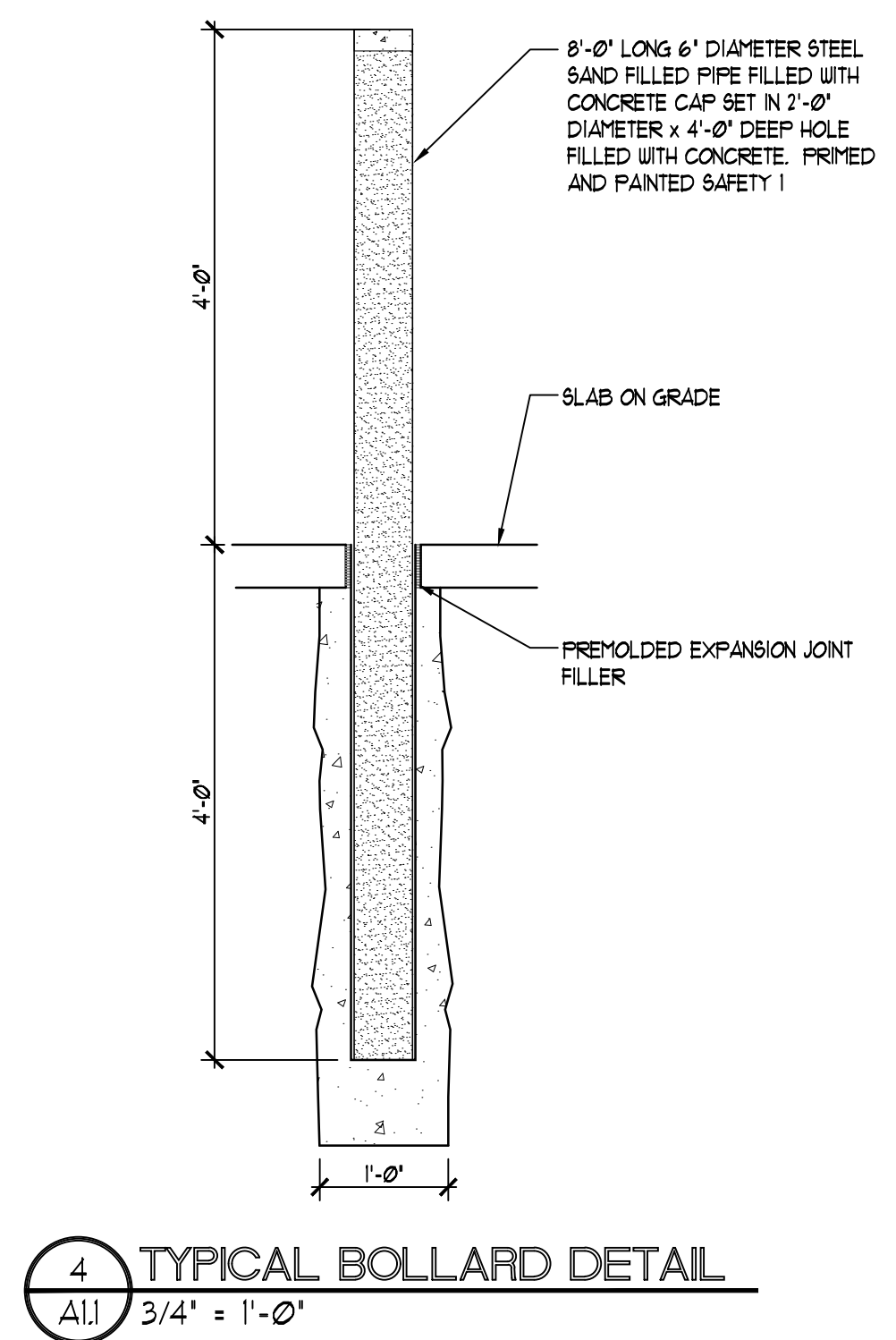
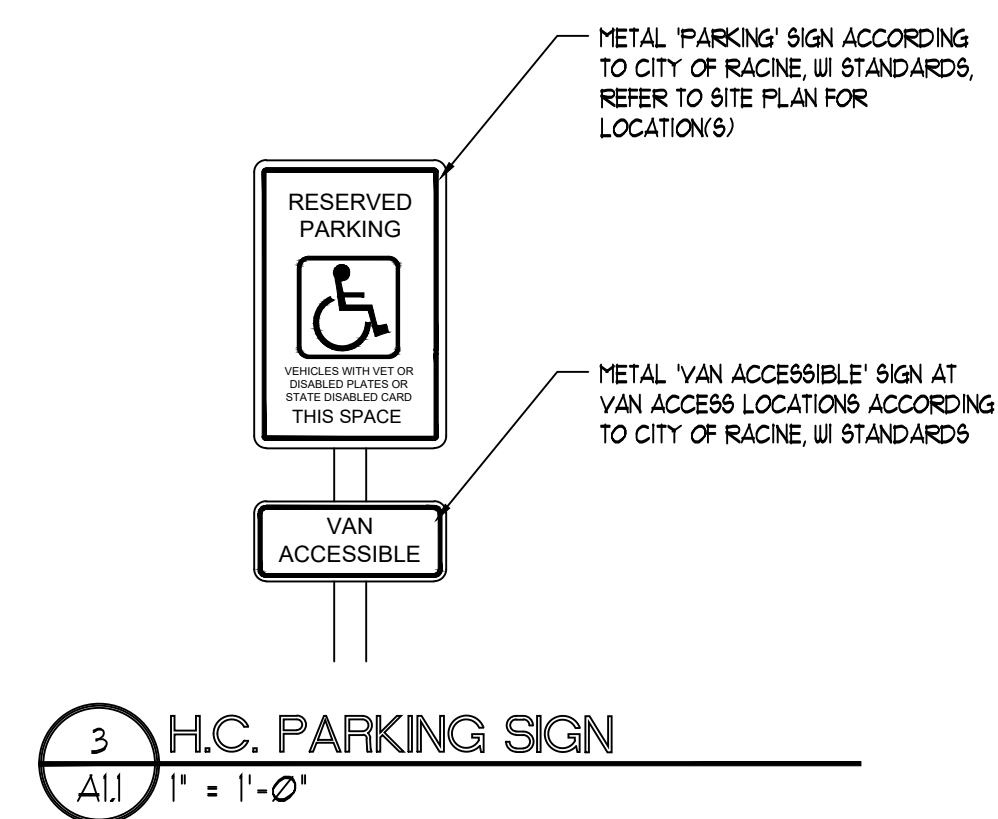
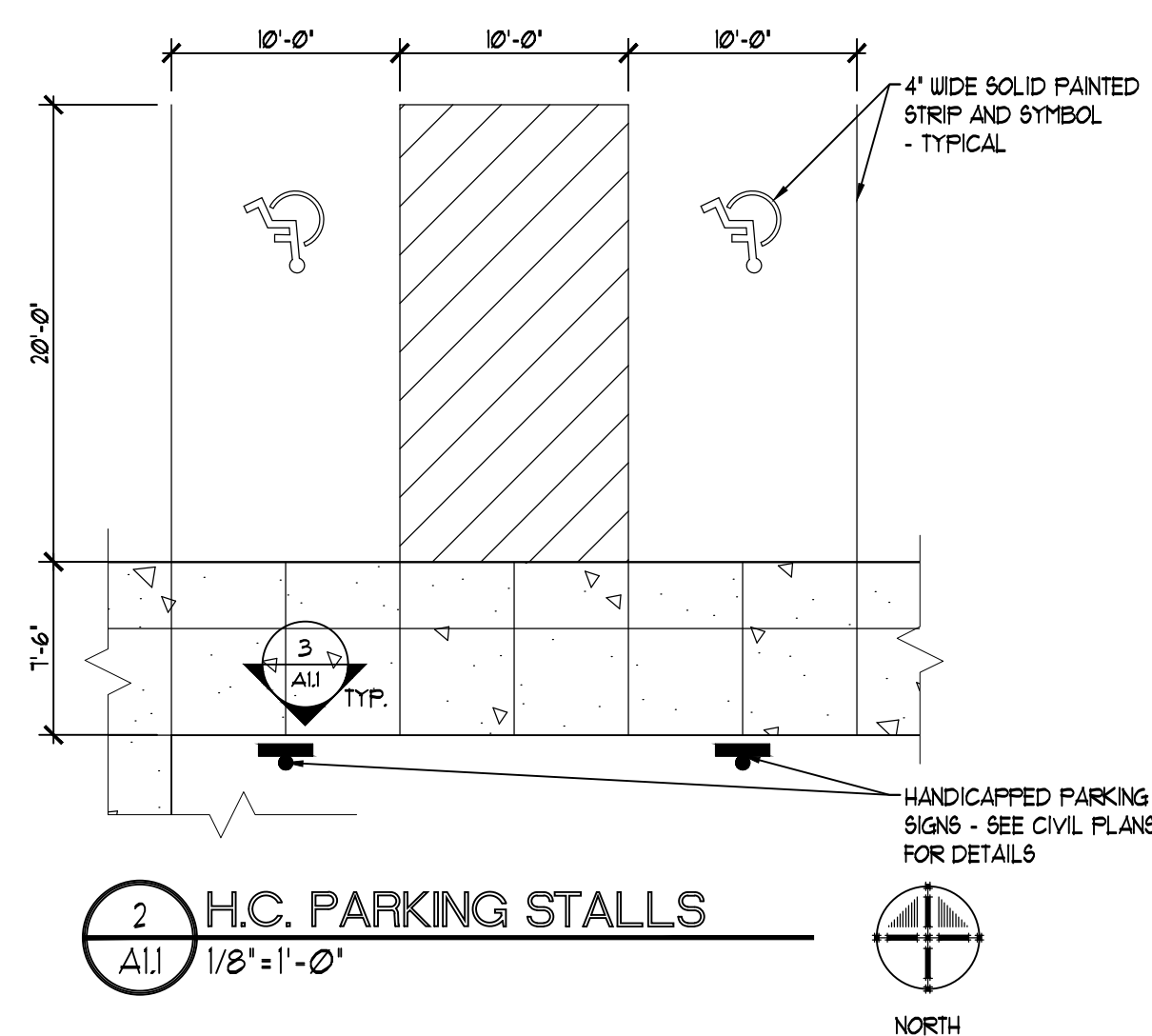
