



Application for Conditional Use Review

Applicant Name: CCM-Porters, LLC

Address: 901 S 70th St City: West Allis

State: WI Zip: 53214

Telephone: 414-395-4452 Cell Phone: 612-810-7023

Email: njung@cardinalcapital.us

Agent Name: Cardinal Capital Management, Inc.

Address: 901 S 70th St City: West Allis

State: WI Zip: 53214

Telephone: 312-560-3566 Cell Phone: 312-560-3566

Email: dlyon@cardinalcapital.us

Property Address (Es): 301 6th St

Current Zoning: B-4

Current/Most Recent Property Use: Vacant Lot

Proposed Use: Mixed Use Development





The application will be evaluated using the standards of Sec. 114-154 of the Municipal Code (below). Please use the space to justify and explain how your proposal addresses these conditions; use an additional sheet if necessary.

- (1) The establishment, maintenance, or operation of the conditional use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare;

The conditional use is for a mixed use development of first floor commercial and high end market rate apartments. Such a use along with the development of the property should benefit the neighborhoods health, safety and general welfare which being moral.

- (2) The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

The development of the project should appreciate the value of the neighborhood and provide additional residents, parking and commercial space to the community. We have had proactive discussions with the neighboring church regarding the project to ensure their concerns.

- (3) The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;

The completed project should foster additional development and improvement for the surrounding properties and any hindrances during construction will be addressed properly.

- (4) Adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided;

The project will utilize the existing adjacent roadways which we believe are of adequate capacity to serve the development and contain existing utilities which we also believe are of adequate capacity.

- (5) Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;

There are four separate entry points on two different roads which will disperse traffic. Some existing street parking will need to be removed to allow these new driveways adequate space for vehicles entering and exiting.

- (6) The proposed conditional use is not contrary to the objectives of the current land use plan for the city; and

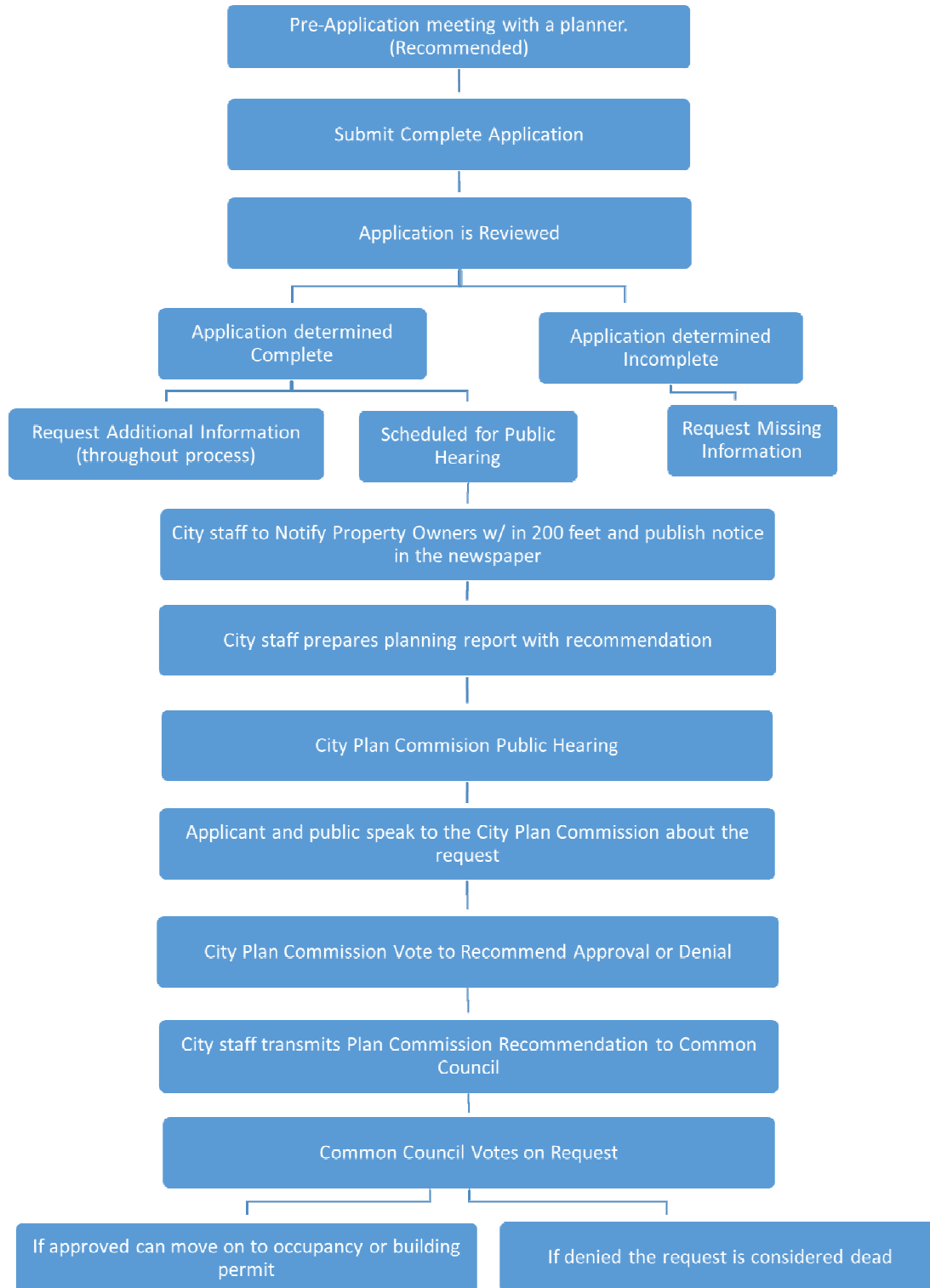
The conditional use for a mixed use development with first floor commercial and high end market rate apartments is in line with the City's 2035 comprehensive plan for mixed use with a residential emphasis.

- (7) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the plan commission.

The project will conform with applicable regulations and will otherwise present to the City plan commission.



Application Review Process





If the required supplemental materials, which constitute a completed application, are not submitted, the application will not be processed.

Required Submittal Format

1. An electronic submission via email/USB drive/CD/Download link; and
2. One (1) paper copy, no larger than 11" x 17" size.

| Required Submittal Item | Applicant Submitted | City Received |
|--|-------------------------------------|---------------|
| 1. Conditional Use Review Application | | |
| 2. Written description of project, including: <ol style="list-style-type: none">a. Hours of operationb. Anticipated delivery schedulec. Maintenance pland. General use of the building and lot | <input checked="" type="checkbox"/> | |
| 3. Site Plan (drawn to scale), including: <ol style="list-style-type: none">a. Fully dimensioned property boundaryb. All buildings (existing and proposed)c. Setbacks from property linesd. Identification as to whether all elements are "Existing" or "Proposed"e. Dimensioned parking spaces and drive aisle layoutf. Trash enclosure location and materialsg. Loading spacesh. Fire hydrant locationsi. Location of signage, with setbacks | <input checked="" type="checkbox"/> | |
| 4. Zoning Analysis Table <ol style="list-style-type: none">a. Land area (in acres and square feet)b. Building area (in square feet)c. Setbacks (required yards in feet)d. Floor Area Ratio (building area divided by lot area)e. Lot Coverage (building footprint divided by lot area)f. Height of all buildings and structuresg. Percentage of greenspace (landscaped areas divided by lot area)h. Parking spaces | <input checked="" type="checkbox"/> | |
| 5. Landscape Plan <ol style="list-style-type: none">a. Bufferyardsb. Parking Areasc. Screening and fencing locationsd. Plant lists including the following: Latin and Common Names, Number of each planting material, and Size at planting. | <input checked="" type="checkbox"/> | |





| Required Submittal Item | Applicant Submitted | City Received |
|---|-------------------------------------|---------------|
| 6. Lighting Plan a. Location of light fixtures b. A cut sheet of light fixtures with indication of cut-offs or shielding c. Illumination diagram indicating intensity of lighting on the property. | <input type="checkbox"/> | |
| 7. Floor Plan a. Preliminary floor plan layout of all buildings/structures b. Labels for the type of use of the area c. Labels for square footage of the area | <input checked="" type="checkbox"/> | |
| 8. Engineering Plan a. Stormwater Plan (Drainage pattern, flow, detention) b. Existing and proposed roadway and access configurations c. Cross access | <input checked="" type="checkbox"/> | |
| 9. Signage Plan a. dimensions b. A diagram | <input type="checkbox"/> | |
| 10. Building/site elevations (if new building or exterior changes planned) a. Building elevations showing all four sides of the buildings in color b. Elevation of trash enclosure area | <input checked="" type="checkbox"/> | |
| 11. Building Material Samples (if making exterior changes) | <input checked="" type="checkbox"/> | |
| 12. Review Fee | <input checked="" type="checkbox"/> | |

Acknowledgement and authorization signatures

A conditional use is not like a building permit; applying does not mean it will be approved.

The approval may contain conditions related to the improvement of the site which must be met prior to the issuance of a building occupancy permit. Conditions related to the operational aspect(s) of the business must be complied with at all times. That, in the event site improvement work required by ordinance cannot be completed prior to desired occupancy, a financial assurance, at 100% of the improvement estimate, guaranteeing completion of the required improvements must be placed on file with the City of Racine. Estimates and Assurance documents are subject to the review and final approval by the City. Improvements may include but are not limited to landscaping, fencing, lighting, pavement surfacing and sealing, dumpster enclosures, and exterior building improvements;

The signature(s) hereby certify that the statements made by myself and constituting part of this application are true and correct. I am fully aware that any misrepresentation of any information on this application may be grounds for denial of this application.

Owner Signature (acknowledgement and authorization): Date: 04.12.21

Applicant Signature (acknowledgement): Date: 04.12.21





April 12, 2021

Matthew Sadowski
City of Racine, Department of City Development, Division of Planning and Redevelopment
730 Washington Avenue (Room 102)
Racine, WI 53403

Re: Conditional Use Permit Submission
Porters of Racine Mixed Use Development
301 6th Street
Racine, WI 53403

Dear Mr. Sadowski:

The following is submitted together with the required plans and materials for Conditional Use Permit approval.

Project Organizational Structure:

| | | | |
|---------------------------|---|------------|---|
| Owner: | Cardinal Capital Management 901 South 70th Street West Allis, WI 53214 312-560-3566 Contact: David Lyon dlyon@cardinalcapital.us | Architect: | Korb + Associates 648 N. Plankinton Ave, Ste. 240 Milwaukee, WI 53203 414-405-4746 Contact: Mark Larson mlarson@kaa-arch.com |
| Civil/Landscape Engineer: | Pinnacle Engineering Group 20725 Watertown Road, Suite 100 Brookfield, WI 53186 (262) 754-8888 Contact: Aaron E. Koch, P.E. aekoch@pinnacle-engr.com | | |

Project Description:

The project being proposed is a mixed-use development consisting of 141 high end market rate residential apartments, two retail environments totaling 17,190 rentable square feet (retail A = 7,105 rsf, retail B = 10,085 rsf) of commercial space on the first floor with a target tenant of a small grocery store, restaurant or coffee shop and a parking garage with 36 parking spaces for retail and apartment building employees. The apartments would be closed off to residents only, but they would be able to access 24 hours a day. The commercial space would be dependent on the specific tenant but would be traditional hours for their use. The property will have a property manager and maintenance man on site with established hours. There will be an on-call service available 24 hours/day for emergencies. Box truck deliveries would occur in the covered retail parking area.

The building is made up of a two-story post-tension concrete podium with residential basement parking, first floor retail and retail parking, and residential second floor parking. First floor retail space along 6th Street, Wisconsin Ave., and 7th Streets and resident amenity spaces will have aluminum storefront with clear glazing. The main resident lobby is accessed from the corner of 6th Street and Wisconsin Avenue. Large format masonry stone veneer will break up the storefront at the first and second floors, continuing around the building. Modular brick veneer will clad the third through seventh floors with metal panel accents between unit windows. Recessed balconies with glass railings break up the 6th Street and Wisconsin Avenue facades. Metal panel and cement board panel clad the two south and west facades above the second floor (floors 3-7) facing the 3rd floor amenity roof terrace. Hung balconies with railings with perforated metal panels are also on these faces of the building.



Indoor resident parking is provided with 106 parking spaces on the basement level and 103 parking spaces on the second floor. 36 Retail employee parking spaces are located on the first floor. Interior trash/recycling holding rooms are provided for the both retail tenants and residents; dumpsters are rolled out for collection.

Building Signage:

Final building and tenant signage design to be submitted at another time, but expect signage to be approx. 700 - 800sf, pending final design & tenant distribution.

Project Development Data:

Site Density:

| | |
|-----------------|--------------------------|
| Lot area: | 44,376 s.f. (1.02 acres) |
| Dwelling Units: | 141 Units |
| Lot Area / D.U. | 314 s.f / d.u. |
| Density | 138 d.u. / acre |

Site Coverage:

| | |
|-----------|---------------------|
| Building: | 41,910 s.f. (94.4%) |
|-----------|---------------------|

Building Ratio:

| | |
|--------------------------------|----------------------------------|
| Retail A Shell: | 7,105 s.f. (2.87 %) |
| Retail B Shell: | 10,085 s.f. (4.07 %) |
| Apartments & Amenities | 103,560 s.f. (41.78 %) |
| Enclosed Parking: | 94,793 s.f. (38.24 %) |
| Misc (corridor, mech, stairs): | <u>32,348 s.f. (13.05 %)</u> |
| | 247,891 s.f. Total Building Area |

Dwelling Unit Mix:

| | |
|-------------------|-----------|
| Studio | 10 |
| Jr One Bedroom | 30 |
| One Bedroom | 37 |
| One Bedroom + Den | 19 |
| Two Bedroom | 40 |
| Three Bedroom | 5 |
| | <hr/> |
| | 105 Total |

Parking:

| | |
|----------------------|------------|
| Basement | 106 |
| First Floor (Retail) | 36 |
| Second Floor | <u>103</u> |
| | 245 |

Schedule:

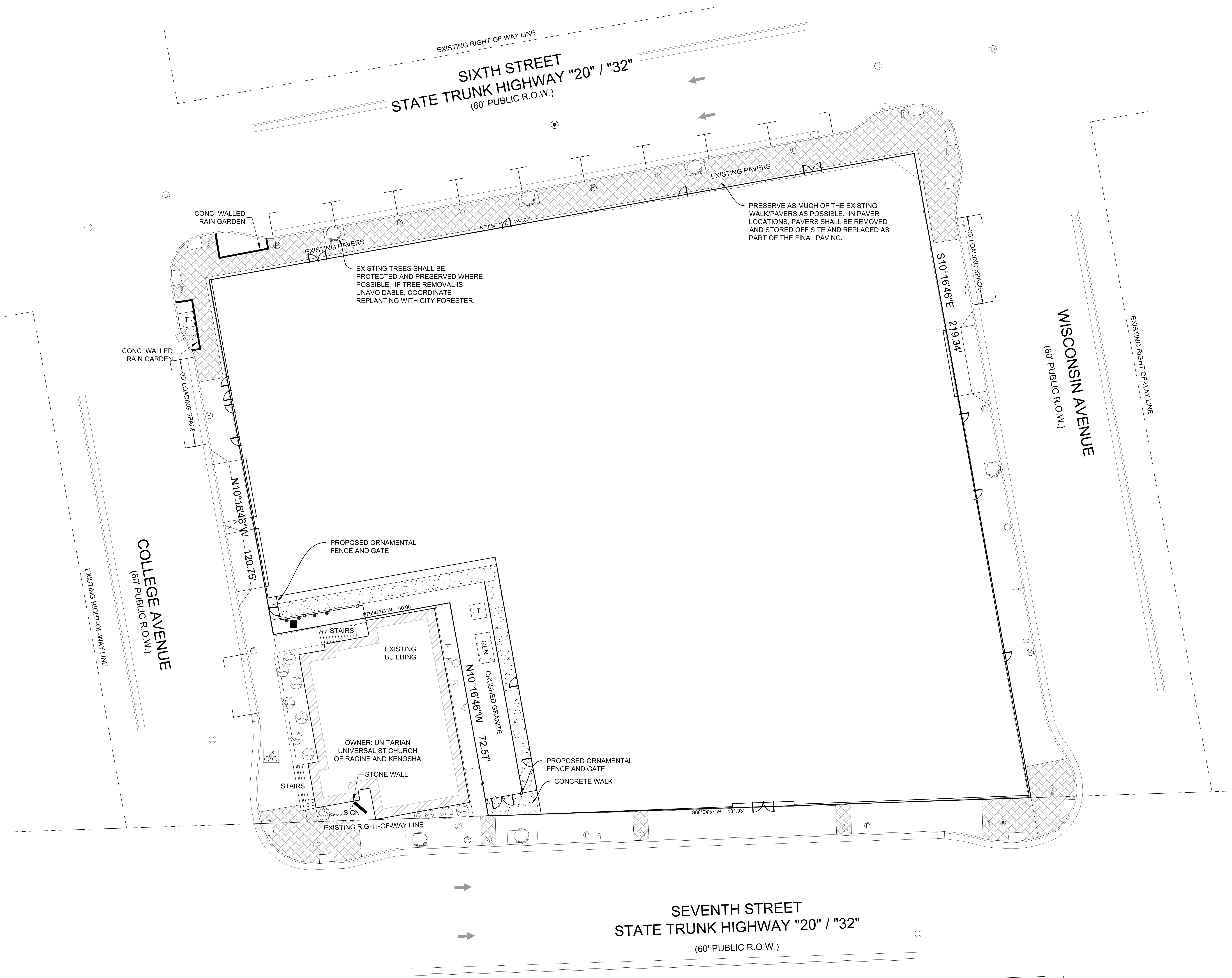
The aim is to start the project in late 2021 with a construction period that would last approximately 18 months finishing in late 2022 or early 2023.

Social & Economic Impacts:

The project is aimed to provide further housing and commercial space to downtown Racine in accordance with the City's 2035 comprehensive plan and to bring more residents to live downtown.

We are excited to continue to work with the City and Plan Commission to see the project move forward.

