



Application for Conditional Use Review

Applicant Name: Breakwater Racine, LLC

Address: 122 W Washington Ave, Suite 350 City: Madison

State: WI Zip: 53703

Telephone: (608) 255-5175 Cell Phone: _____

Email: _____

Agent Name: Eric Olson, AICP

Address: 122 W Washington Ave, Suite 350 City: Madison

State: WI Zip: 53703

Telephone: (608) 255-5175 Cell Phone: _____

Email: eolson@hovdeproperties.com

Property Address (Es): 233 Lake Avenue

Current Zoning: B-4 Central Business

Current/Most Recent Property Use: Vacant

Proposed Use: Residential





The application will be evaluated using the standards of Sec. 114-154 of the Municipal Code (below). Please use the space to justify and explain how your proposal addresses these conditions; use an additional sheet if necessary.

- (1) The establishment, maintenance, or operation of the conditional use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare;

See Attached Sheet

- (2) The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

See Attached Sheet

- (3) The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;

See Attached Sheet

- (4) Adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided;

See Attached Sheet

- (5) Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;

See Attached Sheet

- (6) The proposed conditional use is not contrary to the objectives of the current land use plan for the city; and

See Attached Sheet

- (7) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the plan commission.

See Attached Sheet





If the required supplemental materials, which constitute a completed application, are not submitted, the application will not be processed.

Required Submittal Format

1. An electronic submission via email/USB drive/CD/Download link; and
2. One (1) paper copy, no larger than 11" x 17" size.

Required Submittal Item	Applicant Submitted	City Received
1. Conditional Use Review Application		
2. Written description of project, including: a. Hours of operation b. Anticipated delivery schedule c. Maintenance plan d. General use of the building and lot	<input type="checkbox"/>	
3. Site Plan (drawn to scale), including: a. Fully dimensioned property boundary b. All buildings (existing and proposed) c. Setbacks from property lines d. Identification as to whether all elements are "Existing" or "Proposed" e. Dimensioned parking spaces and drive aisle layout f. Trash enclosure location and materials g. Loading spaces h. Fire hydrant locations i. Location of signage, with setbacks	<input type="checkbox"/>	
4. Zoning Analysis Table a. Land area (in acres and square feet) b. Building area (in square feet) c. Setbacks (required yards in feet) d. Floor Area Ratio (building area divided by lot area) e. Lot Coverage (building footprint divided by lot area) f. Height of all buildings and structures g. Percentage of greenspace (landscaped areas divided by lot area) h. Parking spaces	<input type="checkbox"/>	
5. Landscape Plan a. Bufferyards b. Parking Areas c. Screening and fencing locations d. Plant lists including the following: Latin and Common Names, Number of each planting material, and Size at planting.	<input type="checkbox"/>	





Required Submittal Item	Applicant Submitted	City Received
6. Lighting Plan a. Location of light fixtures b. A cut sheet of light fixtures with indication of cut-offs or shielding c. Illumination diagram indicating intensity of lighting on the property.	<input type="checkbox"/>	
7. Floor Plan a. Preliminary floor plan layout of all buildings/structures b. Labels for the type of use of the area c. Labels for square footage of the area	<input type="checkbox"/>	
8. Engineering Plan a. Stormwater Plan (Drainage pattern, flow, detention) b. Existing and proposed roadway and access configurations c. Cross access	<input type="checkbox"/>	
9. Signage Plan a. dimensioned color elevations of signage b. A diagram showing the location of the proposed signage	<input type="checkbox"/>	
10. Building/site elevations (if new building or exterior changes planned) a. Building elevations showing all four sides of the buildings in color b. Elevation of trash enclosure area	<input type="checkbox"/>	
11. Building Material Samples (if making exterior changes)	<input type="checkbox"/>	
12. Review Fee	<input type="checkbox"/>	

Acknowledgement and authorization signatures

A conditional use is not like a building permit; applying does not mean it will be approved.

The approval may contain conditions related to the improvement of the site which must be met prior to the issuance of a building occupancy permit. Conditions related to the operational aspect(s) of the business must be complied with at all times. That, in the event site improvement work required by ordinance cannot be completed prior to desired occupancy, a financial assurance, at 100% of the improvement estimate, guaranteeing completion of the required improvements must be placed on file with the City of Racine. Estimates and Assurance documents are subject to the review and final approval by the City. Improvements may include but are not limited to landscaping, fencing, lighting, pavement surfacing and sealing, dumpster enclosures, and exterior building improvements;

The signature(s) hereby certify that the statements made by myself and constituting part of this application are true and correct. I am fully aware that any misrepresentation of any information on this application may be grounds for denial of this application.

Owner Signature (acknowledgement and authorization): _____ Date: _____

Applicant Signature (acknowledgement): By Breakwater Racine, LLC
Randall J. Guenther, Authorized Representative Date: 11/3/21
me





Application for Conditional Use Review Breakwater Racine, LLC – 233 Lake Avenue

The application will be evaluated using the standards of Sec. 114-154 of the Municipal Code (below). Please use the space to justify and explain how your proposal addresses these conditions; use an additional sheet if necessary.