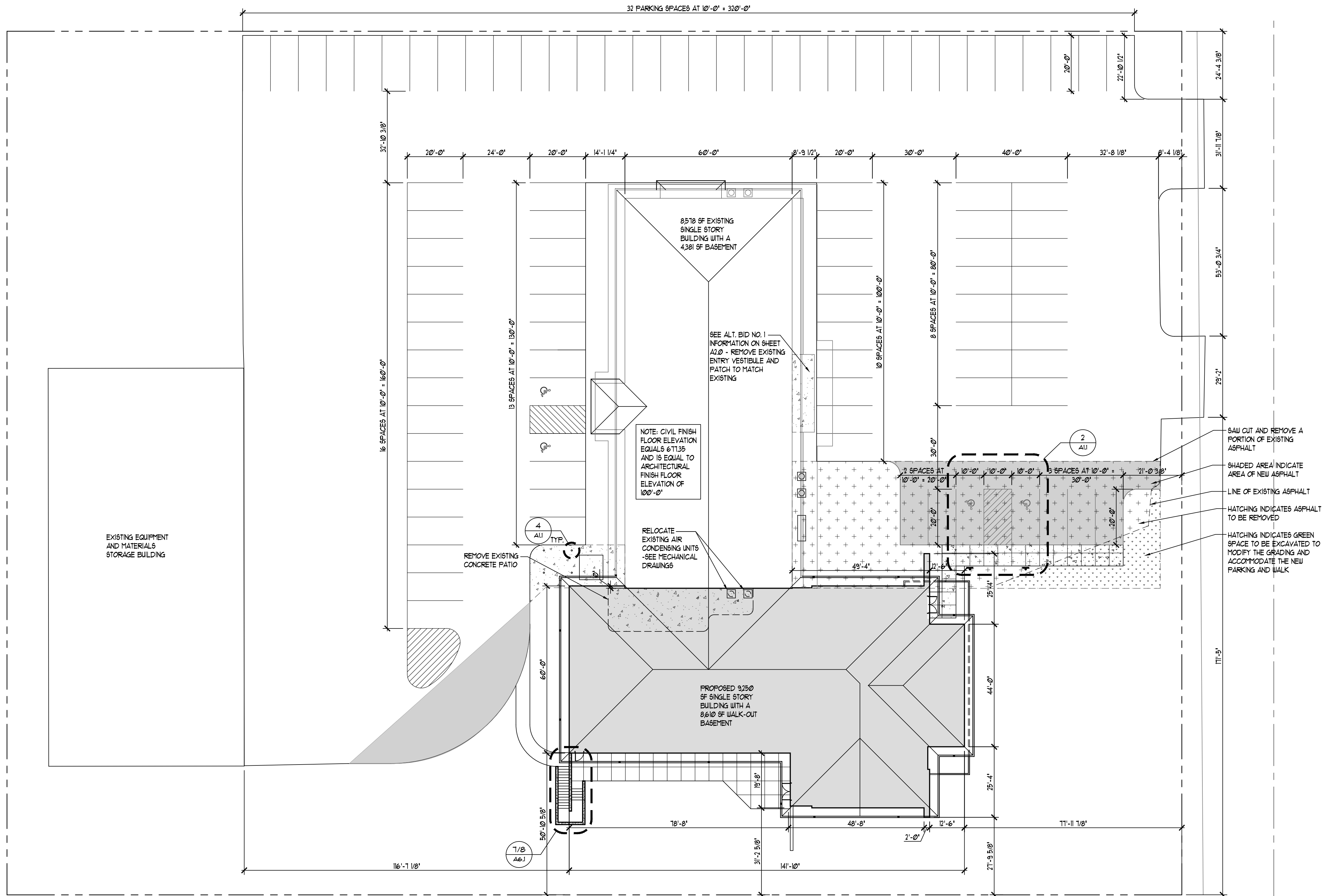
CLIENT:
A.W. OAKES & SONS INC.
2000 OAKS ROAD
RACINE, WISCONSIN 53406
PHONE: 262.886.4414
ATTN: DANIEL OAKES