Jason Korb AIA
Principal Architect



PROJECT:
PORTERS
301 6TH STREET
RACINE, WI 53403

OWNER:
CARDINAL CAPITAL
MANAGEMENT, INC.
901 SOUTH 70TH STREET
WEST ALLIS, WI 53214

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
618 N. PLANKINTON AVE
SUITE 240
MILWAUKEE, WI 53202

CIVIL
ENGINEER:
PINNACLE ENGINEERING
GROUP
20725 WATERTOWN RD
SUITE 100
BROOKFIELD, WI 53186

STRUCTURAL
ENGINEER:
THORNTON TOMASETTI
222 E. ERIE STREET
SUITE 300
MILWAUKEE, WI 53202

| # | DATE | DESCRIPTION |
|---|------|-------------|
|---|------|-------------|

| | |
|----------|----------------------------|
| PROJECT: | 2009-02 |
| SCALE: | 1" = 10' |
| PHASE: | CONDITIONAL USE SUBMISSION |
| DATE: | 4/30/2021 |

- FOR REVIEW - NOT FOR CONSTRUCTION -

PORTER'S OF RACINE

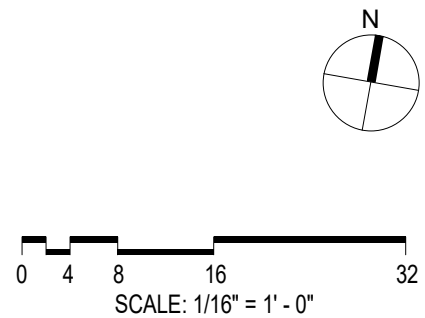
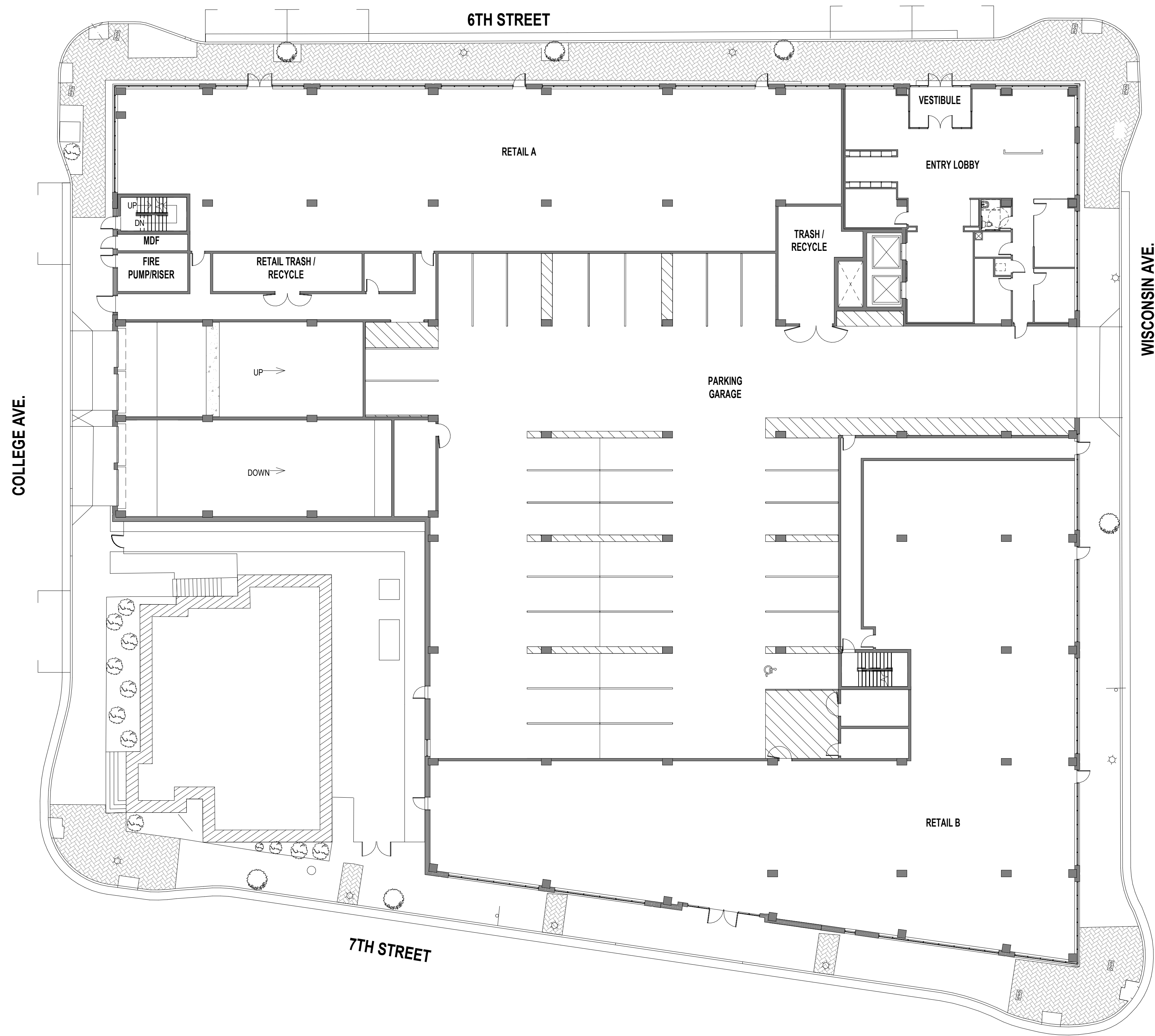
301 6TH STREET - RACINE, WI
C.U.P. SUBMISSION - 04.12.2021



APRIL 12, 2021

KORB + ASSOCIATES ARCHITECTS

EXTERIOR RENDERINGS & MATERIALS
PORTER'S OF RACINE - CONDITIONAL USE SUBMISSION



PROJECT:
PORTER'S
301 6TH ST.
RACINE, WI 53403

OWNER:
CARDINAL CAPITAL
MANAGEMENT, INC.

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS

CIVIL ENGINEER:
PINNACLE
ENGINEERING GROUP

STRUCTURAL ENGINEER:
THORNTON
TOMASETTI

CONSTRUCTION MANAGER:

| DATE | REVISION |
|------|----------|
| | |

| | |
|-----------|-------------------|
| COMM No.: | 20005-02 |
| SCALE: | 1/16" = 1'-0" |
| PHASE: | C.U.P. SUBMISSION |
| DATE: | 04.12.2021 |

- FOR REVIEW - NOT FOR CONSTRUCTION -

PROJECT:
PORTER'S
301 6TH ST.
RACINE, WI 53403

OWNER:
CARDINAL CAPITAL
MANAGEMENT, INC.

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS

CIVIL ENGINEER:
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TOMASETTI

CONSTRUCTION MANAGER:

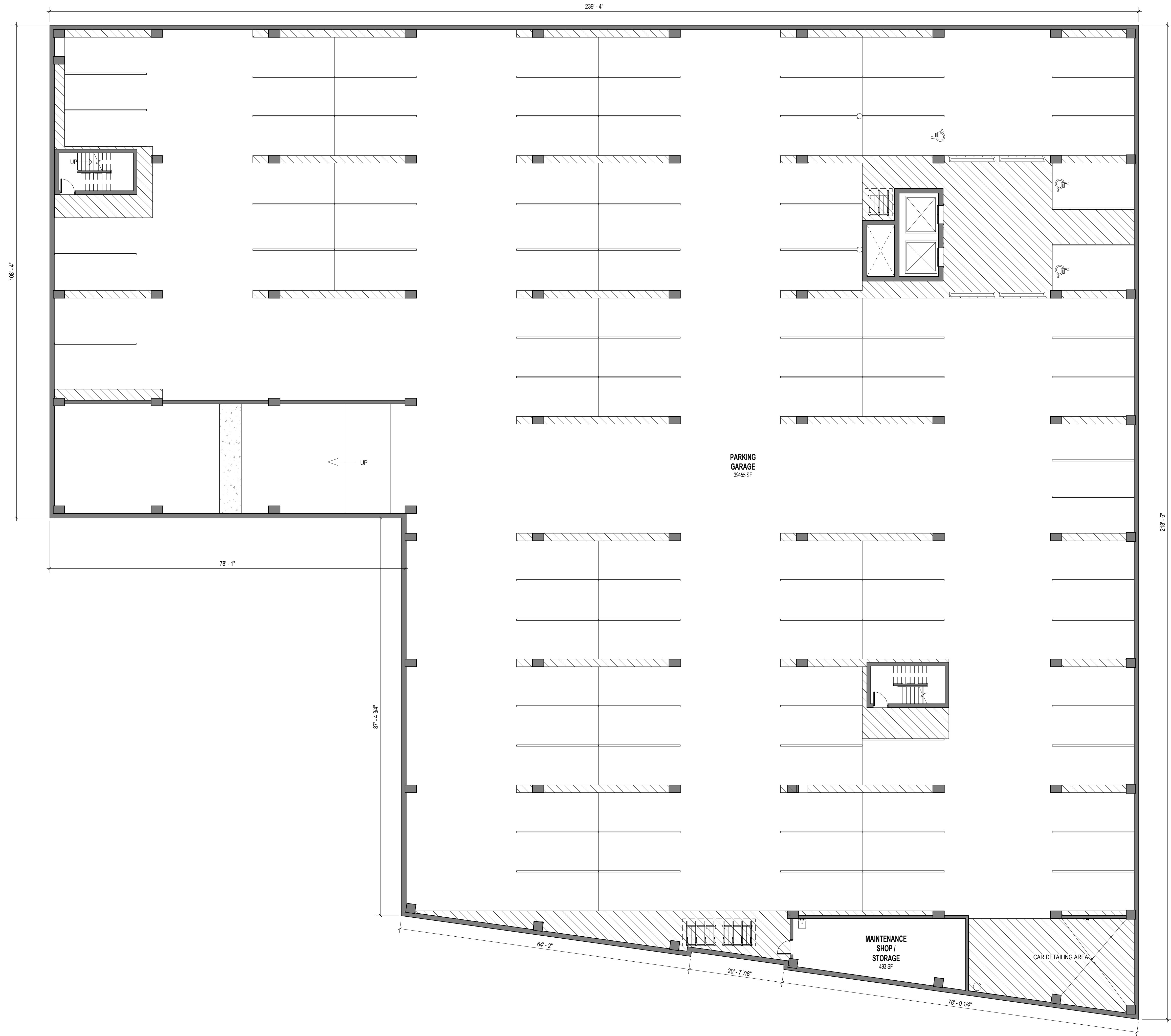
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| PHASE: | C.U.P. SUBMISSION |
| DATE: | 04.12.2021 |

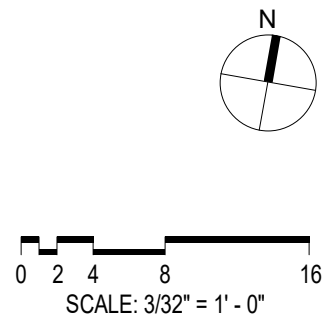
BASEMENT FLOOR PLAN

AP110

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| RESIDENT PARKING | | | |
|------------------|-----|--|-----|
| BASEMENT | | | |
| 8-8X18 | 76 | | |
| 8-8X18 E.V. | 2 | | |
| 8X18 | 8 | | |
| 9X18 | 9 | | |
| 9X18 E.V. | 1 | | |
| 10X18 | 7 | | |
| 10X18 ADA | 2 | | ADA |
| 10X18 E.V. | 1 | | |
| | 106 | | |
| SECOND FLOOR | | | |
| 8-8X18 | 73 | | |
| 8-8X18 E.V. | 2 | | |
| 8X18 | 12 | | |
| 9X18 | 9 | | |
| 10X18 | 5 | | |
| 10X18 ADA | 2 | | ADA |
| | 103 | | |
| RESIDENT PARKING | 209 | | |
| RETAIL PARKING | | | |
| FIRST FLOOR | | | |
| 8'-8" W | 5 | | |
| 8-8X18 | 17 | | |
| 8X18 | 10 | | |
| 9'-0" ADA | 1 | | ADA |
| 9X18 | 3 | | |
| | 36 | | |
| RETAIL PARKING | 36 | | |



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RACINE, WI 53403

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ARCHITECTS

CIVIL ENGINEER:
PINNACLE
ENGINEERING GROUP

STRUCTURAL ENGINEER:
THORNTON
TOMASETTI

CONSTRUCTION MANAGER:

DATE: REVISION

COMM No.: 20005-02
SCALE: 3/32" = 1'-0"
PHASE: C.U.P. SUBMISSION
DATE: 04.12.2021

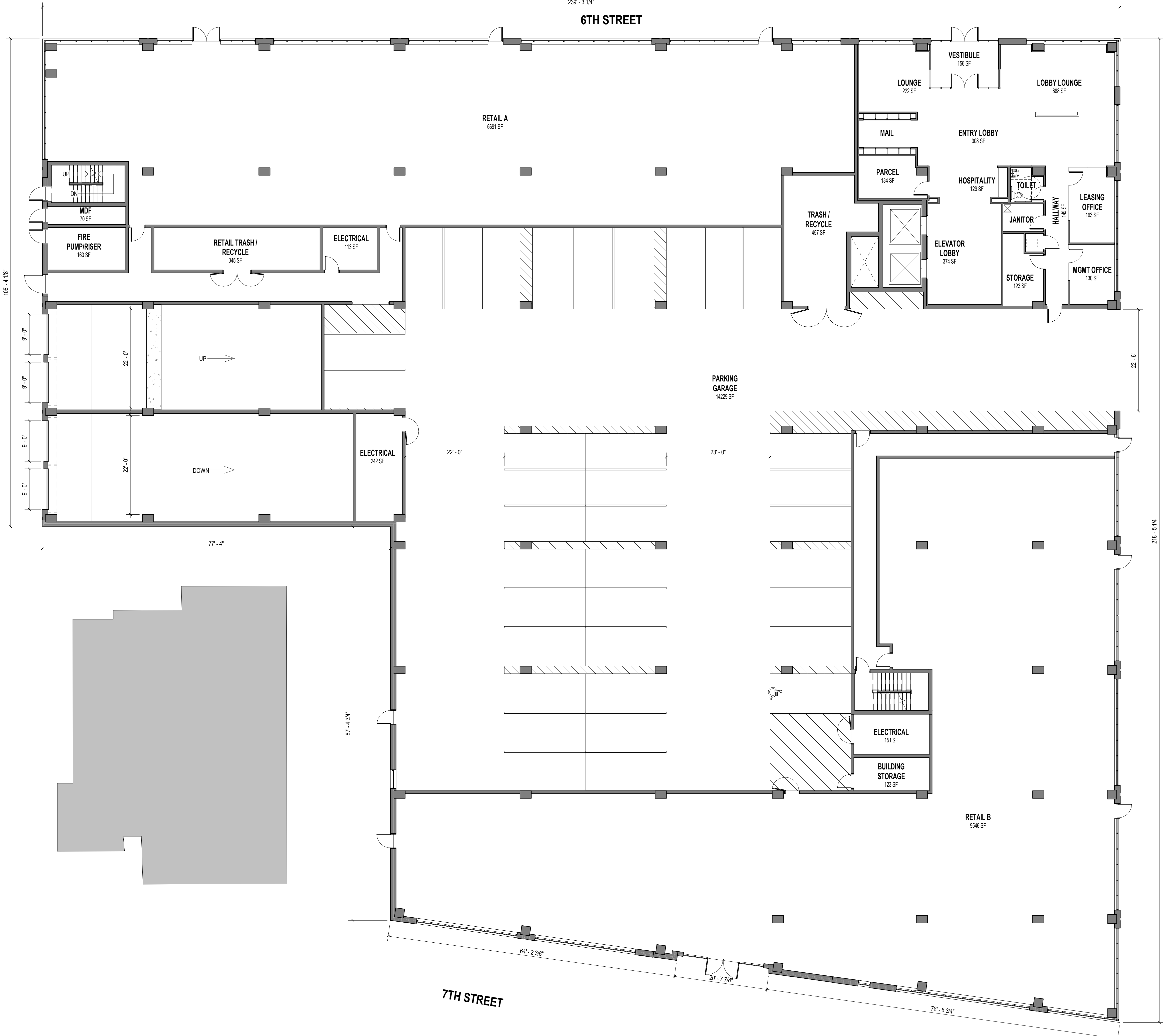
FIRST FLOOR PLAN

AP111

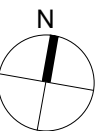
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COLLEGE AVE.

WISCONSIN AVE.



| RESIDENT PARKING | | | |
|------------------|-----|--|-----|
| BASEMENT | | | |
| 8-8X18 | 76 | | |
| 8-8X18 E.V. | 2 | | |
| 8X18 | 8 | | |
| 9X18 | 9 | | |
| 9X18 E.V. | 1 | | |
| 10X18 | 7 | | |
| 10X18 ADA | 2 | | ADA |
| 10X18 E.V. | 1 | | |
| | 106 | | |
| SECOND FLOOR | | | |
| 8-8X18 | 73 | | |
| 8-8X18 E.V. | 2 | | |
| 8X18 | 12 | | |
| 9X18 | 9 | | |
| 10X18 | 5 | | |
| 10X18 ADA | 2 | | ADA |
| | 103 | | |
| RESIDENT PARKING | 209 | | |
| RETAIL PARKING | | | |
| FIRST FLOOR | | | |
| 8'-6" W | 5 | | |
| 8-8X18 | 17 | | |
| 8X18 | 10 | | |
| 9'-0" ADA | 1 | | ADA |
| 9X18 | 3 | | |
| | 36 | | |
| RETAIL PARKING | 36 | | |



0 2 4 8 16
SCALE: 3/32" = 1' - 0"

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301 6TH ST.
RACINE, WI 53403

OWNER:
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MANAGEMENT, INC.