ARCHITECT:
PARTNERS IN DESIGN ARCHITECTS
6000 53rd STREET, SUITE 220
KENOSHA, WISCONSIN 53140
PHONE: 262.852.2800
ATTN: JEFFREY E. BRIDLEMAN, AIA, AIA



BUILDING ADDITION
PROJECT NUMBER: 948.21.014
CONCEPT PLAN REVIEW
ISSUE DATE: 03.29.2021



PROPERTY AREA:	<u>130,680 SF.</u>
EXISTING OFFICE BUILDING:	85,518 SF.
EXISTING STORAGE BUILDING:	9,940 SF.
BUILDING ADDITION:	<u>9,730 SF.</u>
TOTAL BUILDING:	271,668 SF.
HARD SURFACES: (ASPHALT AND CONCRETE)	59,971 SF.
<u>TOTAL NON-POROUS SURFACES:</u>	<u>87,145 SF.</u>
GREEN SPACE:	47,335 SF.
25% OF PROPERTY:	32,670 SF.

CURRENT PARKING COUNT:

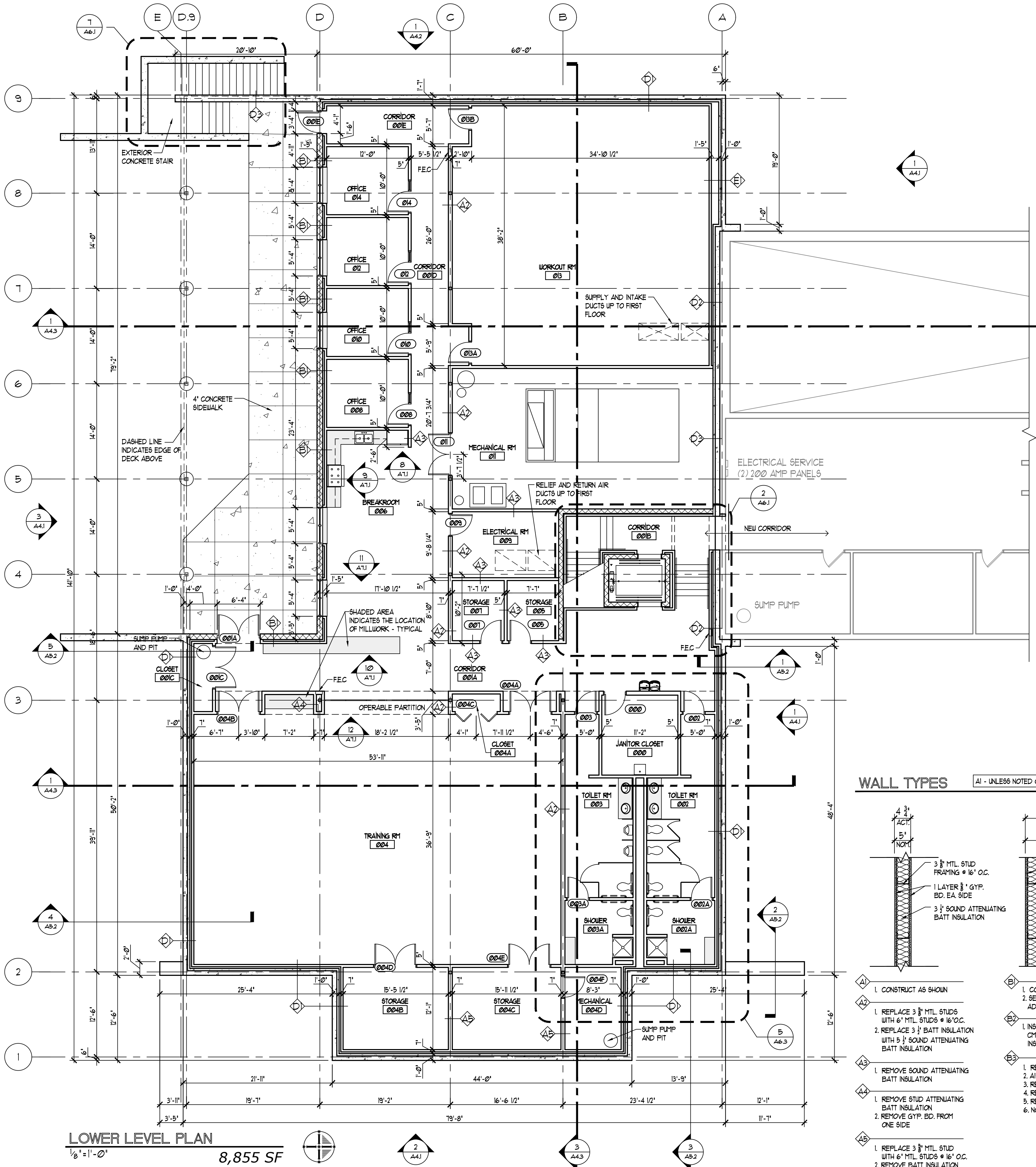
83 NON-HANDICAP PARKING SPACES
4 HANDICAP PARKING SPACES