ARCHITECT:
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ARCHITECTS

CIVIL ENGINEER:
PINNACLE
ENGINEERING GROUP

STRUCTURAL ENGINEER:
THORNTON
TOMASETTI

CONSTRUCTION MANAGER:

DATE: REVISION

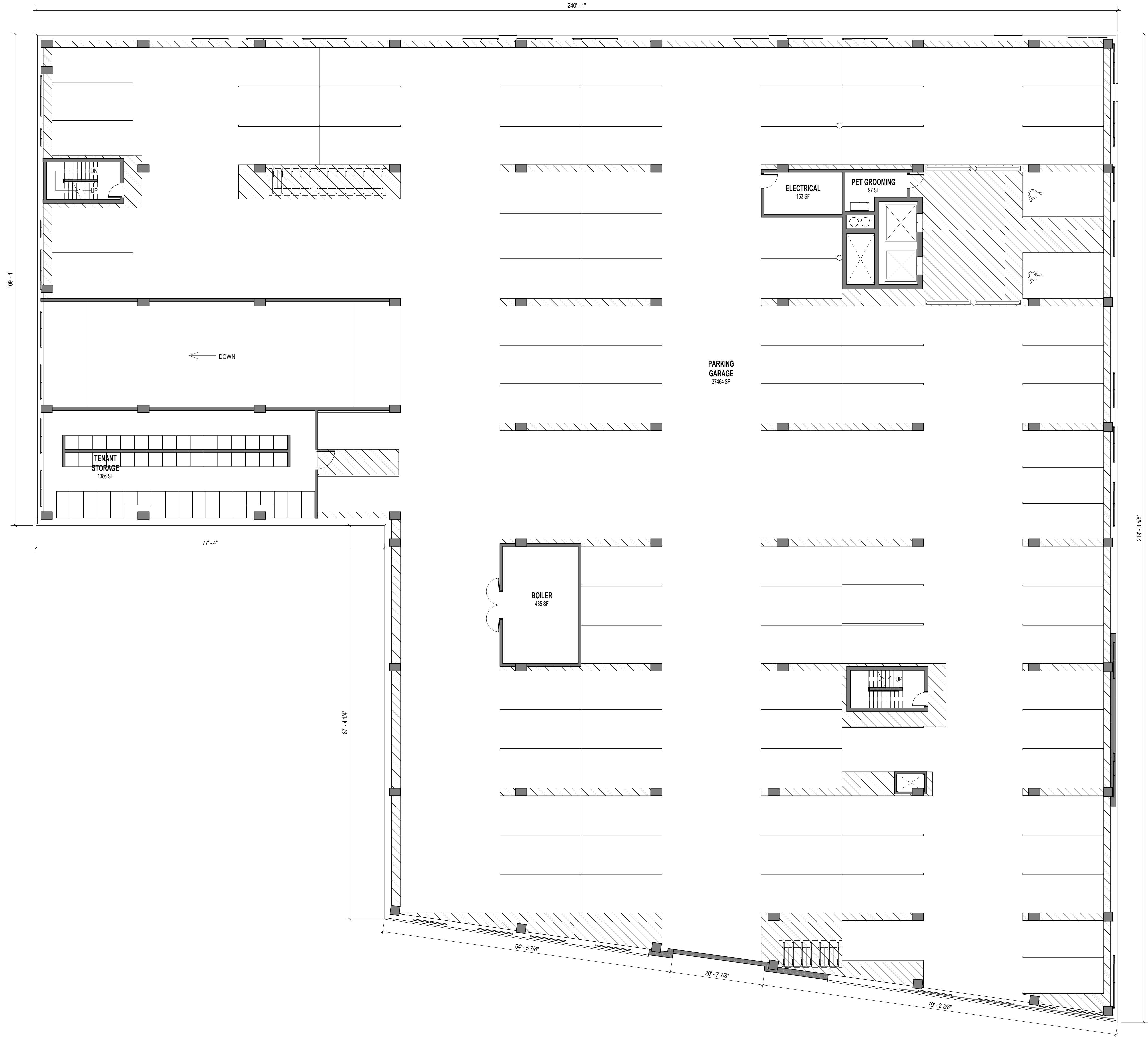
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PHASE: C.U.P. SUBMISSION
DATE: 04.12.2021

SECOND FLOOR PLAN

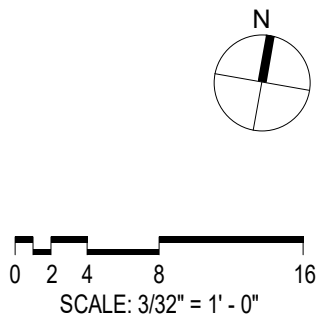
AP112

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- FOR REVIEW - NOT FOR CONSTRUCTION -



| RESIDENT PARKING | | | |
|------------------|-----|--|-----|
| BASEMENT | | | |
| 8-8X18 | 76 | | |
| 8-8X18 E.V. | 2 | | |
| 8X18 | 8 | | |
| 9X18 | 9 | | |
| 9X18 E.V. | 1 | | |
| 10X18 | 7 | | |
| 10X18 ADA | 2 | | ADA |
| 10X18 E.V. | 1 | | |
| | 106 | | |
| SECOND FLOOR | | | |
| 8-8X18 | 73 | | |
| 8-8X18 E.V. | 2 | | |
| 8X18 | 12 | | |
| 9X18 | 9 | | |
| 10X18 | 5 | | |
| 10X18 ADA | 2 | | ADA |
| | 103 | | |
| RESIDENT PARKING | 209 | | |
| RETAIL PARKING | | | |
| FIRST FLOOR | | | |
| 8'-8" W | 5 | | |
| 8-8X18 | 17 | | |
| 8X18 | 10 | | |
| 9'-0" ADA | 1 | | ADA |
| 9X18 | 3 | | |
| | 36 | | |
| RETAIL PARKING | 36 | | |



PROJECT:
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301 6TH ST.
RACINE, WI 53403

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ARCHITECT:
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CIVIL ENGINEER:
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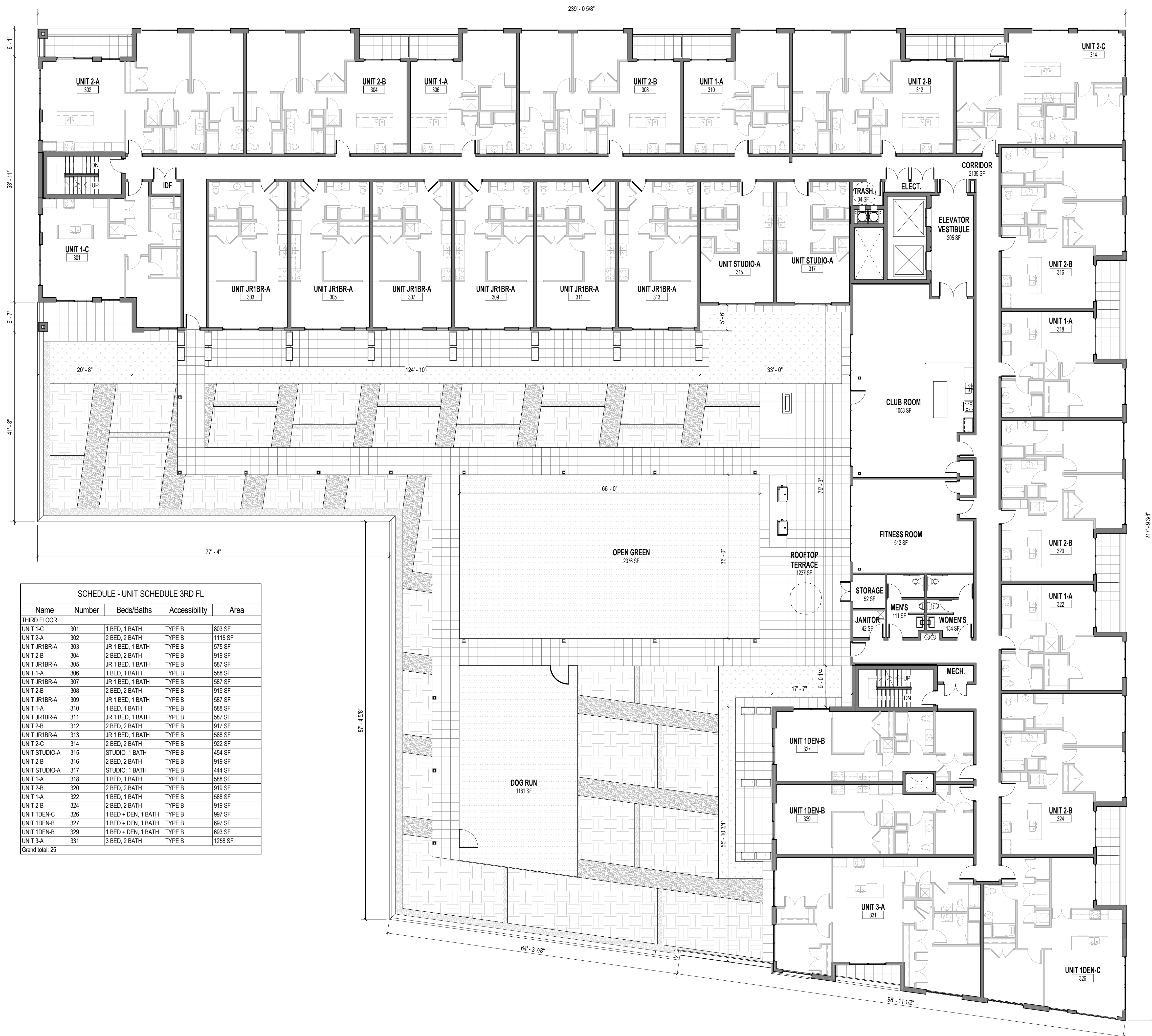
CONSTRUCTION MANAGER:

DATE: REVISION

COMM No.: 20005-02
SCALE: 3/32" = 1'-0"
PHASE: C.U.P. SUBMISSION
DATE: 04.12.2021

THIRD FLOOR PLAN
AP113
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- FOR REVIEW - NOT FOR CONSTRUCTION -



| SCHEDULE - UNIT SCHEDULE 3RD FL | | | | |
|---------------------------------|--------|---------------------|---------------|---------|
| Name | Number | Beds/Baths | Accessibility | Area |
| THIRD FLOOR | | | | |
| UNIT 1-C | 301 | 1 BED, 1 BATH | TYPE B | 803 SF |
| UNIT 2-A | 302 | 2 BED, 2 BATH | TYPE B | 1115 SF |
| UNIT JR1BR-A | 303 | JR 1 BED, 1 BATH | TYPE B | 575 SF |
| UNIT 2-B | 304 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT JR1BR-A | 305 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 1-A | 306 | 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT JR1BR-A | 307 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 2-B | 308 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT JR1BR-A | 309 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 1-A | 310 | 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT JR1BR-A | 311 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 2-B | 312 | 2 BED, 2 BATH | TYPE B | 917 SF |
| UNIT JR1BR-A | 313 | JR 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT 2-C | 314 | 2 BED, 2 BATH | TYPE B | 922 SF |
| UNIT STUDIO-A | 315 | STUDIO, 1 BATH | TYPE B | 454 SF |
| UNIT 2-B | 316 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT STUDIO-A | 317 | STUDIO, 1 BATH | TYPE B | 444 SF |
| UNIT 1-A | 318 | 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT 2-B | 320 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT 1-A | 322 | 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT 2-B | 324 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT 1DEN-C | 326 | 1 BED + DEN, 1 BATH | TYPE B | 997 SF |
| UNIT 1DEN-B | 327 | 1 BED + DEN, 1 BATH | TYPE B | 697 SF |
| UNIT 1DEN-B | 329 | 1 BED + DEN, 1 BATH | TYPE B | 693 SF |
| UNIT 3-A | 331 | 3 BED, 2 BATH | TYPE B | 1258 SF |
| Grand total: 25 | | | | |

PROJECT:
PORTER'S
301 6TH ST.
RACINE, WI 53403

OWNER:
CARDINAL CAPITAL
MANAGEMENT, INC.

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS

CIVIL ENGINEER:
PINNACLE
ENGINEERING GROUP

STRUCTURAL ENGINEER:
THORNTON
TOMASETTI

CONSTRUCTION MANAGER:

DATE: REVISION

| | |
|-----------|-------------------|
| COMM No.: | 20005-02 |
| SCALE: | 3/32" = 1'-0" |
| PHASE: | C.U.P. SUBMISSION |
| DATE: | 04.12.2021 |

- FOR REVIEW - NOT FOR CONSTRUCTION -



| SCHEDULE - UNIT SCHEDULE 4TH FL | | | | |
|---------------------------------|--------|---------------------|---------------|---------|
| Name | Number | Beds/Baths | Accessibility | Area |
| FOURTH FLOOR | | | | |
| UNIT 1DEN-A | 401 | 1 BED + DEN, 1 BATH | TYPE B | 984 SF |
| UNIT 2-A | 402 | 2 BED, 2 BATH | TYPE B | 1115 SF |
| UNIT JR1BR-A | 403 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 2-B | 404 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT JR1BR-A | 405 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 1-A | 406 | 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT JR1BR-A | 407 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 2-B | 408 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT JR1BR-A | 409 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 1-A | 410 | 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT JR1BR-A | 411 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 2-B | 412 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT JR1BR-A | 413 | JR 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT 2-C | 414 | 2 BED, 2 BATH | TYPE B | 922 SF |
| UNIT STUDIO-A | 415 | STUDIO, 1 BATH | TYPE B | 452 SF |
| UNIT 2-B | 416 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT STUDIO-A | 417 | STUDIO, 1 BATH | TYPE B | 446 SF |
| UNIT 1-A | 418 | 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT 1-B | 419 | 1 BED, 1 BATH | TYPE B | 560 SF |
| UNIT 2-B | 420 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT 1-B | 421 | 1 BED, 1 BATH | TYPE B | 569 SF |
| UNIT 1-A | 422 | 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT 1-B | 423 | 1 BED, 1 BATH | TYPE B | 569 SF |
| UNIT 2-B | 424 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT 1-B | 425 | 1 BED, 1 BATH | TYPE B | 560 SF |
| UNIT 1DEN-C | 426 | 1 BED + DEN, 1 BATH | TYPE A | 996 SF |
| UNIT 1DEN-B | 427 | 1 BED + DEN, 1 BATH | TYPE B | 696 SF |
| UNIT 1DEN-B | 429 | 1 BED + DEN, 1 BATH | TYPE B | 693 SF |
| UNIT 3-A | 431 | 3 BED, 2 BATH | TYPE B | 1258 SF |
| Grand total: 29 | | | | |

PROJECT:
PORTER'S
301 6TH ST.
RACINE, WI 53403

OWNER:
CARDINAL CAPITAL
MANAGEMENT, INC.

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS

CIVIL ENGINEER:
PINNACLE
ENGINEERING GROUP

STRUCTURAL ENGINEER:
THORNTON
TOMASETTI

CONSTRUCTION MANAGER:

DATE: REVISION

COMM No.: 20005-02
SCALE: 3/32" = 1'-0"
PHASE: C.U.P. SUBMISSION
DATE: 04.12.2021

FIFTH FLOOR PLAN
AP115
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| SCHEDULE - UNIT SCHEDULE 5TH FL | | | | |
|---------------------------------|--------|---------------------|---------------|---------|
| Name | Number | Beds/Baths | Accessibility | Area |
| FIFTH FLOOR | | | | |
| UNIT 1DEN-A | 501 | 1 BED + DEN, 1 BATH | TYPE B | 984 SF |
| UNIT 2-A | 502 | 2 BED, 2 BATH | TYPE B | 1115 SF |
| UNIT JR1BR-A | 503 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 2-B | 504 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT JR1BR-A | 505 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 1-A | 506 | 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT JR1BR-A | 507 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 2-B | 508 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT JR1BR-A | 509 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 1-A | 510 | 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT JR1BR-A | 511 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 2-B | 512 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT JR1BR-A | 513 | JR 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT 2-C | 514 | 2 BED, 2 BATH | TYPE B | 922 SF |
| UNIT STUDIO-A | 515 | STUDIO, 1 BATH | TYPE B | 452 SF |
| UNIT 2-B | 516 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT STUDIO-A | 517 | STUDIO, 1 BATH | TYPE B | 446 SF |
| UNIT 1-A | 518 | 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT 1-B | 519 | 1 BED, 1 BATH | TYPE B | 560 SF |
| UNIT 2-B | 520 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT 1-B | 521 | 1 BED, 1 BATH | TYPE B | 569 SF |
| UNIT 1-A | 522 | 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT 1-B | 523 | 1 BED, 1 BATH | TYPE B | 569 SF |
| UNIT 2-B | 524 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT 1-B | 525 | 1 BED, 1 BATH | TYPE B | 560 SF |
| UNIT 1DEN-C | 526 | 1 BED + DEN, 1 BATH | TYPE B | 996 SF |
| UNIT 1DEN-B | 527 | 1 BED + DEN, 1 BATH | TYPE B | 696 SF |
| UNIT 1DEN-B | 529 | 1 BED + DEN, 1 BATH | TYPE B | 684 SF |
| UNIT 3-A | 531 | 3 BED, 2 BATH | TYPE B | 1258 SF |
| Grand total: 29 | | | | |

PROJECT:
PORTER'S
301 6TH ST.
RACINE, WI 53403

OWNER:
CARDINAL CAPITAL
MANAGEMENT, INC.