REQUIRED PARKING PER MUNICIPAL CODE OF RACINE WI

-PER CHAPTER 114, SEC. 114-118B OF ARTICLE XI -
OFF STREET PARKING AND LOADING
REQUIREMENTS

USE: CLASS 25: CONTRACTORS AND
CONSTRUCTION YARDS AND OFFICES
REQUIRED: 2 SPACES PER EMPLOYEE

71 SPACES REQUIRED

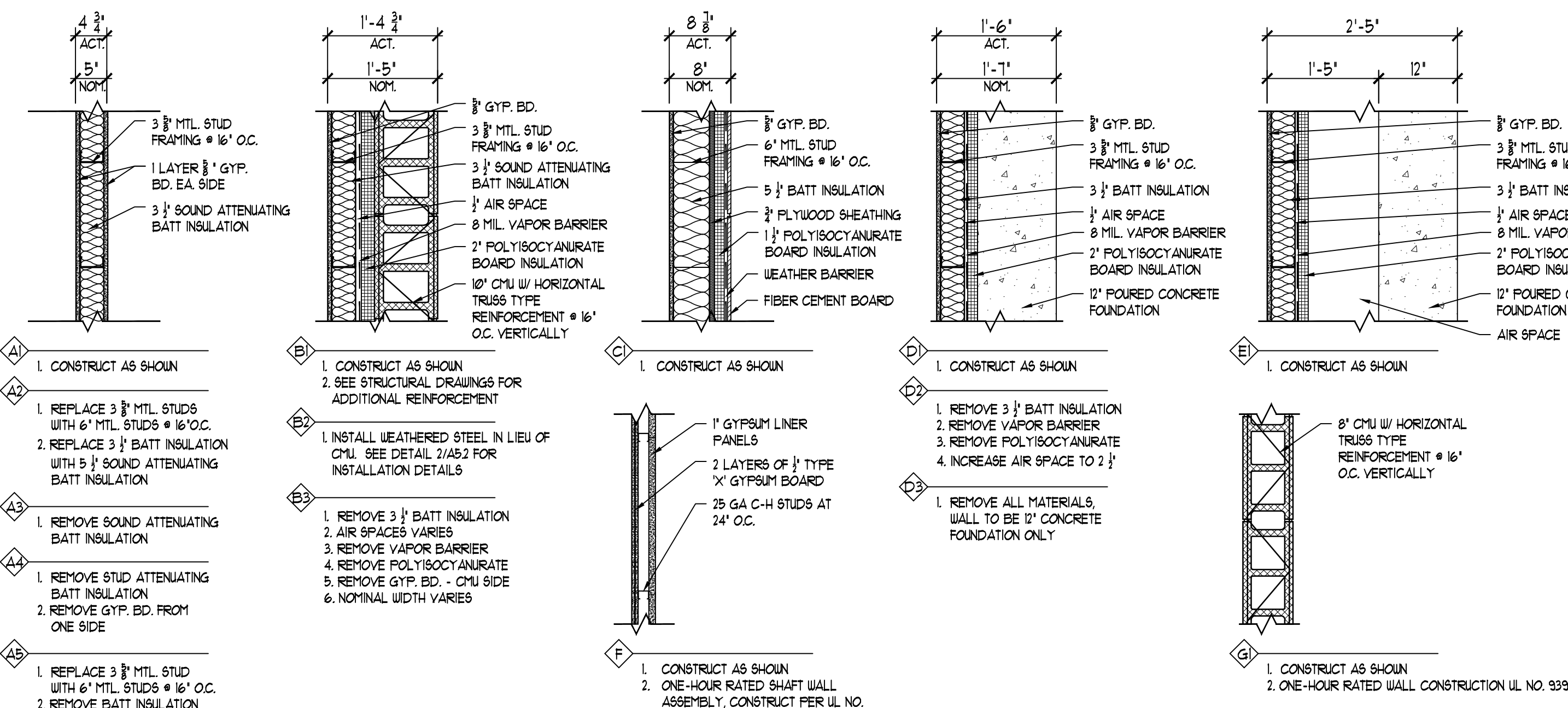


ROOM FINISH SCHEDULE

ROOM NAME	NO.	FLOOR	BASE	WALLS				CEILING	PAINT		REMARKS	
				NORTH	EAST	SOUTH	WEST	MAT'L	HT.	WALLS	CLG	
JANITOR CLOSET	000	5 CONC.	RUBBER	GYP. BD./FRP	GYP. BD./FRP	GYP. BD./FRP	GYP. BD./FRP	SAT.-1	8'-6"	YES	NO	NOTES: 1, 2, 3, 4
CORRIDOR	001A	LVP	RUBBER	GYP. BD.	GYP. BD./OPEN	GYP. BD.	GYP. BD./OPEN	SAT.-2	VARIES	YES	YES	NOTES: 1, 2, 5, 6, 7
CORRIDOR	001B	RUBBER	RUBBER	GYP. BD./OPEN	GYP. BD./OPEN	GYP. BD.	GYP. BD.	SAT.-2	VARIES	YES	NO	NOTES: 1, 2, 8
CLOSET	001C	5 CONC.	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	EXP. STRUCT.	11'-8"	YES	NO	NOTES: 1, 2
CORRIDOR	001D	LVP	RUBBER	GYP. BD.	OPEN	GYP. BD.	OPEN	SAT.-2	9'-0"	YES	NO	NOTES: 1, 2, 6
CORRIDOR	001E	LVP	RUBBER	GYP. BD.	GYP. BD./OPEN	GYP. BD.	GYP. BD.	SAT.-2	9'-0"	YES	NO	NOTES: 1, 2
TOILET RM	002	C.T.	C.T.	GYP. BD.	GYP. BD./C.T.	GYP. BD./C.T.	GYP. BD.	SAT.-1	8'-6"	YES	NO	NOTES: 1, 2, 4
SHOWER	002A	C.T.	C.T.	GYP. BD.	C.T.	GYP. BD./C.T.	GYP. BD.	SAT.-1/GYP. BD.	VARIES	YES	NO/YES	NOTES: 1, 2, 4, 9
TOILET RM	003	C.T.	C.T.	GYP. BD./C.T.	GYP. BD./C.T.	GYP. BD.	GYP. BD.	SAT.-1	8'-6"	YES	NO	NOTES: 1, 2, 4
SHOWER	003A	C.T.	C.T.	GYP. BD./C.T.	C.T.	GYP. BD.	GYP. BD.	SAT.-1/GYP. BD.	VARIES	YES	NO/YES	NOTES: 1, 2, 4, 9
TRAINING RM	004	CPT	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD./OPEN	SAT.-2	9'-0"	YES	NO	NOTES: 1, 2, 4, 6, 9
CLOSET	004A	CPT	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT.-2	8'-6"	YES	NO	NOTES: 1, 2
STORAGE	004B	5 CONC.	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	EXP. STRUCT.	11'-8"	YES	NO	NOTES: 1, 2
STORAGE	004C	5 CONC.	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	EXP. STRUCT.	11'-8"	YES	NO	NOTES: 1, 2
MECHANICAL	004D	5 CONC.	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	EXP. STRUCT.	11'-8"	YES	NO	NOTES: 1, 2
STORAGE	005	5 CONC.	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	EXP. STRUCT.	11'-8"	YES	NO	NOTES: 1, 2
BREAKROOM	006	LVP	RUBBER	GYP. BD.	OPEN	GYP. BD.	GYP. BD./OPEN	SAT.-2	VARIES	YES	YES	NOTES: 1, 2, 5, 7
STORAGE	007	5 CONC.	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	EXP. STRUCT.	11'-8"	YES	NO	NOTES: 1, 2
OFFICE	008	CPT	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT.-2	9'-0"	YES	NO	NOTES: 1, 2, 6
ELECTRICAL RM	009	5 CONC.	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	EXP. STRUCT.	11'-8"	YES	NO	NOTES: 1, 2
OFFICE	010	CPT	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT.-2	9'-0"	YES	NO	NOTES: 1, 2, 6
MECHANICAL RM	011	5 CONC.	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	EXP. STRUCT.	11'-8"	YES	NO	NOTES: 1, 2
OFFICE	012	CPT	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT.-2	9'-0"	YES	NO	NOTES: 1, 2, 6
WORKOUT RM	013	RUBBER	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT.-2	9'-0"	YES	NO	NOTES: 1, 2, 6
OFFICE	014	CPT	RUBBER	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	SAT.-2	9'-0"	YES	NO	NOTES: 1, 2, 6