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS

CIVIL ENGINEER:
PINNACLE
ENGINEERING GROUP

STRUCTURAL ENGINEER:
THORNTON
TOMASETTI

CONSTRUCTION MANAGER:

DATE: REVISION

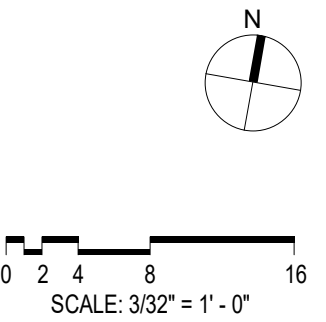
COMM No.: 20005-02
SCALE: 3/32" = 1'-0"
PHASE: C.U.P. SUBMISSION
DATE: 04.12.2021

SIXTH FLOOR PLAN
AP116
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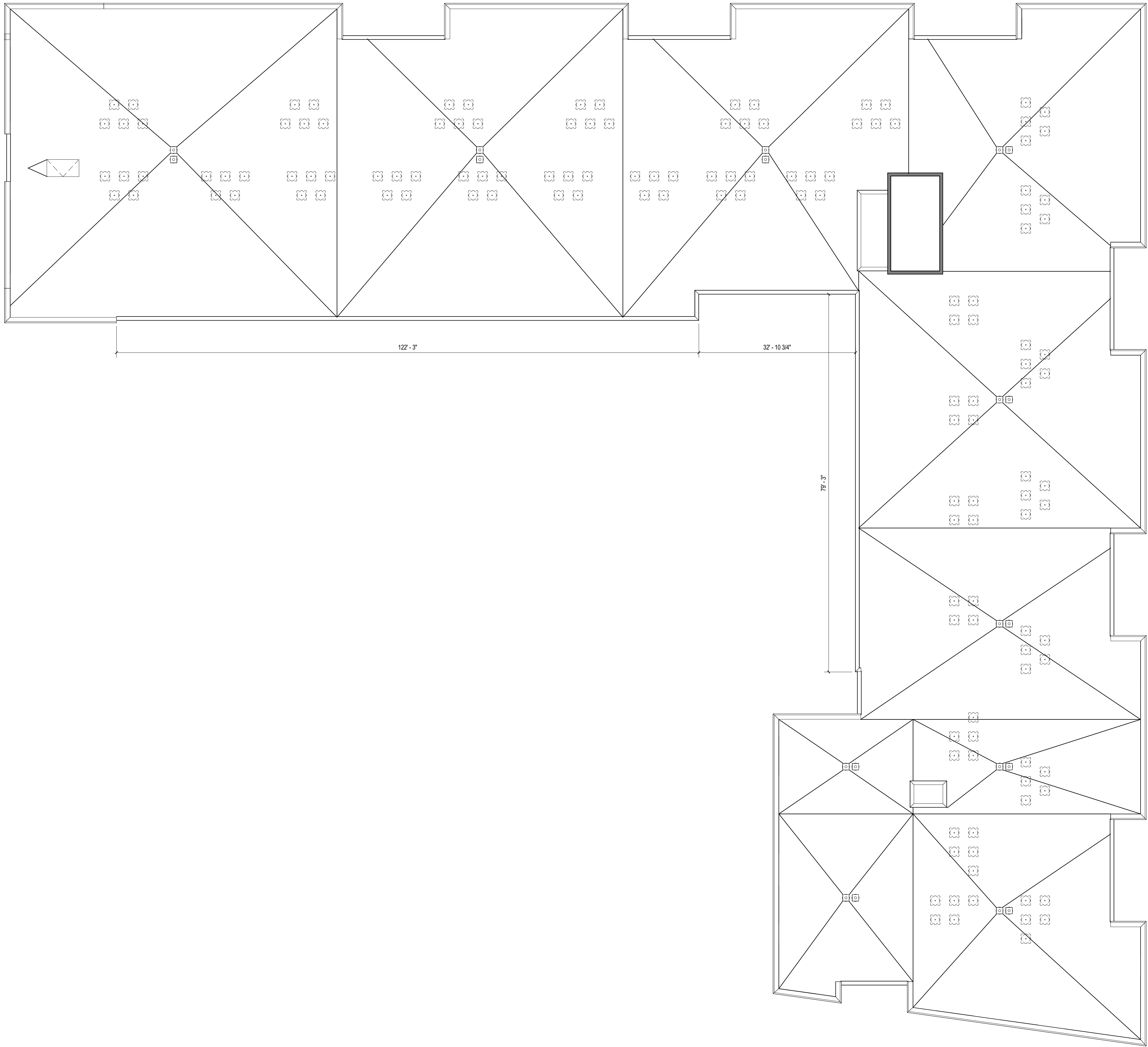
- FOR REVIEW - NOT FOR CONSTRUCTION -

| | |
|-----------|-------------------|
| COMM No.: | 20005-02 |
| SCALE: | 3/32" = 1'-0" |
| PHASE: | C.U.P. SUBMISSION |
| DATE: | 04.12.2021 |



| SCHEDULE - UNIT SCHEDULE 7TH FL | | | | |
|---------------------------------|--------|---------------------|---------------|---------|
| Name | Number | Beds/Baths | Accessibility | Area |
| SEVENTH FLOOR | | | | |
| UNIT 1DEN-A | 701 | 1 BED + DEN, 1 BATH | TYPE B | 984 SF |
| UNIT 2-A | 702 | 2 BED, 2 BATH | TYPE B | 1115 SF |
| UNIT JR1B-A | 703 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 2-B | 704 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT JR1B-A | 705 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 1-A | 706 | 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT JR1B-A | 707 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 2-B | 708 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT JR1B-A | 709 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 1-A | 710 | 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT JR1B-A | 711 | JR 1 BED, 1 BATH | TYPE B | 587 SF |
| UNIT 2-B | 712 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT JR1B-A | 713 | JR 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT 2-C | 714 | 2 BED, 2 BATH | TYPE B | 922 SF |
| UNIT STUDIO-A | 715 | STUDIO, 1 BATH | TYPE B | 452 SF |
| UNIT 2-B | 716 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT STUDIO-A | 717 | STUDIO, 1 BATH | TYPE B | 446 SF |
| UNIT 1-A | 718 | 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT 1-B | 719 | 1 BED, 1 BATH | TYPE B | 580 SF |
| UNIT 2-B | 720 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT 1-B | 721 | 1 BED, 1 BATH | TYPE B | 569 SF |
| UNIT 1-A | 722 | 1 BED, 1 BATH | TYPE B | 588 SF |
| UNIT 1-B | 723 | 1 BED, 1 BATH | TYPE B | 569 SF |
| UNIT 2-B | 724 | 2 BED, 2 BATH | TYPE B | 919 SF |
| UNIT 1-B | 725 | 1 BED, 1 BATH | TYPE B | 560 SF |
| UNIT 1DEN-C | 726 | 1 BED + DEN, 1 BATH | TYPE B | 996 SF |
| UNIT 1DEN-B | 727 | 1 BED + DEN, 1 BATH | TYPE B | 696 SF |
| UNIT 1DEN-B | 729 | 1 BED + DEN, 1 BATH | TYPE B | 684 SF |
| UNIT 3-A | 731 | 3 BED, 2 BATH | TYPE B | 1258 SF |

Grand total: 29



PROJECT:
PORTER'S
301 6TH ST.
RACINE, WI 53403

OWNER:
CARDINAL CAPITAL
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ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS

CIVIL ENGINEER:
PINNACLE
ENGINEERING GROUP

STRUCTURAL ENGINEER:
THORNTON
TOMASETTI

CONSTRUCTION MANAGER:

| DATE: | REVISION |
|-------|----------|
|-------|----------|

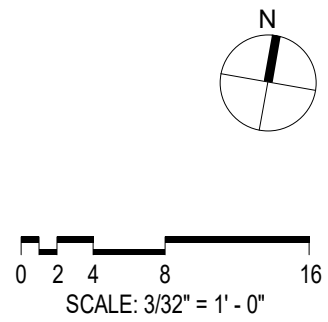
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| COMM No.: | 20005-02 |
| SCALE: | 3/32" = 1'-0" |
| PHASE: | C.U.P. SUBMISSION |
| DATE: | 04.12.2021 |

ROOF PLAN

AP118

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PROJECT:
PORTER'S
301 6TH ST.
RACINE, WI 53403

OWNER:
CARDINAL CAPITAL
MANAGEMENT, INC.

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS

CIVIL ENGINEER:
PINNACLE
ENGINEERING GROUP

STRUCTURAL ENGINEER:
THORNTON
TOMASETTI

CONSTRUCTION MANAGER:

| DATE: | REVISION |
|-------|----------|
|-------|----------|

| | |
|-----------|-------------------|
| COMM No.: | 20005-02 |
| SCALE: | 1" = 10'-0" |
| PHASE: | C.U.P. SUBMISSION |
| DATE: | 04.12.2021 |

COLOR ELEVATIONS

AP200

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1 NORTH ELEVATION - COLOR

AP200 1" = 10'-0"



2 EAST ELEVATION - COLOR

AP200 1" = 10'-0"

| KEYED NOTE | DESCRIPTION |
|--------------|---|
| 04 CSTN-1 | CAST STONE |
| 04 FBR-1 | FACE BRICK |
| 04 STN-1 | ANCHORED STONE VENEER (8"x16") |
| 04 STN-2 | ANCHORED STONE VENEER (8"x24") |
| 04 STN-3 | STONE CORNICE |
| 05 GL RAIL-1 | METAL RAILING AND SUPPORTS WITH GLAZING |
| 05 MET FAB-4 | METAL FABRICATION - GLASS AWNING WITH INTEGRATED LED LIGHTING |
| 07 FCB-2 | FIBER-CEMENT SMOOTH PANEL, RICH ESPRESSO |
| 07 MP-1 | MODULAR METAL PANEL |
| 07 SMF-2 | SHEET METAL FLASHING - PREFINISHED ALUMINUM |
| 08 AFS-2 | ALUMINUM FRAMING SYSTEM - EXTERIOR, THERMALLY BROKEN |
| 08 FWS-1 | FIBERGLASS WINDOW SYSTEM |

0 2.5 5 10 20
SCALE: 1" = 10' - 0"

- FOR REVIEW - NOT FOR CONSTRUCTION -

| KEYED NOTE | DESCRIPTION |
|---------------|---|
| 04 CSTN-1 | CAST STONE |
| 04 FBR-1 | FACE BRICK |
| 04 STN-1 | ANCHORED STONE VENEER (8"x16") |
| 04 STN-2 | ANCHORED STONE VENEER (8"x24") |
| 04 STN-3 | STONE CORNICE |
| 05 GL RAIL-1 | METAL RAILING AND SUPPORTS WITH GLAZING |
| 05 MET FAB-4 | METAL FABRICATION - GLASS AWNING WITH INTEGRATED LED LIGHTING |
| 05 MET RAIL-1 | METAL RAILING - FREE STANDING |
| 07 FCB-1 | FIBER-CEMENT SMOOTH PANEL, BRUSHWORK RED |
| 07 FCB-2 | FIBER-CEMENT SMOOTH PANEL, RICH ESPRESSO |
| 07 MP-1 | MODULAR METAL PANEL |
| 07 SMF-2 | SHEET METAL FLASHING - PREFINISHED ALUMINUM |
| 08 AFS-2 | ALUMINUM FRAMING SYSTEM - EXTERIOR, THERMALLY BROKEN |
| 08 FWS-1 | FIBERGLASS WINDOW SYSTEM |

PROJECT:
PORTER'S
301 6TH ST.
RACINE, WI 53403

OWNER:
CARDINAL CAPITAL
MANAGEMENT, INC.

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS

CIVIL ENGINEER:
PINNACLE
ENGINEERING GROUP

STRUCTURAL ENGINEER:
THORNTON
TOMASETTI

CONSTRUCTION MANAGER:

| DATE: | REVISION |
|-------|----------|
|-------|----------|

| | |
|-----------|-------------------|
| COMM No.: | 20005-02 |
| SCALE: | 1" = 10'-0" |
| PHASE: | C.U.P. SUBMISSION |
| DATE: | 04.12.2021 |

COLOR ELEVATIONS

AP201

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2 SOUTH ELEVATION - NORTH WING COLOR
AP201 1" = 10'-0"



1 SOUTH ELEVATION - ANGLED - COLOR
AP201 1" = 10'-0"

0 2.5 5 10 20
SCALE: 1" = 10' - 0"

- FOR REVIEW - NOT FOR CONSTRUCTION -

PROJECT:
PORTER'S
301 6TH ST.
RACINE, WI 53403

OWNER:
CARDINAL CAPITAL
MANAGEMENT, INC.

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS

CIVIL ENGINEER:
PINNACLE
ENGINEERING GROUP

STRUCTURAL ENGINEER:
THORNTON
TOMASETTI

CONSTRUCTION MANAGER:

| DATE: | REVISION |
|-------|----------|
|-------|----------|

| | |
|----------|-------------------|
| COMM No: | 20005-02 |
| SCALE: | 1" = 10'-0" |
| PHASE: | C.U.P. SUBMISSION |
| DATE: | 04.12.2021 |

COLOR ELEVATIONS

AP202

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1 WEST ELEVATION - EAST WING - COLOR
AP202 1" = 10'-0"



2 WEST ELEVATION - COLOR
AP202 1" = 10'-0"

| KEYED NOTE | DESCRIPTION |
|---------------|---|
| 04 CSTN-1 | CAST STONE |
| 04 FBR-1 | FACE BRICK |
| 04 STN-1 | ANCHORED STONE VENEER (8"X16") |
| 04 STN-2 | ANCHORED STONE VENEER (8"X24") |
| 04 STN-3 | STONE CORNICE |
| 05 GL RAIL-1 | METAL RAILING AND SUPPORTS WITH GLAZING |
| 05 MET FAB-4 | METAL FABRICATION - GLASS AWNING WITH INTEGRATED LED LIGHTING |
| 05 MET RAIL-1 | METAL RAILING - FREE STANDING |
| 07 FCB-1 | FIBER-CEMENT SMOOTH PANEL, BRUSHWORK RED |
| 07 FCB-2 | FIBER-CEMENT SMOOTH PANEL, RICH ESPRESSO |
| 07 MP-1 | MODULAR METAL PANEL |
| 07 SMF-2 | SHEET METAL FLASHING - PREFINISHED ALUMINUM |
| 08 AFS-2 | ALUMINUM FRAMING SYSTEM - EXTERIOR, THERMALLY BROKEN |
| 08 FWS-1 | FIBERGLASS WINDOW SYSTEM |
| 08 LVR-1 | LOUVER - WALL |

0 2.5 5 10 20
SCALE: 1" = 10' - 0"

- FOR REVIEW - NOT FOR CONSTRUCTION -



APRIL 12, 2021

KORB + ASSOCIATES ARCHITECTS

EXTERIOR RENDERING - 6TH STREET & WISCONSIN AVE.
PORTER'S OF RACINE - CONDITIONAL USE SUBMISSION



APRIL 12, 2021

KORB + ASSOCIATES ARCHITECTS

EXTERIOR RENDERING - SOUTHEAST AERIAL
PORTER'S OF RACINE - CONDITIONAL USE SUBMISSION



APRIL 12, 2021

KORB + ASSOCIATES ARCHITECTS

EXTERIOR RENDERING - 6TH STREET & COLLEGE AVE.
PORTER'S OF RACINE - CONDITIONAL USE SUBMISSION



APRIL 12, 2021

KORB + ASSOCIATES ARCHITECTS

EXTERIOR RENDERING - 7TH STREET & WISCONSIN AVE.
PORTER'S OF RACINE - CONDITIONAL USE SUBMISSION



APRIL 12, 2021

KORB + ASSOCIATES ARCHITECTS

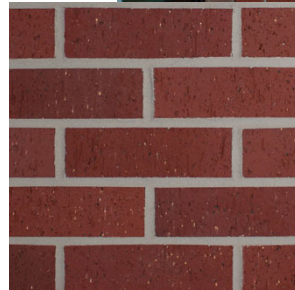
EXTERIOR RENDERING - 6TH STREET & WISCONSIN AVE. ENTRY
PORTER'S OF RACINE - CONDITIONAL USE SUBMISSION



APRIL 12, 2021

KORB + ASSOCIATES ARCHITECTS

EXTERIOR RENDERING - RESIDENT THIRD FLOOR PATIO
PORTER'S OF RACINE - CONDITIONAL USE SUBMISSION



Endicott Brick
Ruby Red Velour

FBR-1 : Face Brick



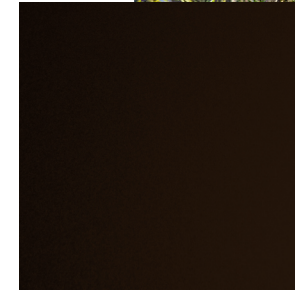
Echelon Cordova Stone
Limestone Ground Face - 8"x16"

STN-1 : Anchored Stone Veneer
CSTN-1 & STN-3 : Cast Stone Sill & Accessories - To Match



Echelon Franklin Stone
Liberty Gray Ground Face - 8"x24"

STN-2 : Anchored Stone Veneer - Accent



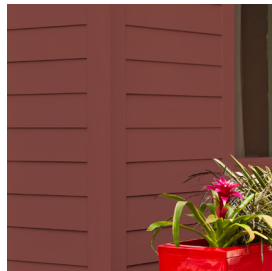
SMF-1 : Prefinished Sheet Metal - To match
Kawneer Trifab VG 451T w. SSG
Anodized 40 Dark Bronze

AFS-2 : Aluminum Storefront Framing System
LVR-1 : Prefinished Aluminum Louver - To Match



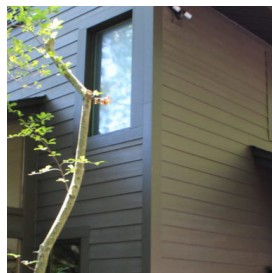
HardiePlank Lap - Smooth
Brushwork Red

FCB-1 : Fiber Cement Board Siding



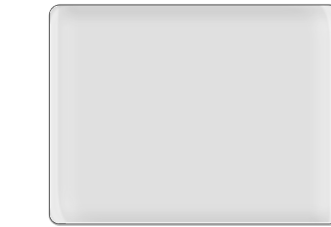
HardiePlank Lap - Smooth
Rich Espresso

FCB-2 : Fiber Cement Board Siding



Centria Intercept - Entyre
154 Dark Bronze

MP-1 : Prefinished Metal Panel



Guardian Glass
Sunguard - Low-E Coating

GL-10 : Low-E Clear Insulating Glass
GL-20 : Low-E Clear Insulating Glass - Frosted Film

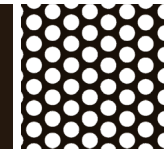


Pella Impervia Fiberglass
Brown

FWS-1 : Fiberglass Window System

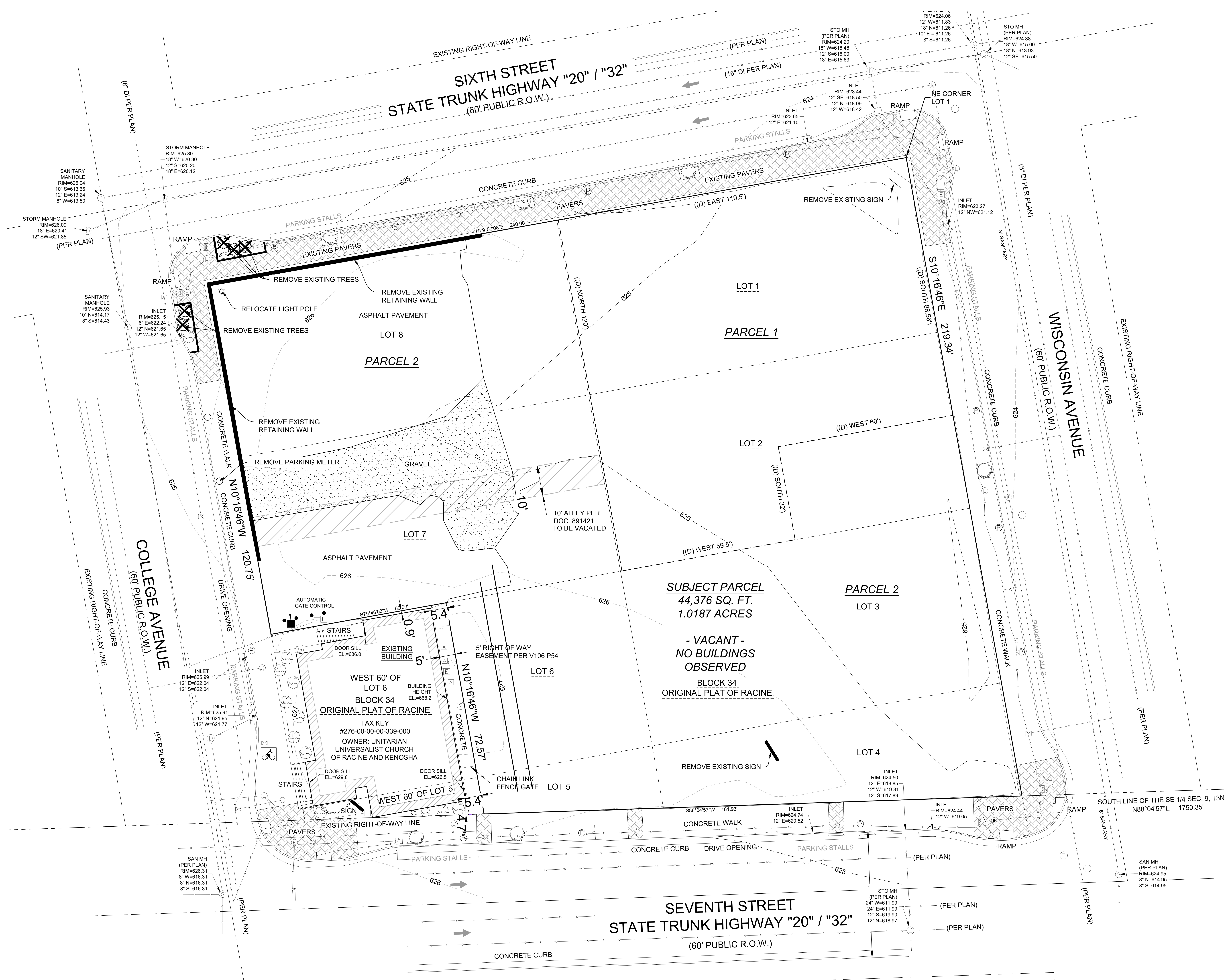


MET-FAB : Hanging Aluminum Balcony



MP-2: Alum. Perf. Screen
40% Opacity

MET RAIL-1 : Aluminum Railing w/ MP-2
GL RAIL-1: Aluminum Railing w/ Clear Glazing