- ROOM FINISH SCHEDULE NOTES:
- SEE SHEET A3.4 FOR FINISH MATERIAL SCHEDULES, SELECTIONS AND LIMITS.
 - SEE SHEET A3.3 FOR DOOR SCHEDULE, DOOR AND FRAME TYPES AND HARDWARE SETS.
 - INSTALL FRP FROM FINISH FLOOR TO 4'-0" AFF.
 - PAIN GYPSUM BOARD WALLS ONLY.
 - PREPARE CEILING SURFACE FOR NEW PAINT FINISH. ALL SYSTEMS INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL ARE TO BE IN PLACE PRIOR TO PAINTING. EXPOSED STRUCTURE PAINT TO BE DRY FALL.
 - RUBBER BASE TO BE INSTALLED AT WALL LOCATIONS. DO NOT INSTALL RUBBER BASE ON DOOR AND / OR WINDOW FRAMING.
 - CEILING CLOUD TO BE MOUNTED AT 9'-0" AFF.
 - STEEL RISER AND HANDRAILS ARE TO BE PAINTED.
 - PAINT GYPSUM BOARD SOFFIT AND FASCIA.
 - CEILING HEIGHT TO BE TIED INTO AND MATCH EXISTING CEILING GRID.
 - CEILING CLOUD TO BE MOUNTED AT 8'-4" AFF.

WALL TYPES



LOWER LEVEL PLAN
1/8" = 1'-0"
8,855 SF

A.W. OAKES & SON INC. ADDITION
2000 Oakes Road, Racine, WI 53406
BASEMENT FLOOR PLAN, SCHEDULES AND NOTES

600 Fifty-Second Street
Suite 220
Kenosha, WI 53140
Ph: (262) 652-2800
www.pdarchitects.com

Partners in Design
ARCHITECTS



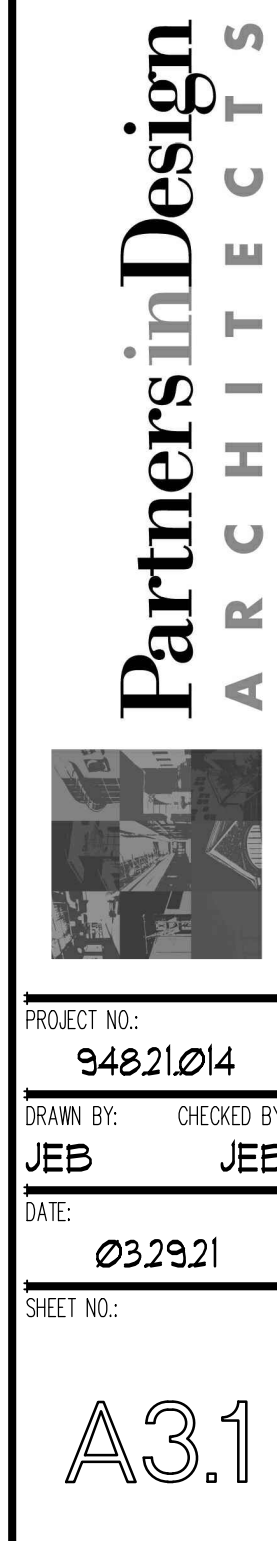
PROJECT NO.: 94821014
DRAWN BY: JEB CHECKED BY: JEB
DATE: 03/29/21
SHEET NO.:

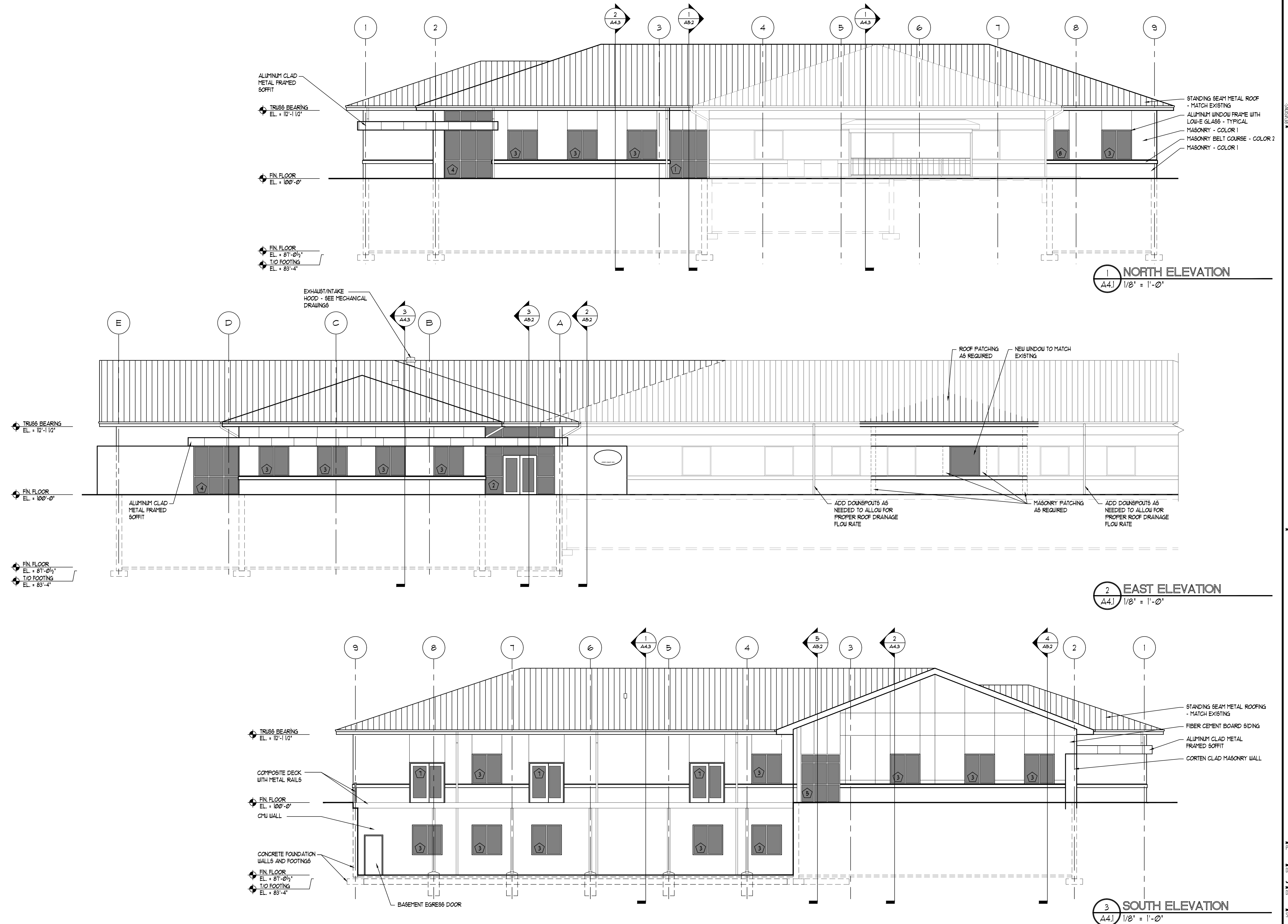
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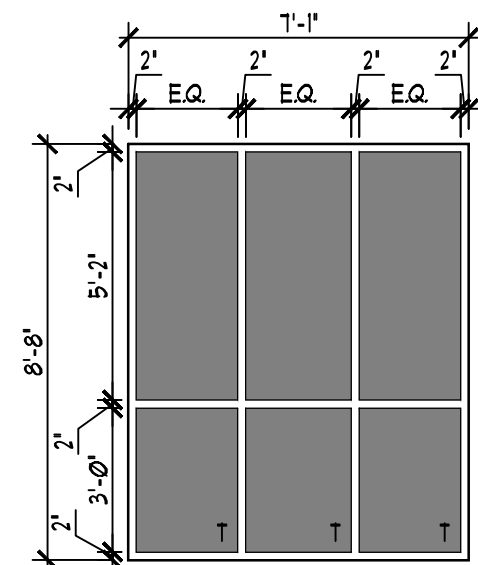
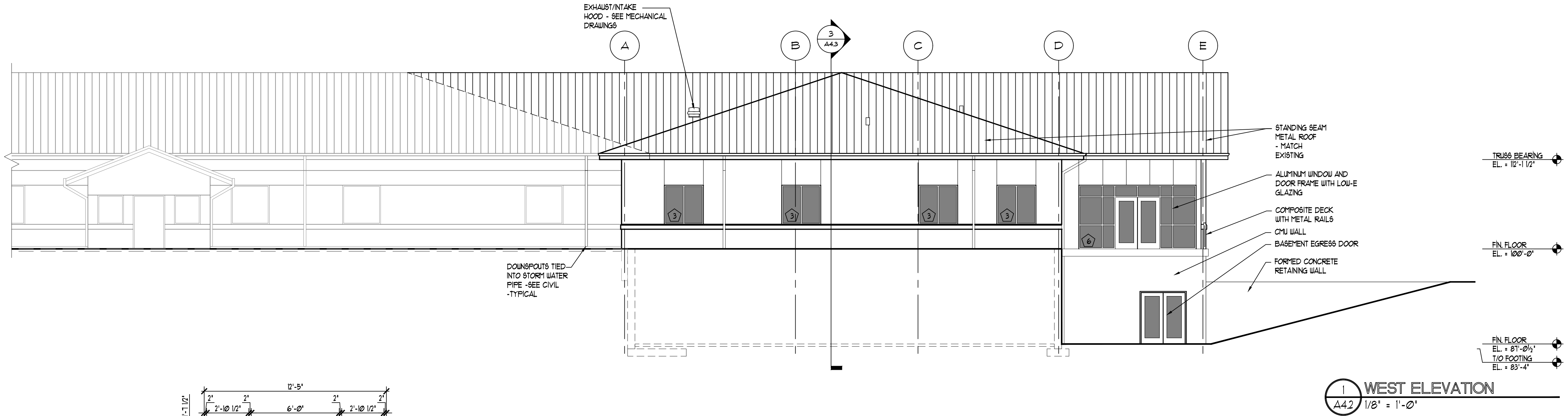