PROJECT:
PORTERS
301 5TH STREET
RACINE, WI 53403

OWNER:
CARDINAL CAPITAL
MANAGEMENT, INC.
901 SOUTH 70TH STREET
WEST ALLIS, WI 53214

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
618 N. PLANKINTON AVE
SUITE 240
MILWAUKEE, WI 53202

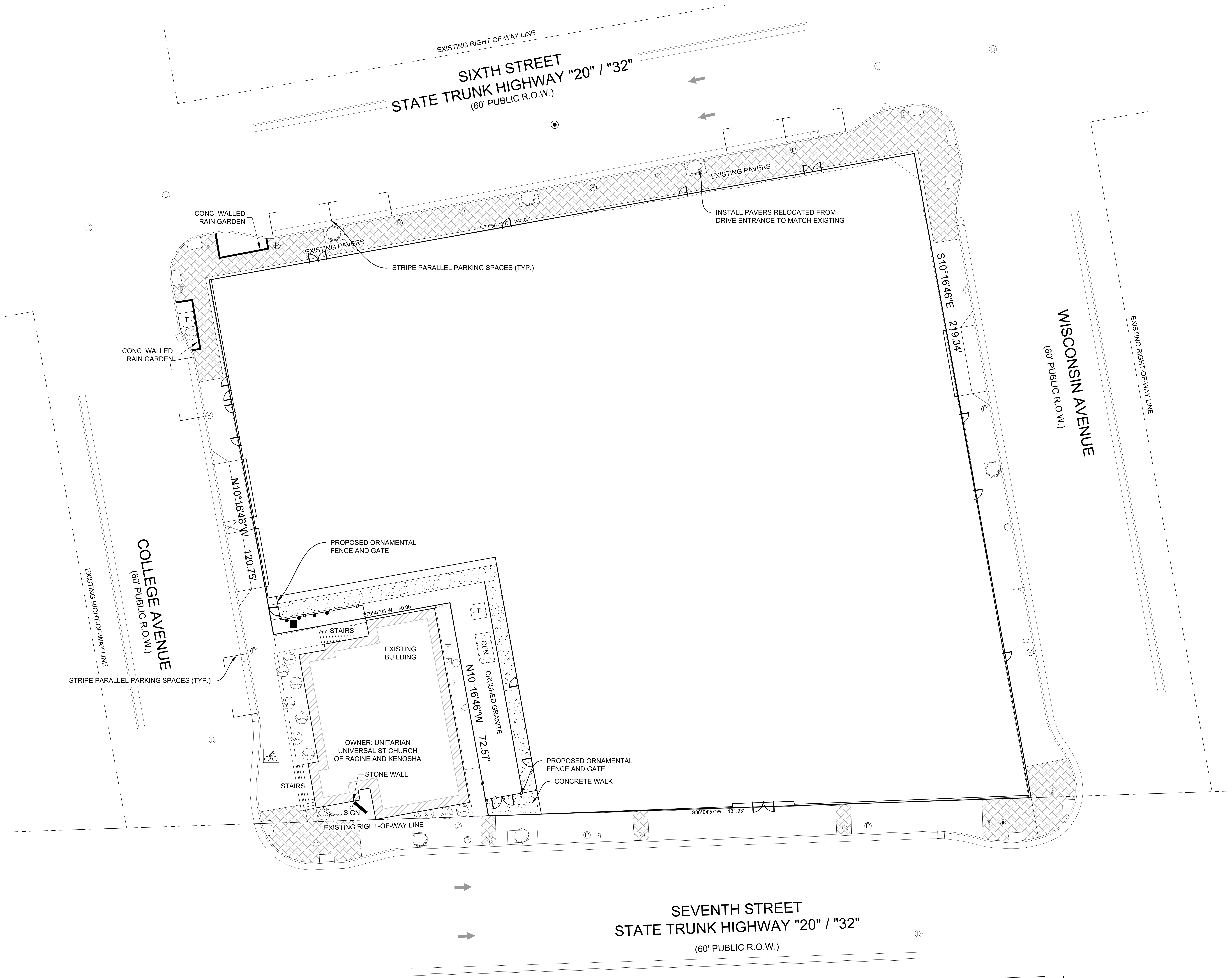
CIVIL ENGINEER:
PINNACLE ENGINEERING
GROUP
20725 WATERTOWN RD
SUITE 100
BROOKFIELD, WI 53186

STRUCTURAL ENGINEER:
THORNTON TOMASETTI
222 E. ERIE STREET
SUITE 360
MILWAUKEE, WI 53202

| # | DATE | DESCRIPTION |
|---|-----------|---------------------------------------|
| 1 | 4.12.2021 | EXISTING CONDITIONS & DEMOLITION PLAN |

PROJECT: 2020-02
SCALE: 1" = 10'
PHASE: CONDITIONAL USE SUBMISSION
DATE: 4.12.2021

EXISTING CONDITIONS & DEMOLITION PLAN
C100



PROJECT:
PORTERS
301 6TH STREET
RACINE, WI 53403

OWNER:
CARDINAL CAPITAL
MANAGEMENT, INC.
901 SOUTH 70TH STREET
WEST ALLIS, WI 53214

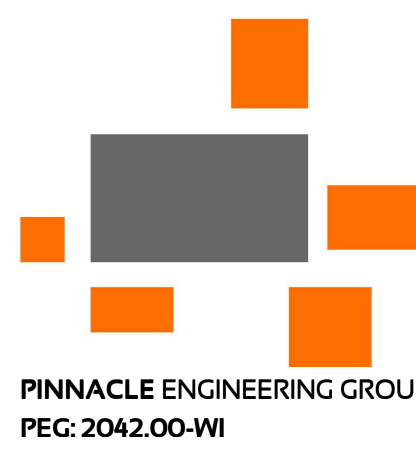
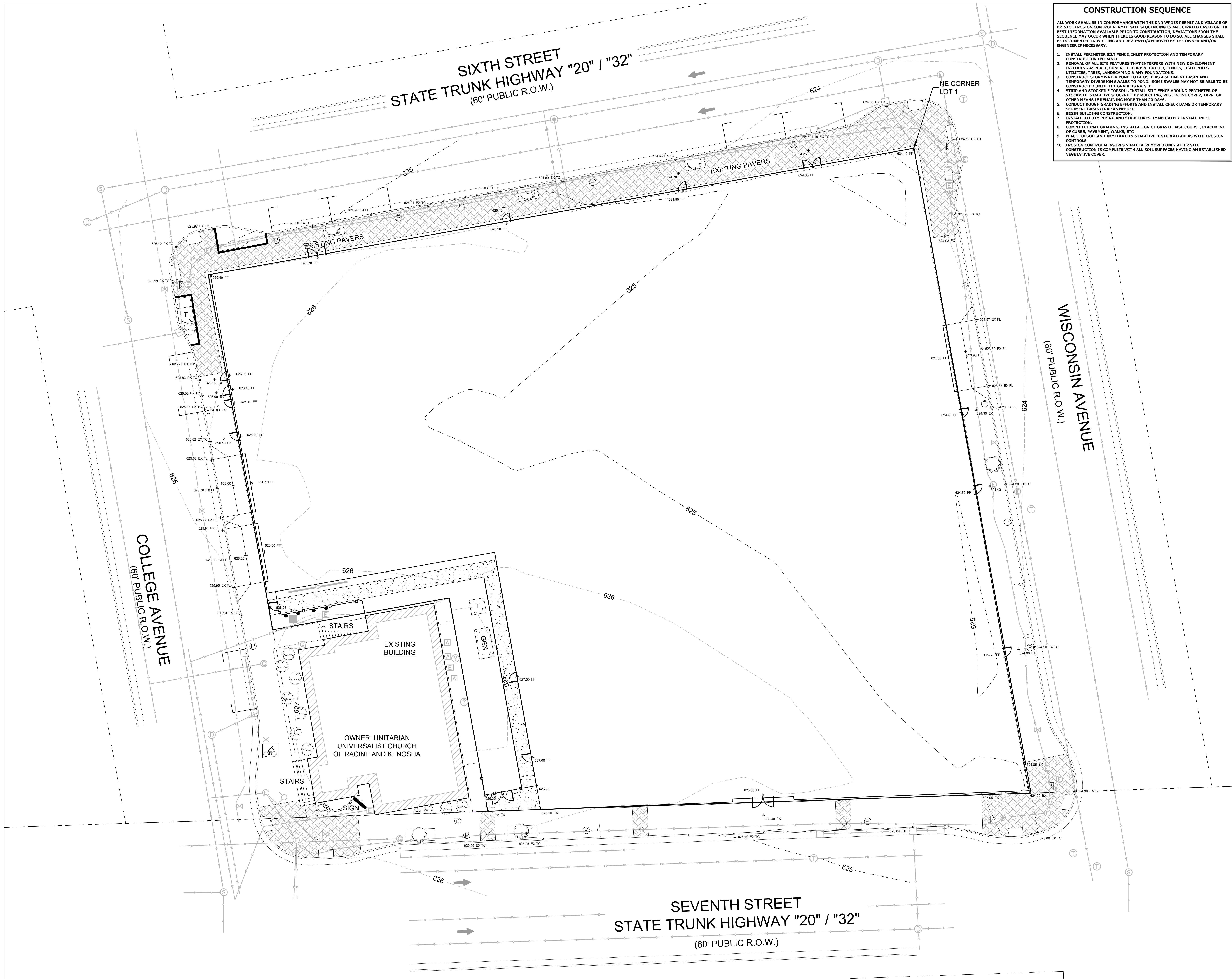
ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
618 N. PLANKINTON AVE
SUITE 240
MILWAUKEE, WI 53202

CIVIL
ENGINEER:
PINNACLE ENGINEERING
GROUP
20725 WATERTOWN RD
SUITE 100
BROOKFIELD, WI 53186

STRUCTURAL
ENGINEER:
THORNTON TOMASETTI
222 E. ERIE STREET
SUITE 360
MILWAUKEE, WI 53202

| # | DATE | DESCRIPTION |
|---|------|-------------|
|---|------|-------------|

| | |
|---------|----------------------------|
| PROJECT | 2024-02 |
| SCALE | 1" = 10' |
| PHASE | CONDITIONAL USE SUBMISSION |
| DATE | 4.12.2021 |



PROJECT:
PORTERS
301 5TH STREET
RACINE, WI 53403

OWNER:
CARDINAL CAPITAL
MANAGEMENT, INC.
901 SOUTH 70TH STREET
WEST ALLIS, WI 53214

ARCHITECT:
KARB + ASSOCIATES
ARCHITECTS
618 N. PLANKINTON AVE
SUITE 240
MILWAUKEE, WI 53202

CIVIL
ENGINEER:
PINNACLE ENGINEERING
GROUP
20725 WATERTOWN RD
SUITE 100
BROOKFIELD, WI 53186

STRUCTURAL
ENGINEER:
THORNTON TOMASETTI
222 E. ERIE STREET
SUITE 360
MILWAUKEE, WI 53202

| # | DATE | DESCRIPTION |
|---|-----------|-------------|
| 1 | 4.12.2021 | |

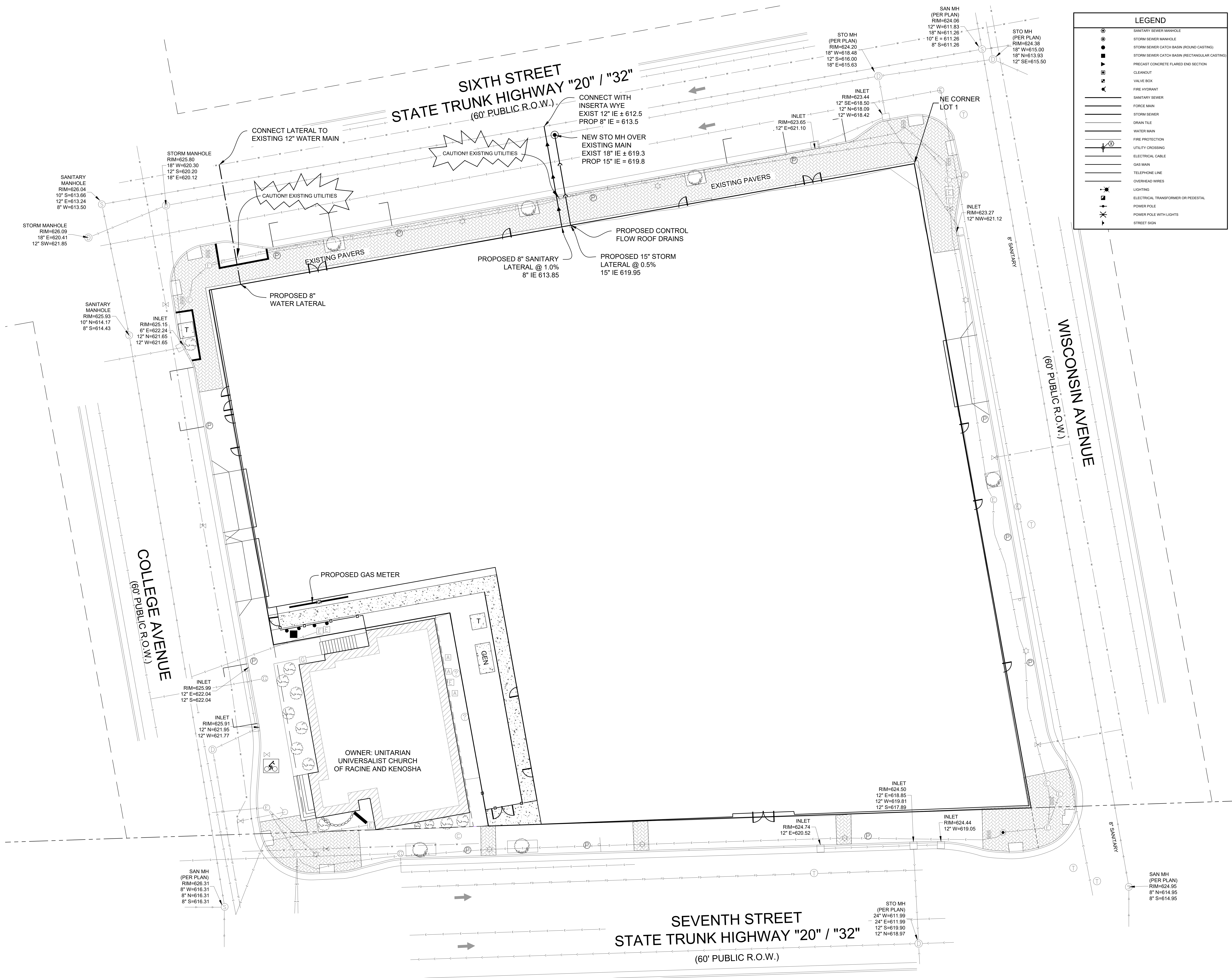
| | |
|---------|----------------------------|
| PROJECT | 2020-02 |
| SCALE | 1" = 10' |
| PHASE | CONDITIONAL USE SUBMISSION |
| DATE | 4.12.2021 |

SPOT GRADE PLAN

C102

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| LEGEND | |
|--------|---|
| | SANITARY SEWER MANHOLE |
| | STORM SEWER MANHOLE |
| | STORM SEWER CATCH BASIN (ROUND CASTING) |
| | STORM SEWER CATCH BASIN (RECTANGULAR CASTING) |
| | PRECAST CONCRETE FLARED END SECTION |
| | CLEANOUT |
| | VALVE BOX |
| | FIRE HYDRANT |
| | SANITARY SEWER |
| | FORCE MAIN |
| | STORM SEWER |
| | DRAIN TILE |
| | WATER MAIN |
| | FIRE PROTECTION |
| | UTILITY CROSSING |
| | ELECTRICAL CABLE |
| | GAS MAIN |
| | TELEPHONE LINE |
| | OVERHEAD WIRES |
| | LIGHTING |
| | ELECTRICAL TRANSFORMER OR PEDESTAL |
| | POWER POLE |
| | POWER POLE WITH LIGHTS |
| | STREET SIGN |



PROJECT:
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301 5TH STREET
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ARCHITECT:
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ARCHITECTS
618 N. PLANKINTON AVE
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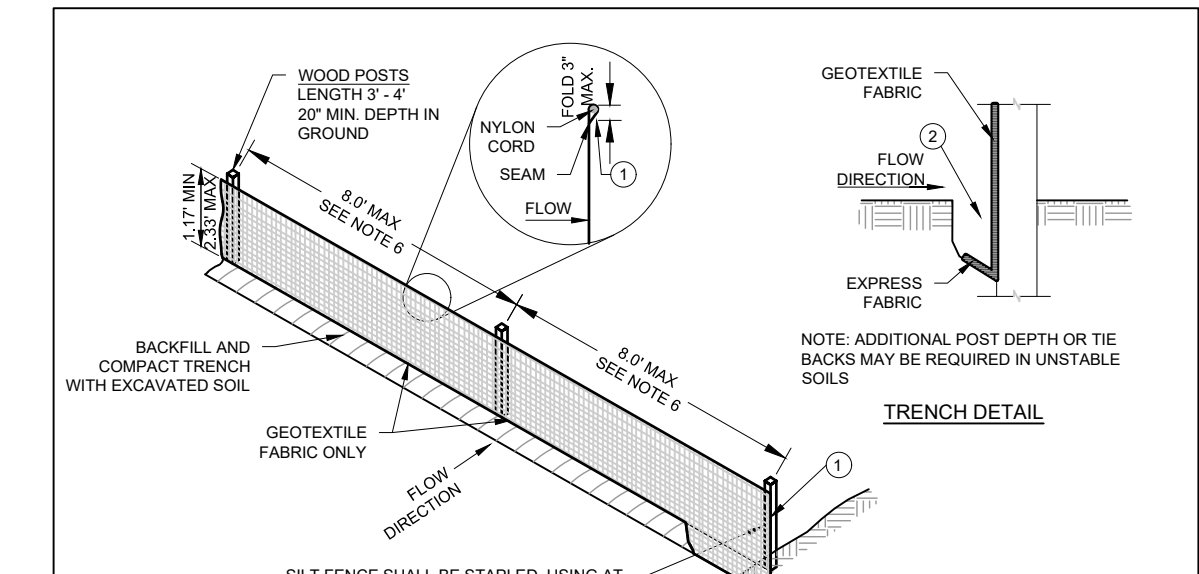
CIVIL
ENGINEER:
PINNACLE ENGINEERING
GROUP
20725 WATERTOWN RD
SUITE 100
BROOKFIELD, WI 53186

STRUCTURAL
ENGINEER:
THORNTON TOMASETTI
222 E. ERIE STREET
SUITE 360
MILWAUKEE, WI 53202

| # | DATE | DESCRIPTION |
|---|------|-------------|
|---|------|-------------|

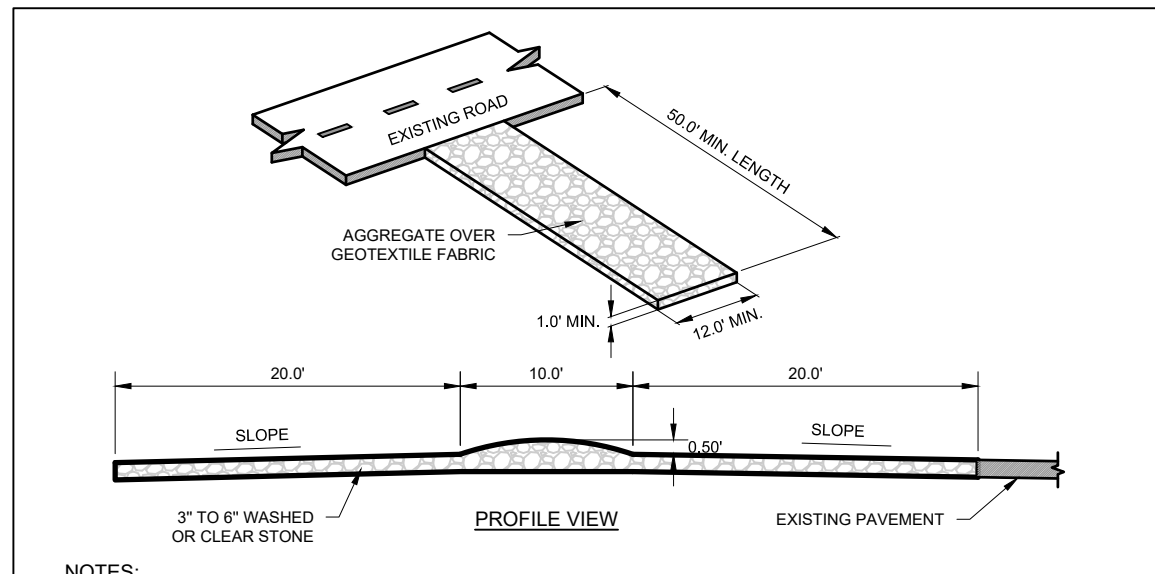
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|---------|----------------------------|
| PROJECT | 2024-02 |
| SCALE | 1" = 10' |
| PHASE | CONDITIONAL USE SUBMISSION |
| DATE | 4.12.2021 |

- FOR REVIEW - NOT FOR CONSTRUCTION -



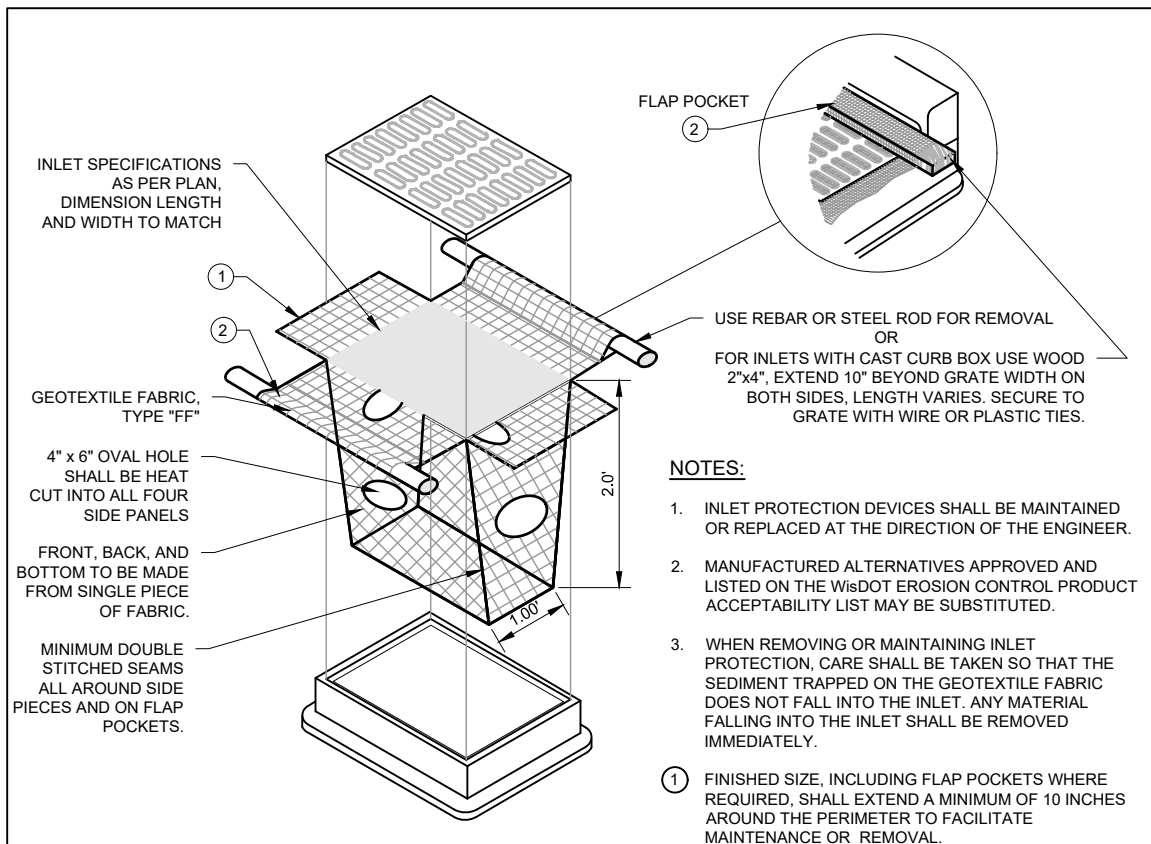
- NOTES:**
1. ALL SILT FENCE MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH W10M TECHNICAL STANDARD 1006.
 2. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATIONS AND GEOTEXTILE TABLE 1 OR 2, CLASS 1 WITH EQUIVALENT OPENING SIZE OF AT LEAST 36 FOR NONWOVEN AND 21 FOR WOVEN.
 3. SILT FENCE SHALL BE ANCHORED BY SPACING AT LEAST 4 INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR BACKFILL TRENCH ON THE UP-SLOPE SIDE OF THE FENCE. TRENCHES SHALL BE 12 INCHES WIDE AND 6 INCHES DEEP.
 4. FILL MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
 5. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2 INCHES x 1 1/2 INCHES OF DRY-DK OR HICKORY.
 6. SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE, WHERE APPLICABLE.
 7. POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8 FEET FOR WOVEN AND 3 FEET FOR NON-WOVEN).

SILT FENCE



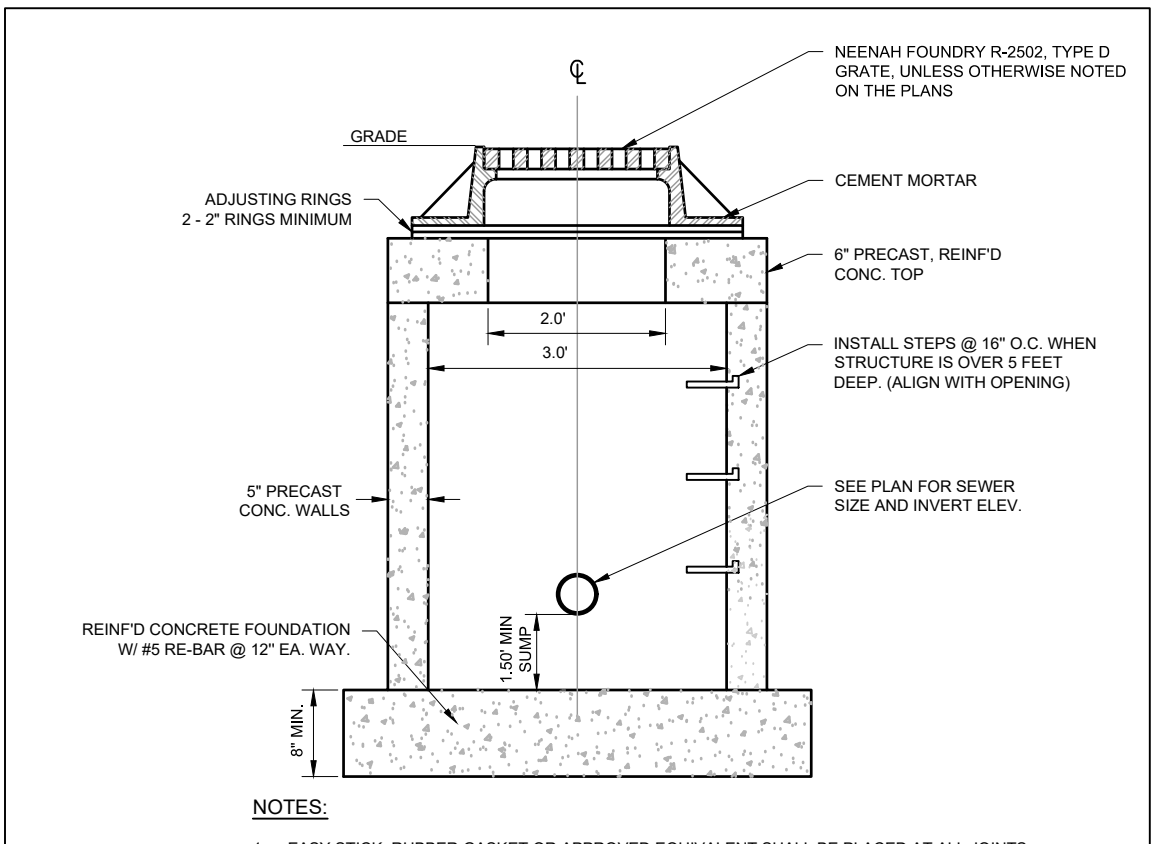
- NOTES:**
1. ALL TRACKING PAD MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH W10M TECHNICAL STANDARD 1007.
 2. TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. CONTRACTOR SHALL VERIFY LOCATION WITH OWNER.
 3. THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 4 INCH CLEAR OR WASHED STONE. ALL MATERIALS TO BE RETAINED ON A 1/2 INCH SIEVE.
 4. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK ON SITES WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PAD. THE PAD SHALL BE UNDERLAIN WITH GEOTEXTILE FABRIC WITH MEETS MATERIAL SPECIFICATIONS (SEE GEOTEXTILE TABLE 1 OR 2, CLASS 1 OR 2) TO PREVENT MIXTURE OF UNDERLYING SOILS INTO THE STONE LAYER.
 5. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE GORGE POINT MINIMUM WIDTH IS 12 FEET FOR ONE-WAY TRAFFIC AND 24 FEET FOR TWO-WAY TRAFFIC. WITHIN ADDITIONAL 10 FEET FOR TRAILER TRAFFIC, THE TRACKING PAD SHALL BE 12 INCHES WIDE.
 6. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT PLUGHING, AT THE END OF EACH WORKING DAY.
 7. TRACKING PADS SHALL AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 8. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

CONSTRUCTION ENTRANCE



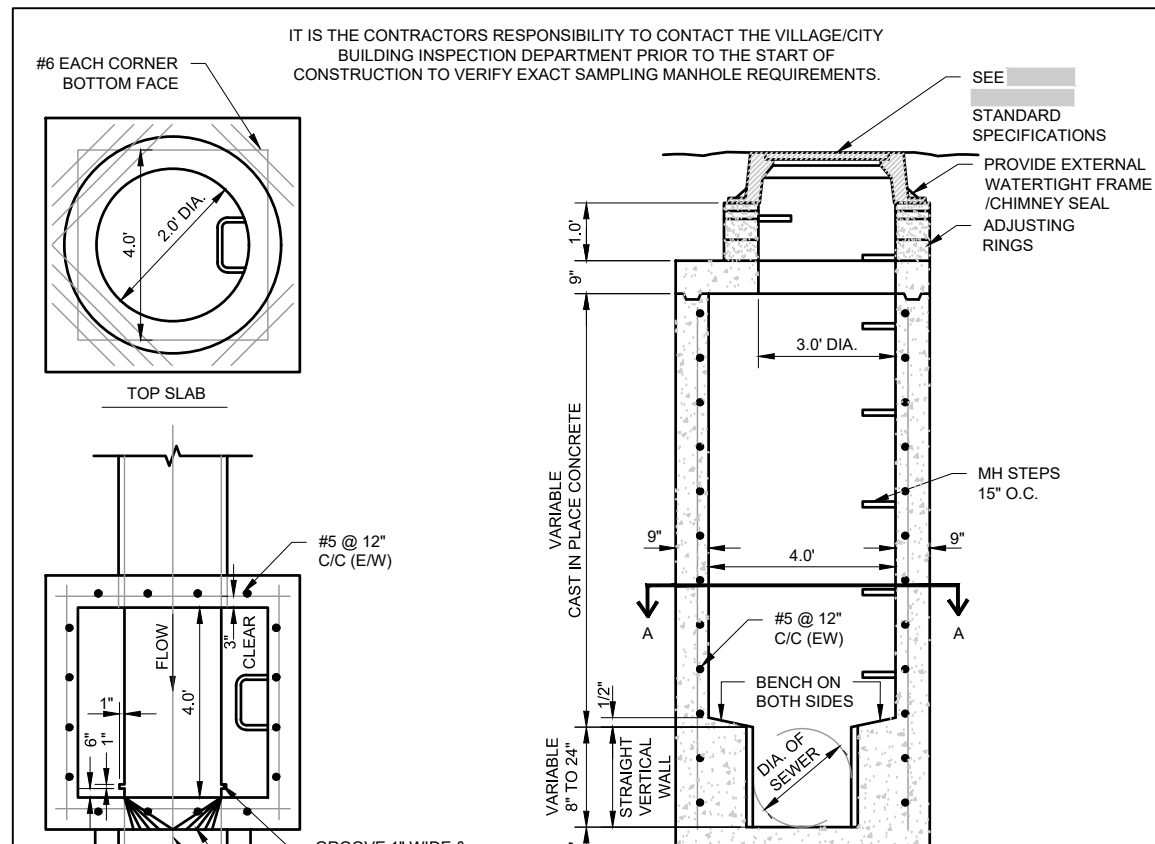
- INSTALLATION NOTES:**
1. DO NOT INSTALL INLET PROTECTION TYPE 301 IN INLETS SHALLOWER THAN 10 INCHES, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GUTTER.
 2. TRIM EXCESS FABRIC IN THE FLAP LINE TO WITHIN 3 INCHES OF THE GUTTER.
 3. THE INSTALLED BAG SHALL HAVE A MINIMUM 8 INCH CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE FLAP LINE. ON SLOPES, WHERE NECESSARY, THE CONTRACTOR SHALL USE THE BAG, LAPPED WITH 10\"/>

INLET PROTECTION



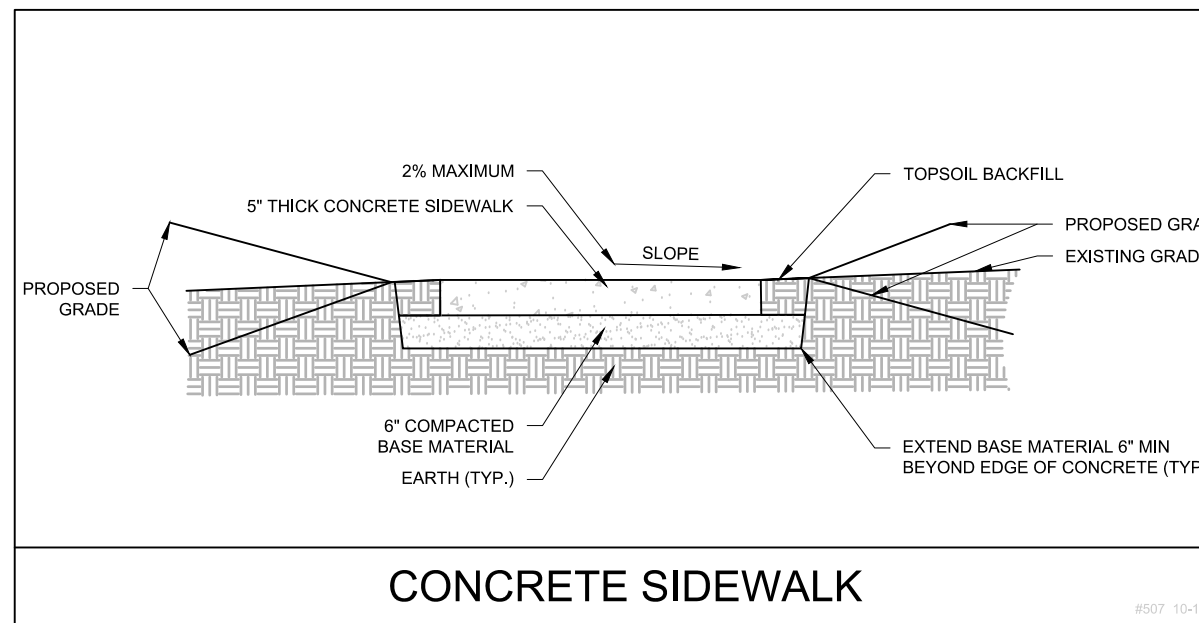
- NOTES:**
1. BARY TPOX NUMBER GASKET OR APPROVED EQUIVALENT SHALL BE PLACED AT ALL JOINTS BETWEEN ADJUSTING RINGS FOR STORM CATCH BASINS.
 2. THE FLAT TOP MAY BE USED IN LIEU OF THE TAPERED TOP WHEN FIELD CONDITIONS PROHIBIT USE OF A TAPERED TOP.
 3. STRUCTURE TO BE 42\"/>