ROOM FINISH SCHEDULE NOTES: 1. SEE SHEET A3.4 FOR FINISH MATERIAL SCHEDULES, SELECTIONS AND LIMITS. 2. SEE SHEET A3.3 FOR DOOR SCHEDULE, DOOR AND FRAME TYPES AND HARDWARE SETS. 3. PAINT FROM FLOOR UP TO 4'-0" AFF. 4. PAINT GYPSUM BOARD WALLS ONLY. 5. PREPARE CEILING SURFACE FOR NEW PAINT FINISH. ALL SYSTEMS INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL ARE TO BE IN PLACE PRIOR TO PAINTING. EXPOSED STRUCTURE PAINT TO BE DRY FALL.	6. RUBBER BASE TO BE INSTALLED AT WALL LOCATIONS. DO NOT INSTALL RUBBER BASE ON DOOR AND / OR WINDOW FRAMING. 7. CEILING CLOUD TO BE MOUNTED AT 9'-0" AFF. 8. STEEL RASER AND CEREALS ARE TO BE PAINTED. 9. PAINT GYPSUM BOARD SOFFIT AND FASCIA. 10. CEILING HEIGHT TO BE TIED INTO AND MATCH EXISTING CEILING GRID. 11. CEILING CLOUD TO BE MOUNTED AT 8'-4" AFF.
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AI - UNLESS NOTED OTHERWISE

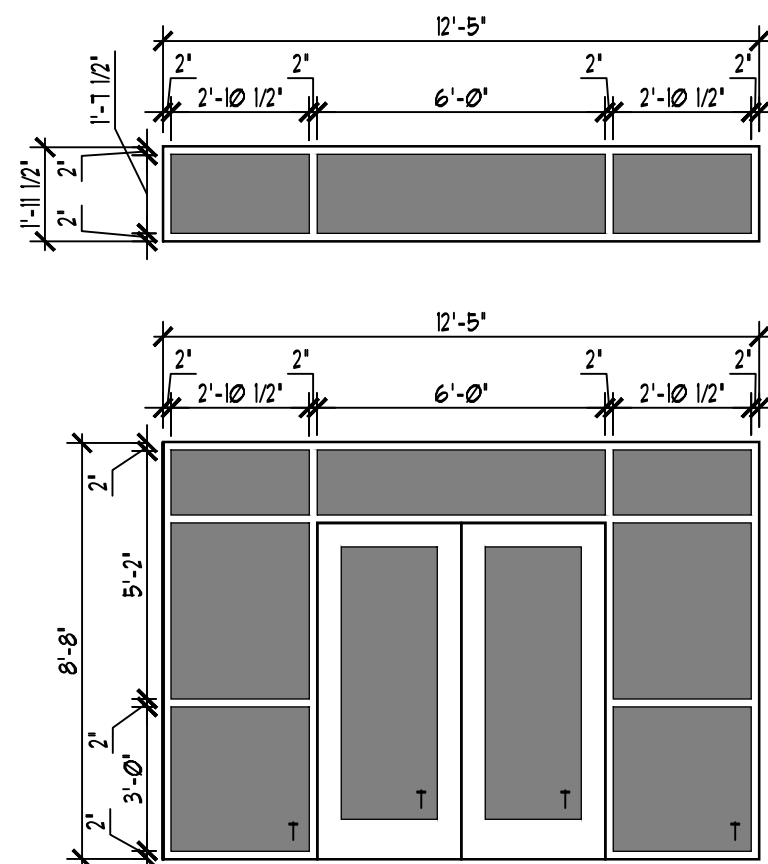






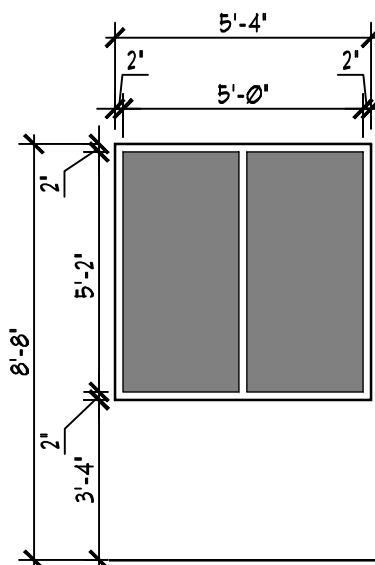
T = TEMPERED GLAZING

2 TYPE 1 AL. FRAMING ELEV.
A42 1/4" = 1'-0"

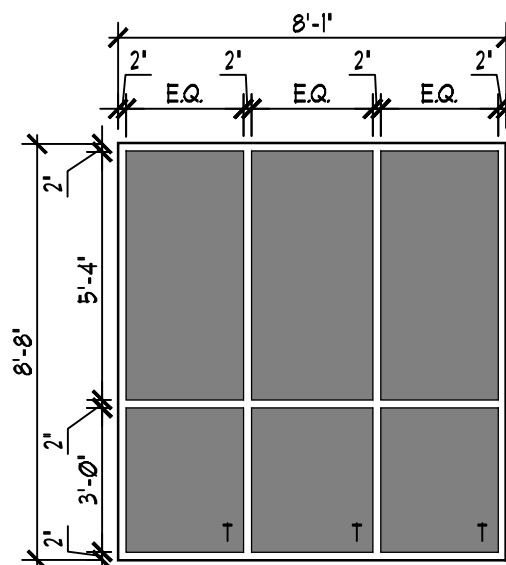


T = TEMPERED GLAZING

3 TYPE 2 AL. FRAMING ELEV.
A42 1/4" = 1'-0"

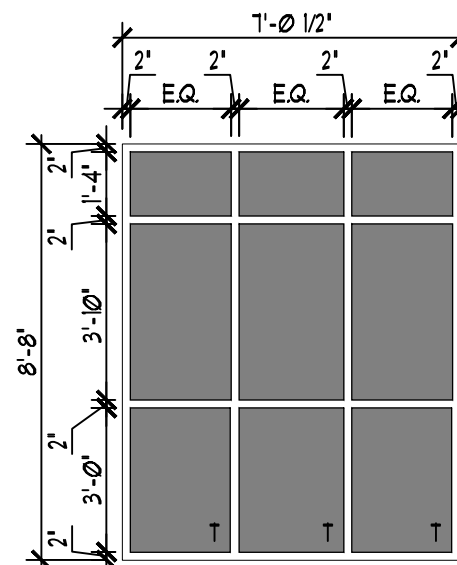


4 TYPE 3 AL. FRAMING ELEV.
A42 1/4" = 1'-0"



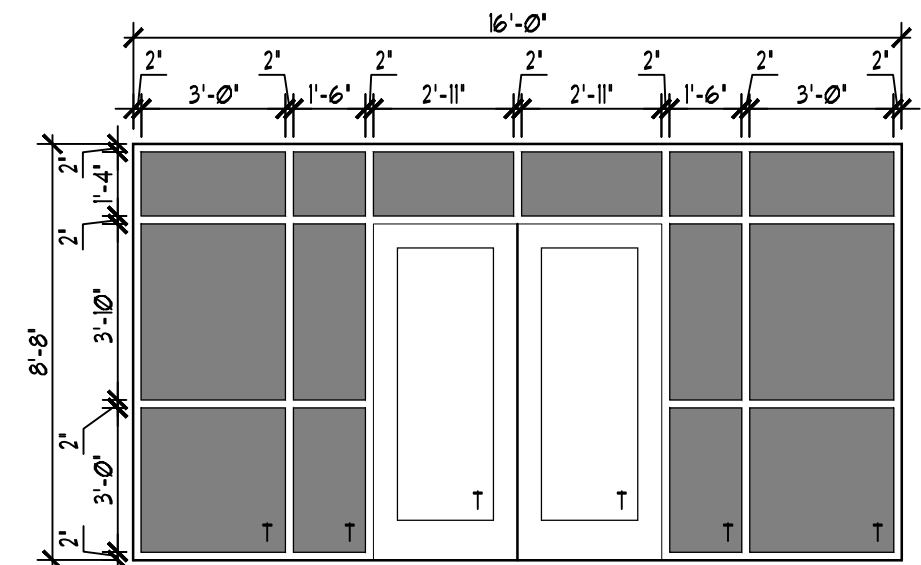
T = TEMPERED GLAZING

5 TYPE 4 AL. FRAMING ELEV.
A42 1/4" = 1'-0"



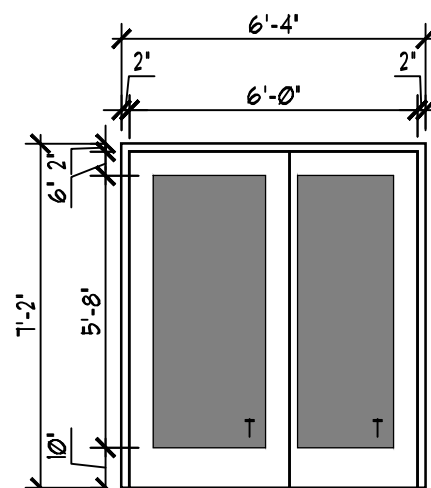
T = TEMPERED GLAZING

6 TYPE 5 AL. FRAMING ELEV.
A42 1/4" = 1'-0"



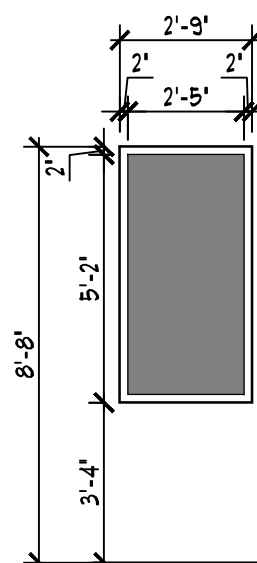
T = TEMPERED GLAZING

7 TYPE 6 AL. FRAMING ELEV.
A42 1/4" = 1'-0"



T = TEMPERED GLAZING

8 TYPE 7 AL. FRAMING ELEV.
A42 1/4" = 1'-0"



9 TYPE 8 AL. FRAMING ELEV.
A42 1/4" = 1'-0"

GLAZING NOTES

- PROVIDE TEMPERED GLAZING AT THE FOLLOWING LOCATIONS (AND ANY OTHER LOCATIONS REQUIRED BY CODE):
 - INGRESS AND HEADS OF EGRESS DOORS.
 - FIXED PANELS IN SWINGING DOORS.
 - INDIVIDUAL FIXED PANELS ADJACENT TO DOORS.
 - FIXED PANELS WHOSE BOTTOM EDGE IS LESS THAN 18 INCHES FROM THE FLOOR.
 - GLAZING IN GUARDS AND RAILINGS.
- ALL GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL CODES.
- ALL GLAZING IN OR ADJACENT TO DOORS OR IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION SHALL BE TEMPERED.
- PROVIDE TEMPERED GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL WHEN ALL OF THE FOLLOWING CRITERIA APPLY. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SF, THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, THE EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR AND ONE OR MORE WALKING SURFACE(S) ARE WITHIN 36" HORIZONTALLY FROM THE PLANE OF THE GLAZING.
- IF GLAZING IS IN AN INSULATED UNIT, BOTH LITES MUST BE TEMPERED, LAMINATED SAFETY GLASS, OR A COMBINATION OF THE TWO.
- EXTERIOR STOREFRONT GLAZING AND DOORS TO HAVE 1" INSULATED GLASS, INTERIOR STOREFRONT GLAZING AND DOORS TO HAVE 1/4" SINGLE GLASS UNO.

REVISIONS:

A.W. OAKES & SON INC. ADDITION
2000 Oakes Road, Racine, WI 53406

EXTERIOR BUILDING ELEVATIONS AND WINDOW FRAME TYPES

600 Fifty-Second Street
Suite 220
Kenosha, WI 53140
Ph: (262) 852-2800
www.pdarchitects.com

PartnersinDesign
ARCHITECTS



PROJECT NO.:
94821014
DRAWN BY: JRW CHECKED BY: JEB
DATE:
03/29/21
SHEET NO.:

A4.2



ENTRANCE VIEW



EAST ELEVATION



NORTH ELEVATION



AERIAL VIEW

REVISIONS:	

A.W. OAKES & SON INC. ADDITION
2000 Oakes Road, Racine, WI 53406
EXTERIOR RENDERINGS

600 Fifty-Second Street
Suite 220
Kenosha, WI 53140
Ph.: (262) 652-2800
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Partners in Design
ARCHITECTS



PROJECT NO.: 94821014
DRAWN BY: JRW CHECKED BY: JEB
DATE: 032921
SHEET NO.:

A4.3



Sample	VLT	Exterior Reflectance	Interior Reflectance	U-Value Imperial (Winter)		SHGC	LSG
				Air	Argon		
5mm SOLARBONZE®	53%	6%	6%	1.02	N/A	0.63	0.84
SOLARBONZE® 60 (3)	42%	7%	9%	0.29	0.24	0.32	1.31
SOLARBONZE® 70XL (3)	38%	6%	11%	0.23	0.24	0.26	1.46
SOLARBONZE® 80 (3)	30%	10%	11%	0.29	0.24	0.24	1.25
SUNGATE® 400 (3)	45%	6%	12%	0.32	0.23	0.44	1.05

▲ Exterior Sample Data is Approximate



Exterior Building Materials