CATCH BASIN

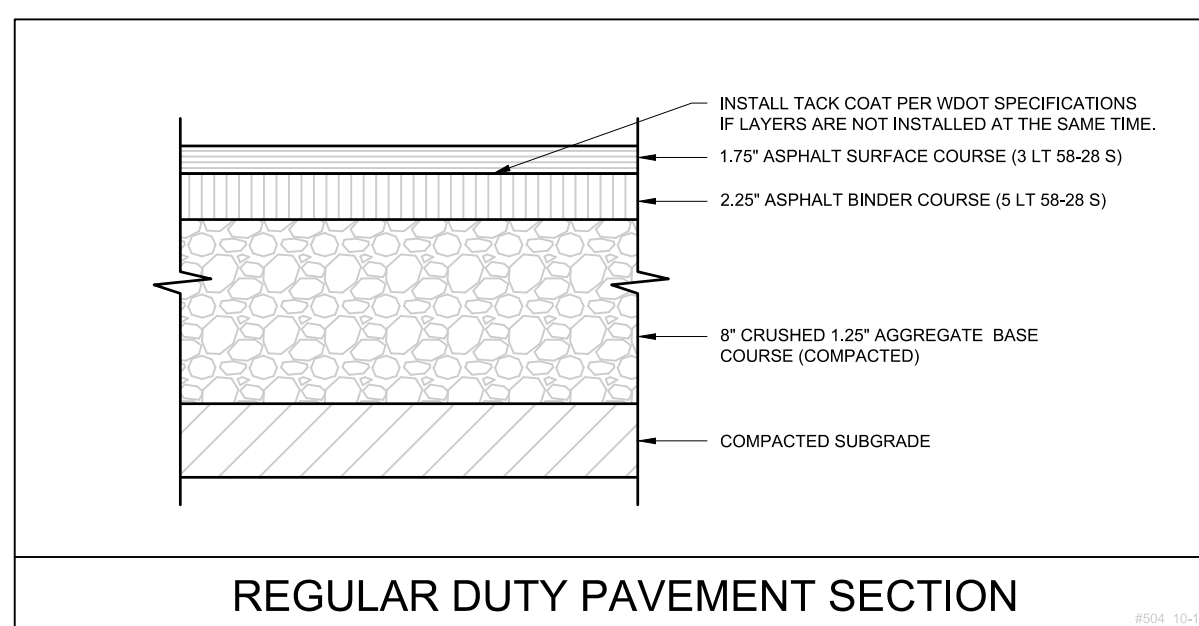


- NOTES:**
1. 4\"/>
 2. 4\"/>
 3. 4\"/>

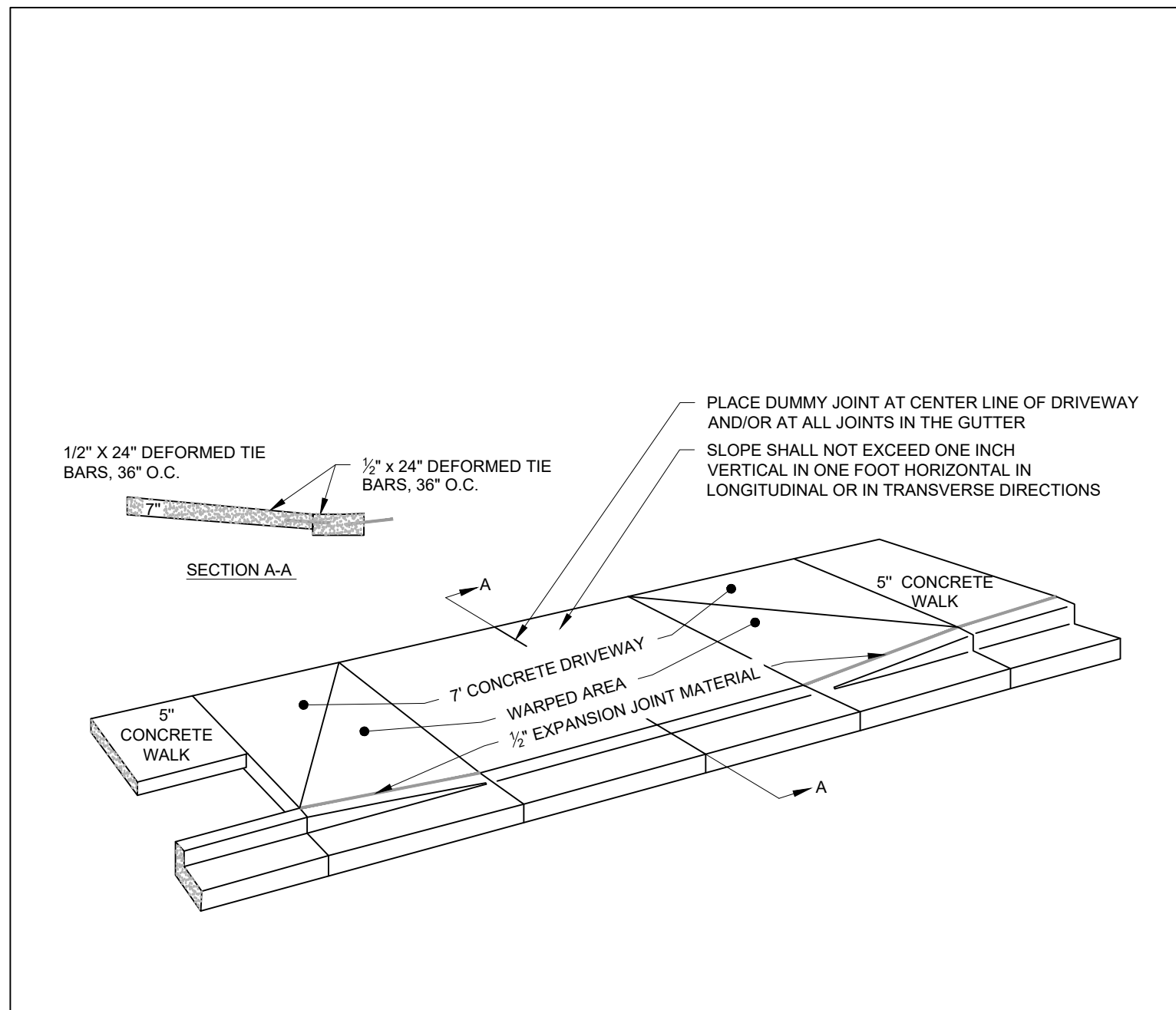
SAMPLING AND GAUGING MANHOLE



CONCRETE SIDEWALK



REGULAR DUTY PAVEMENT SECTION



CONCRETE DRIVE APRON

GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE, CONSTRUCTION, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER & WATER IN WISCONSIN, AND WISCONSIN ADMINISTRATIVE CODE, SPE 360, 362-363, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY- EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE PUBLIC PORTIONS OF THE WORK. THE OWNER SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK.
5. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
6. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
8. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE EROSION CONTROL PLAN FOR MORE DETAILS. INSPECTIONS SHALL BE MADE WEEKLY OR AFTER EVERY RAINFALL OF 0.5\"/>
9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR.
10. TRASH AND DEBRIS SHALL BE NOT BE ALLOWED TO ACCUMULATE ON THIS SITE AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK.
11. THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS.

SPECIFICATIONS FOR GRADING & EROSION CONTROL

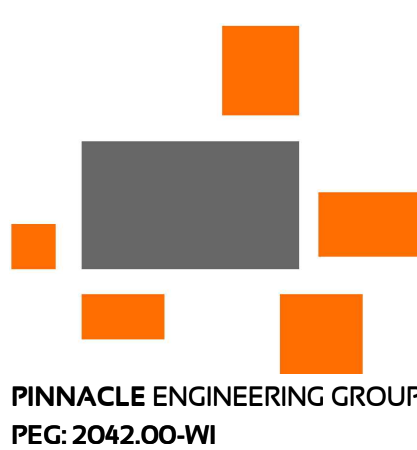
1. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH BODIES. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. THE CONTRACTOR SHALL NOTIFY OWNER OF THE NEED TO IMPORT OR HAUL OFF SOIL. ON-SITE LOCATIONS SUITABLE FOR BORROW OR FILL MAY BE PRESENT. COORDINATE WITH OWNER.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER.
3. SITE SHALL BE CLEARED TO THE LIMITS SHOWN ON THE PLANS. REMOVE VEGETATION FROM THE SITE. BURNING IS NOT PERMITTED. PROTECT TREES AND OTHER FEATURES FROM DAMAGE WITH FENCING. STOCKPILES SHALL NOT BE LOCATED CLOSER THAN 25 TO A DRAINAGE STRUCTURE OR FEATURE AND SHALL BE SURROUNDED WITH SILT FENCE.
4. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR VERIFYING COMPACTION AND FILL PLACEMENT IN THE FIELD. THE GEOTECHNICAL ENGINEER MAY SUPERCEDE THESE SPECIFICATIONS IF THERE IS GOOD CAUSE TO DO SO. AN EXPLANATION MUST BE SUBMITTED TO THE ENGINEER IN WRITING BEFORE ANY DEVIATIONS ARE MADE.
5. IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATIONS SHALL APPLY. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING. THE COMPACTED FILL SUBGRADE SHALL CONSIST OF AND SHALL BE UNDERLAIN BY SUITABLE BEARING MATERIALS FREE OF ALL ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIAL, AND INSPECTED AND APPROVED BY THE RESIDENT GEOTECHNICAL ENGINEER. PREPARATION OF THE SUBGRADE, AFTER STRIPPING, SHALL CONSIST OF: PROOF-ROLLING TO DETECT UNSTABLE AREAS THAT MIGHT BE UNDERCUT, AND COMPACTING THE SCARIFIED SURFACE TO THE SAME MINIMUM DENSITY INDICATED BELOW. THE COMPACTED FILL MATERIALS SHALL BE FREE OF ANY PARTICLES, ORGANIC OR FROZEN MATERIAL. FILL SHALL HAVE A MAXIMUM LIQUID LIMIT (ASTM D-293) AND PLASTICITY INDEX (ASTM D-293) OF 30 AND 10, RESPECTIVELY, UNLESS SPECIFICALLY TESTED AND FOUND TO HAVE LOW EXPANSIVE PROPERTIES AND APPROVED BY AN EXPERIENCED SOILS ENGINEER. THE TOP TWELVE (12) INCHES OF COMPACTED FILL SHOULD HAVE A MAXIMUM THREE (3) INCH PARTICLE DIAMETER AND ALL UNDERLYING COMPACTED FILL A MAXIMUM SIX (6) INCH PARTICLE DIAMETER. ALL FILL MATERIAL MUST BE TESTED AND APPROVED UNDER THE DIRECTION AND SUPERVISION OF AN EXPERIENCED SOILS ENGINEER PRIOR TO PLACEMENT. IF THE FILL IS TO PROVIDE NON-FROST SUSCEPTIBLE CHARACTERISTICS, IT MUST BE CLASSIFIED AS A CLEAN GW, GP, OR SP PER UNIFIED SOIL CLASSIFICATION SYSTEM (ASTM D-98). FOR STRUCTURAL FILL, THE DENSITY OF THE STRUCTURE, COMPACTED FILL AND SCARIFIED SUBGRADE SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-998) WITH THE EXCEPTION TO THE TOP 12 INCHES OF PAYMENT SUBGRADE WHICH SHALL A MINIMUM IN SITU DENSITY OF 100 PERCENT OF THE MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS. THE MOISTURE CONTENT OF COARSE SOIL SHALL BE MORE THAN 10 TO 13 PERCENT OF OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER. TAKING INTO CONSIDERATION THE TYPE OF MATERIALS AND COMPACTION EQUIPMENT BEING USED, THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTION MATERIAL THAT IS TOO MOIST TO PERMIT PROPER COMPACTION. MATERIAL MAY BE SPREAD ON THE FILL AND PERMITTED TO DRY, BULKING, HARROWING OR PULVERIZING MAY BE NECESSARY TO REDUCE THE MOISTURE CONTENT TO A SATISFACTORY VALUE, AFTER WHICH IT SHALL BE COMPACTED. THE FINISHED SUBGRADE AREAS OF THE SITE SHALL BE COMPACTED TO 100 PERCENT OF THE STANDARD PROCTOR (ASTM D-998) MAXIMUM DENSITY.
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
7. SUBGRADE TOLERANCES ARE +/- 1\"/>
8. TOPSOIL SHALL BE FREE OF DELETERIOUS MATERIALS, ROOTS, OLD VEGETATION, ROCKS OVER 2\"/>
9. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEViate WATER PONDING. ANY DEWATERING SHALL NOT GO DIRECTLY TO STREAMS, CREEKS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WITHOUT BEING TREATED FIRST. A DIRT BAG OR OTHER DEWATERING TREATMENT DEVICE MAY BE USED TO CAPTURE SEDIMENT FROM THE PUMPED WATER.
10. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES. IN THE EVENT THIS OCCURS, THE ROADWAYS SHALL BE POWER SWEEP IMMEDIATELY AND ALL SEDIMENT REMOVED FROM DOWNSCREEN FACILITIES.

SPECIFICATIONS FOR PRIVATE UTILITIES

1. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND EVALUATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
2. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORDED CONNECTIONS. CONNECTIONS TO WATERMAIN SHALL BE WET TAPED WITH A STAINLESS STEEL TAPPING SLEEVE.
3. PROPOSED SANITARY SEWER AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. THE EXACT LOCATION OF ALL DOWN SPOUTS CONNECTIONS SHALL BE PER THE ARCHITECTURAL PLANS.
4. CONTRACTOR SHALL NOT SHUT OFF WATER OR PLUS SANITARY SEWER IN MUNICIPAL LINES WITHOUT PRIOR APPROVAL.
5. MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS: STORM SEWER PIPE 48\"/>
6. MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS: SANITARY SEWER SHALL BE PVC, ASTM D-3034, SDR-26, WITH RUBBER GASKETED JOINTS, CONFORMING TO ASTM D-3212. TRENCH SECTIONS SHALL BE CLASS 1B BEDDING (PER STANDARD SPECIFICATIONS). CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTIONS SHALL BE MADE WITH A MINIMUM OF 6\"/>
7. MATERIALS FOR WATER SERVICES AND PRIVATE HYDRANTS SHALL BE AS FOLLOWS: WATER SERVICES SHALL BE PVC, HDPE, OR DI AS ALLOWED BY MUNICIPAL CODE. PVC SHALL BE AWWA C-100, DI SHALL BE AWWA C-151, CLASS 52 (OR AS REQUIRED BY LOCAL CODE). TRENCH SECTIONS SHALL BE CLASS 1B BEDDING (PER STANDARD SPECIFICATIONS). CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTION SHALL BE MADE WITH A WET TAP, CORPORATE STOP AND VALVE BOX PER MUNICIPAL STANDARDS. A MINIMUM OF 8\"/>
8. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER A WITHIN 4 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
9. TRACER WIRE, NO. 8 SINGLE STRAND COPPER) AND WARNING TAPE SHALL BE INSTALLED ON ALL UTILITIES IN ACCORDANCE WITH THE LOCAL AND STATE CODES. TRACER WIRE SHALL TERMINATE IN A VALVE/CO TERMINAL BOX AT EACH END.
10. MANHOLE TESTING ON SANITARY LINES AND PRESSURE TESTING ON WATERMAIN MAY BE REQUIRED BY THE OWNER OR MUNICIPALITY.
11. UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.

SPECIFICATIONS FOR PAVING

1. AGGREGATES USED IN THE CRUSHED STONE BASE SHALL CONFORM TO THE GRADATION REQUIREMENTS SECTIONS 301.2 AND 306.2.2 OF THE STANDARD SPECIFICATIONS. THICKNESS SHALL BE PER THE DETAIL ON THE PLANS. BASE SHALL BE 1 1/2 INCH DIAMETER LIMESTONE TRAFFIC BOND AGGREGATE BASE COURSE UNLESS NOTED OTHERWISE. SUBSTITUTION AND/OR RECYCLED MATERIALS MAY BE ALLOWED WITH APPROVAL FROM THE OWNER.
2. SUBGRADE SHALL BE PROOFROLLED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STONE BASE. EXCAVATE UNSUITABLE AREAS AND REPLACE WITH GREENER RUN STONE AND RECOMPACT. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL SPECIFICATIONS.
3. EXISTING PAVEMENT SHALL BE SAWCUT IN NEAT STRAIGHT LINES TO FULL DEPTH AT ANY POINT WHERE EXISTING PAVEMENT IS REMOVED. CURB AND WALK SHALL BE REMOVED TO THE NEAREST JOINT. REMOVED PAVEMENT SHALL BE REPLACED WITH THE SAME SECTION AS EXISTING. MUNICIPAL STANDARDS MAY REQUIRE ADDITIONAL WORK.
4. ASPHALT FOR PARKING AREAS AND THE PRIVATE ROAD SHALL BE PER THE DETAILS MATERIALS AND PLACEMENT SHALL CONFORM TO THE DOT STANDARD SPECIFICATIONS, SECTION 450 AND 460. LT 58-28 S IS REQUIRED UNLESS NOTED OTHERWISE. A COMMERCIAL GRADE MIX MAY BE SUBSTITUTED ONLY WITH APPROVAL FROM THE OWNER.
5. CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL CONFORM TO SECTION 415 OF THE STANDARD SPECIFICATIONS. GRADE A, ASTM C-94, 6 BAG MIX, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI. JOINTING SHALL BE PER SECTION 415.3.1, 602.3.2.2, AND 601.3.4.4. OF THE STANDARD SPECIFICATIONS. CONSTRUCTION JOINTS SHALL BE SPACED NOT FURTHER THAN 12\"/>



PINNACLE ENGINEERING GROUP
PEC-2042.00-WI

PROJECT:
PORTERS
301 5TH STREET
RACINE, WI 53403

OWNER:
CARDINAL CAPITAL
MANAGEMENT, INC.
901 SOUTH 70TH STREET
WEST ALLIS, WI 53214

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
616 N. PLANKINTOWN AVE
SUITE 240
MILWAUKEE, WI 53202

CIVIL ENGINEER:
PINNACLE ENGINEERING
GROUP
20725 WATERTOWN RD
SUITE 100
BROOKFIELD, WI 53186

STRUCTURAL ENGINEER:
THORNTON TOMASETTI
222 E. ERIE STREET
SUITE 360
MILWAUKEE, WI 53202

| # | DATE | DESCRIPTION |
|---|------|-------------|
|---|------|-------------|

| | |
|---------|----------------------------|
| PROJECT | 2024.02 |
| SCALE | N.T.S. |
| PHASE | CONDITIONAL USE SUBMISSION |
| DATE | 4.12.2021 |

DETAILS

C104

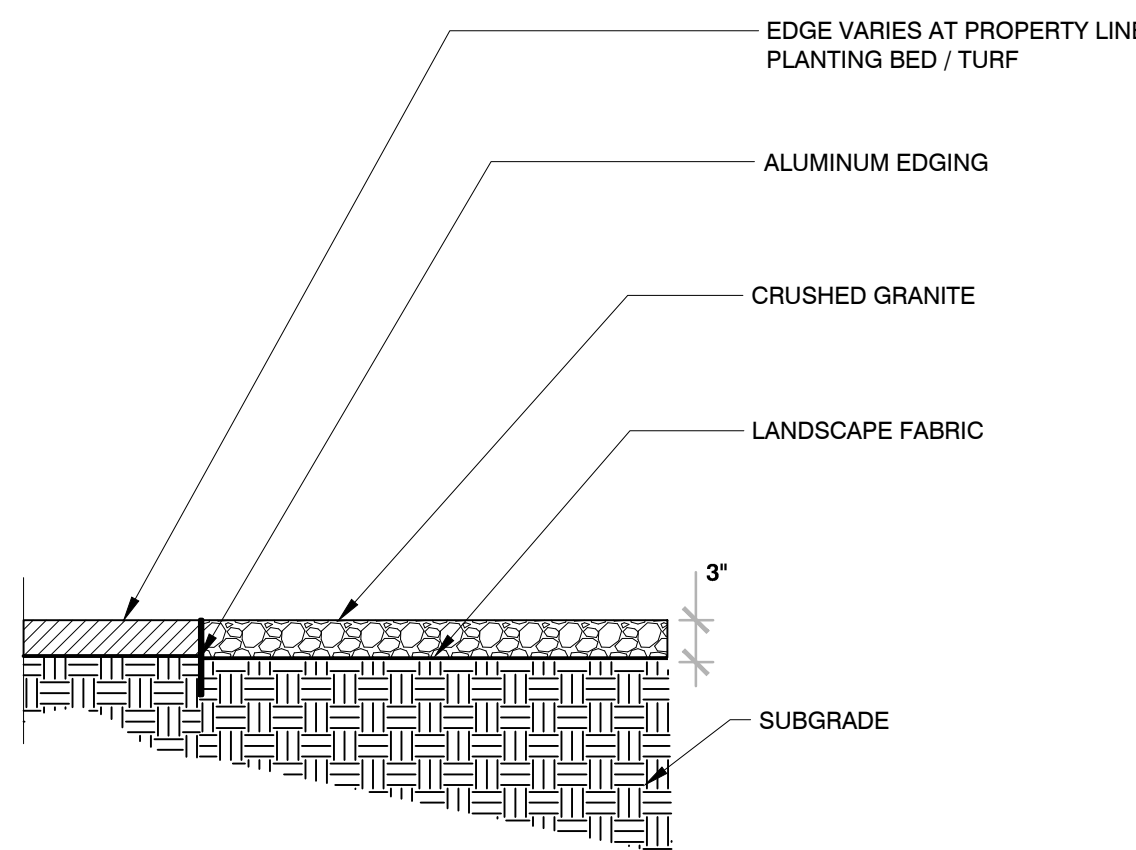
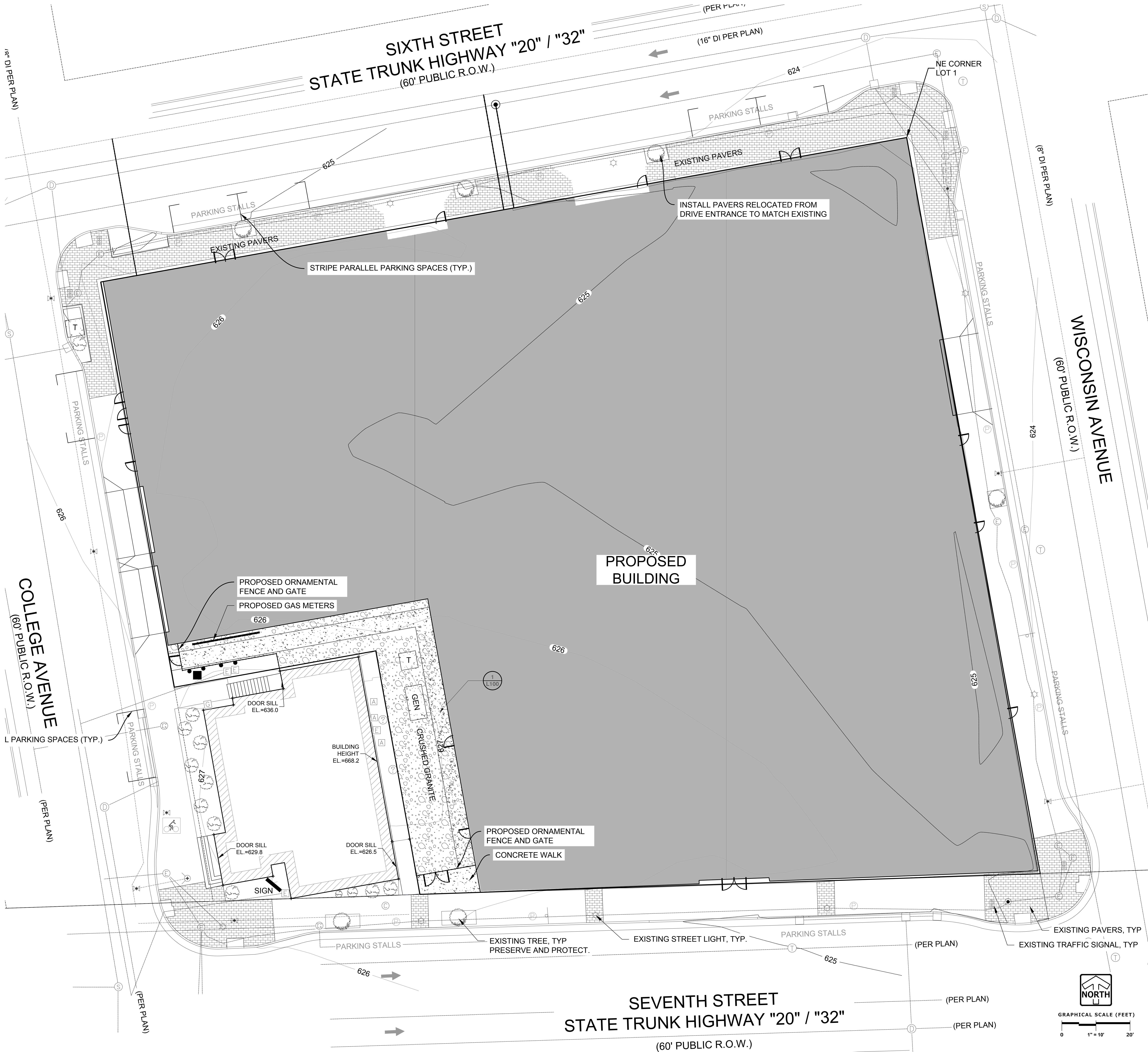
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REFERENCE NOTES SCHEDULE

| SYMBOL | AGGREGATE SURFACE DESCRIPTION | QTY | DETAIL |
|--------|----------------------------------|----------|--------|
| 32-15 | CRUSHED GRANITE SURFACING | 14.24 cy | 1/L100 |
| SYMBOL | PLANTING ACCESSORIES DESCRIPTION | QTY | DETAIL |
| 32-94 | ALUMINUM LANDSCAPE EDGING | 129 lf | 1/L100 |

NOTES

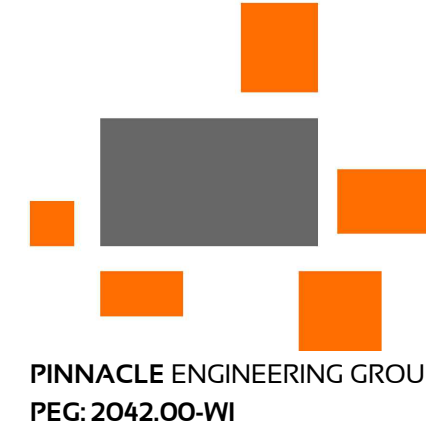
- AREAS TO RECEIVE CRUSHED GRANITE SHALL RECEIVE LANDSCAPE FABRIC WITH 3" DEEP CRUSHED GRANITE ABOVE. REFER TO DETAIL (1/L-1).
- CRUSHED GRANITE COLOR TO BE DETERMINED BY OWNER.
- LANDSCAPE FABRIC SHALL BE INSTALLED TO COVER THE ENTIRE AREA TO RECEIVE CRUSHED GRANITE WITH EACH SEAM OVERLAPPING A MINIMUM OF 6".
- CRUSHED GRANITE INSTALLED ALONG PROPERTY LINE SHALL BE RETAINED USING COMMERCIAL GRADE ALUMINUM EDGING INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
- CONTRACTOR TO PROVIDE LANDSCAPE FABRIC, CRUSHED GRANITE, AND EDGING SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.



1 CRUSHED GRANITE SURFACE

3/4\"/>

32 1543.02



PROJECT:
PORTERS
301 6TH STREET
RACINE, WI 53403

OWNER:
CARDINAL CAPITAL
MANAGEMENT, INC.
901 SOUTH 70TH STREET
WEST ALLIS, WI 53214

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
618 N. PLANKINTON AVE
SUITE 240
MILWAUKEE, WI 53202

CIVIL
ENGINEER:
PINNACLE ENGINEERING
GROUP
20725 WATERTOWN RD
SUITE 100
BROOKFIELD, WI 53186

STRUCTURAL
ENGINEER:
THORNTON TOMASETTI
222 E. ERIE STREET
SUITE 360
MILWAUKEE, WI 53202

| # | DATE | DESCRIPTION |
|---|------|-------------|
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|---------|----------------------------|
| PROJECT | 2024-02 |
| SCALE | 1" = 10' |
| PHASE | CONDITIONAL USE SUBMISSION |
| DATE | 4.12.2021 |

PRELIMINARY
LANDSCAPE PLAN

L100

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- FOR REVIEW - NOT FOR CONSTRUCTION -



To: City of Racine
Attn: Pete Eggert

From: Aaron Koch, P.E.
20725 Watertown Rd | Suite 100
Brookfield, WI 53186

Date: 04-12-2021

Subject: Porter's Development

Dear Mr. Eggert,

The proposed Porter's development is a commercial/retail and parking structure being redeveloped on an existing vacant, impervious lot located at 301 6th Street, Racine, WI 53403. Water quantity for the development is intended to be controlled through a series of six controlled flow roof drains within the 25,000-sf upper blue roof in order to reduce the overall site runoff rates.

The proposed development is exempt from WDNR stormwater quality requirements due to the project being a redevelopment of an existing site.

Per the City of Racine stormwater requirements a redevelopment structure remains subject to a water quality TSS removal of 40%.

The proposed development encompasses nearly the entirety of the existing impervious lot and is designed to provide an approximately 9,500-sf green roof for water quality in order to reduce the suspended solids from the tributary roof areas that will leave the site eventually through the storm sewer system.

Runoff Water Quantity

Through the use of six controlled flow roof drains that would be placed on the buildings approximately 25,000-sf impervious blue roof we believe that we could reduce the 100-Year runoff between existing conditions and the blue roof from **5-cfs** to **2.5-cfs**.

Runoff Water Quality

Post-development water quality will be obtained within the green roof's 6-in of engineered soil media. The green roof features a 6-in soil media and is released through 4-in controlled flow roof drains.

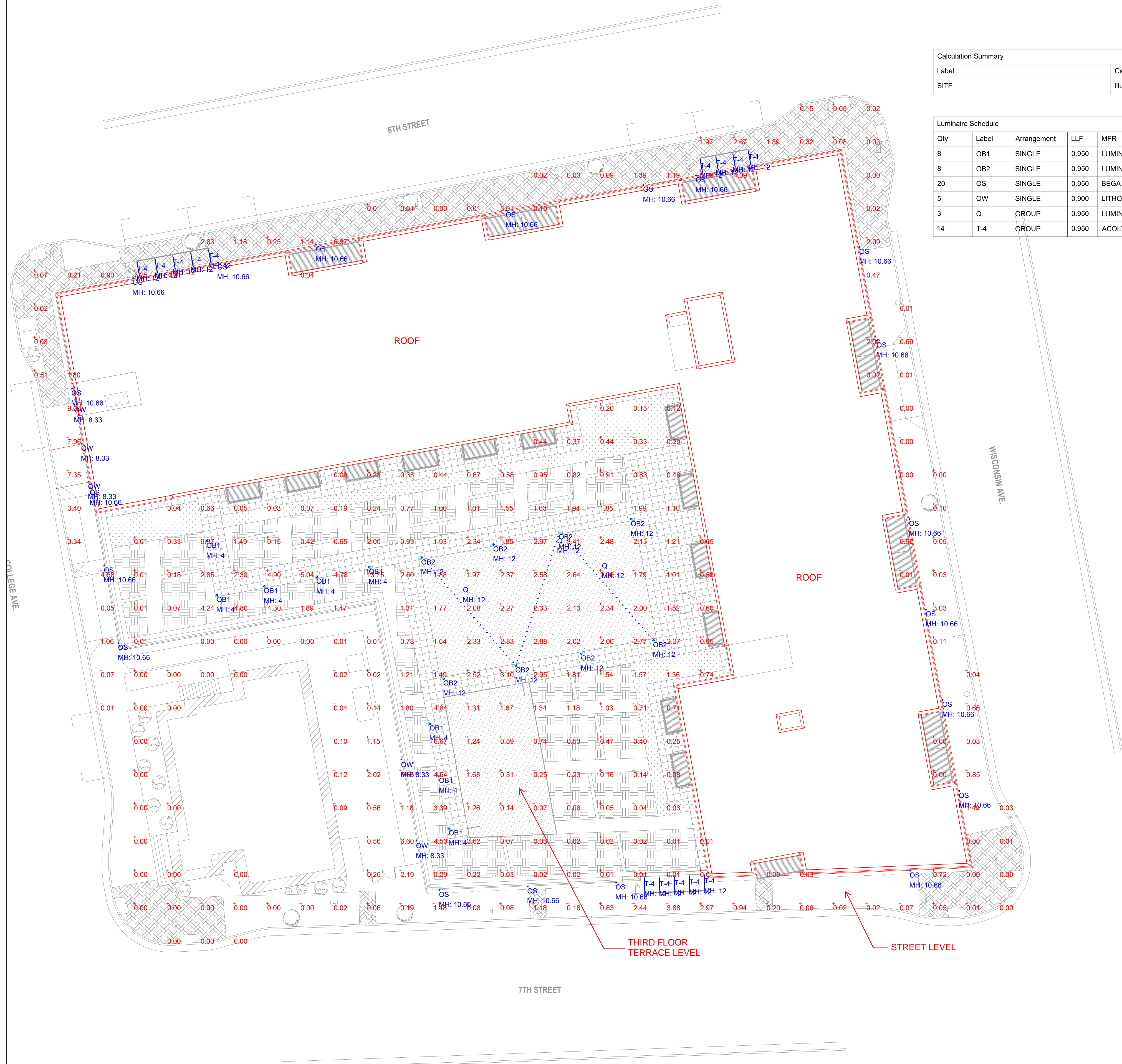
Water Quality Summary

| Area | Pounds of TSS Generated (No Controls) | Pounds of TSS Remaining (w/ Controls) | Percent Removal |
|--------------------|---|---|--------------------|
| Area to Green Roof | 82.8 | 64.2 | 22% |

The green roof will remove TSS such that the site will achieve 22% of the 40% requirement by City of Racine.

We believe that the green roof will provide beneficial filtration and water quantity practices that will reduce the TSS impact on the local storm system compared to existing conditions. Additionally the water quantity reduction from the proposed blue roof will exceed the water quantity requirements.

A copy of the model data can be provided electronically upon request.



| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|------|-------|------|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| SITE | Illuminance | Fc | 1.17 | 13.75 | 0.00 | N.A. | N.A. |

| Luminaire Schedule | | | | | | | |
|--------------------|-------|-------------|-------|----------|-------------------------------|------------|-------------|
| Qty | Label | Arrangement | LLF | MFR | Description | Lum. Watts | Total Watts |
| 8 | OB1 | SINGLE | 0.950 | LUMINS | LQ627-L1L10-R5 | 12.1 | 96.8 |
| 8 | OB2 | SINGLE | 0.950 | LUMINS | LQ641-L1L15-R5-LQP693 | 16.4 | 131.2 |
| 20 | OS | SINGLE | 0.950 | BEGA | 33580- xxk | 6 | 120 |
| 5 | OW | SINGLE | 0.900 | LITHONIA | WDGE1 LED P1 xxK 80CRI VW | 10.0002 | 50.001 |
| 3 | Q | GROUP | 0.950 | LUMINS | LSL-x-18-S-xxK (43FT STRAND) | N.A. | 42.84001 |
| 14 | T-4 | GROUP | 0.950 | ACOLYTE | RB-90-SWS265-0.7540 - 4FT | N.A. | 42 |

NOTE:
1. SITE LIGHTING CALCULATIONS DO NOT
INCLUDE EXISTING CITY STREET LIGHTING.
2. 3RD FLOOR TERRACE LIGHTING
PROVIDED FOR REFERENCE.



| COMMENTS | |
|-----------|------|
| # | DATE |
| REVISIONS | |

| | | |
|---------------|---------------------|-----------------------|
| DRAWN BY : AD | DATE : APR 29, 2021 | SCALE : 1/16" = 1'-0" |
|---------------|---------------------|-----------------------|

| | | |
|---------|-------------------|-----------------|
| PORTERS | RACINE, WISCONSIN | LIGHTING LAYOUT |
|---------|-------------------|-----------------|