- (1) The establishment, maintenance, or operation of the conditional use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare;**

The proposed conditional use will not be detrimental, and will rather enhance the public health, safety, morals, comfort, or general welfare. It will result in the redevelopment of an existing vacant brownfield site in downtown Racine, which will result in over 200 new residences, green space, new jobs in construction and property management, improved connectivity, and an enhanced remedial cap on the former manufactured gas plant site.

- (2) The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;**

The proposed conditional use will enhance the use and enjoyment properties downtown, as well as likely result in a positive impact on property values within the neighborhood. The site is currently a vacant brownfield site, and this proposal will result in a large influx of quality housing units, green space, and other improvements that would be considered value-enhancing to downtown Racine.

- (3) The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;**

The proposed conditional use will not impede the development and improvement of the surrounding properties and may in fact more effectively facilitate their future development. East-west connectivity will be improved on the site leading down to the Lake Michigan Pathway, more residents will added to the area, and infrastructure will improved on and around the site.

- (4) Adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided;**

Adequate infrastructure will be provided by utilizing both existing and new infrastructure to serve the development. The proposed conditional use will also result in greater green space on the site, improved pedestrian access, better delineated access to the existing WE Energies control building on site, and multiple points of vehicular access.

- (5) Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;**

The site and building will be accessible along multiple frontages for pedestrians, bicyclists, and automobiles, which will minimize traffic congestion in the public streets. The proposed conditional use utilizes multiple access points, such as garage/parking lot access along both Gaslight Drive and Gaslight Circle. The design also bridges an approximately 13-foot elevation difference between Lake Avenue and the other streets to the north and east, which will give non-vehicular users other points of site access beyond the public streets.

- (6) The proposed conditional use is not contrary to the objectives of the current land use plan for the city; and**

The proposed conditional use was crafted in a manner that carries the values and guiding principles established in the City's downtown plan. The project:



- *Utilizes Special Downtown Natural Resource Features*, as it connects the downtown with the Lakefront and provide opportunities for increased recreational uses adjacent to these areas based on the new greenspace
- *Increases Residential Development*, with over 200 units of high-quality rental housing being added to the neighborhood
- *Develops a Pedestrian-Friendly Downtown*, through the construction of a Lakefront Pathway connection crossing the site, bridging elevation different, and providing off-street access to the waterfront and marina
- *Serves as a Catalytic Project*, through public-private collaboration between the CDA and the developer, this conditional use is resulting in the redevelopment of a major brownfield site that covers an entire city block in downtown Racine, sets an example for future development, and increases the downtown population needed to support existing and future projects in the neighborhood
- *Sets a High Standard for Quality and Sustainable Living*, as our project is a large-scale brownfield redevelopment, will incorporate solar energy and electric charging infrastructure that aligns with the City's "Smart City" initiative, and upon completion will meet LEED Silver standards.

(7) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the plan commission.

The proposed conditional use shall conform to the applicable regulations of the B-4 Central Business District zoning district except as such regulations may be modified pursuant to the recommendations of the City's Plan Commission.



Application for Conditional Use Review Breakwater Racine, LLC – 233 Lake Avenue

PROJECT DESCRIPTION

Breakwater 233 is a proposed six-story, 202-unit multifamily development anchoring the corner of Lake Avenue and Gas Light Drive and includes an active greenway connection from Lake Avenue to the harbor and Lake Michigan Pathway.

The proposed multifamily portion of the project utilizes a concrete podium to negotiate substantial grade change at the site and locate the building's primary entry at the elevation of the intersection of Lake Avenue and 3rd Street. Included within the podium are 110+ parking stalls, resident storage opportunities, vehicle charging stations, bicycle parking and mechanical space.

At the first floor, the main lobby's lounge opens to a patio space overlooking the green connection to the south with a fitness center and leasing center facing Lake Avenue. Dwelling units complete the first-floor plan and stack through the 2nd, 3rd, 4th and 5th floors. At the 5th floor, a resident community space includes a mix of quiet workspaces and social activity zones opening to a large resident terrace overlooking the lake.

The proposed site design locates an additional 89 surface parking stalls for residents within the "U" of the building, opening up to access on Gas Light Circle. At the south edge of the parking, a solar canopy shelters parking and provides additional visual separation from the green connection to the south. Further framing that separation is a precast landscape wall extending from the building and provide art opportunities flanking the greenspace.

The greenspace is envisioned as an extension of pedestrian activity from 3rd Street, as two parallel paths run east-to-west down the slope of the greenspace, creating areas of greenspace and plantings to manage stormwater and define various activity zones.



CONDITIONAL USE PERMIT REVIEW

BREAKWATER 233 APARTMENTS

233 LAKE AVENUE
RACINE, WI 53403

KAHLER SLATER PROJECT: 218102
11/03/21



NOT FOR
CONSTRUCTION

Revisions

CONDITIONAL USE PERMIT
REVIEW

SCOPE DOCUMENTS

Drawing Date
11/03/21

BREAKWATER 233
APARTMENTS

233 LAKE AVENUE
RACINE, WI 53403

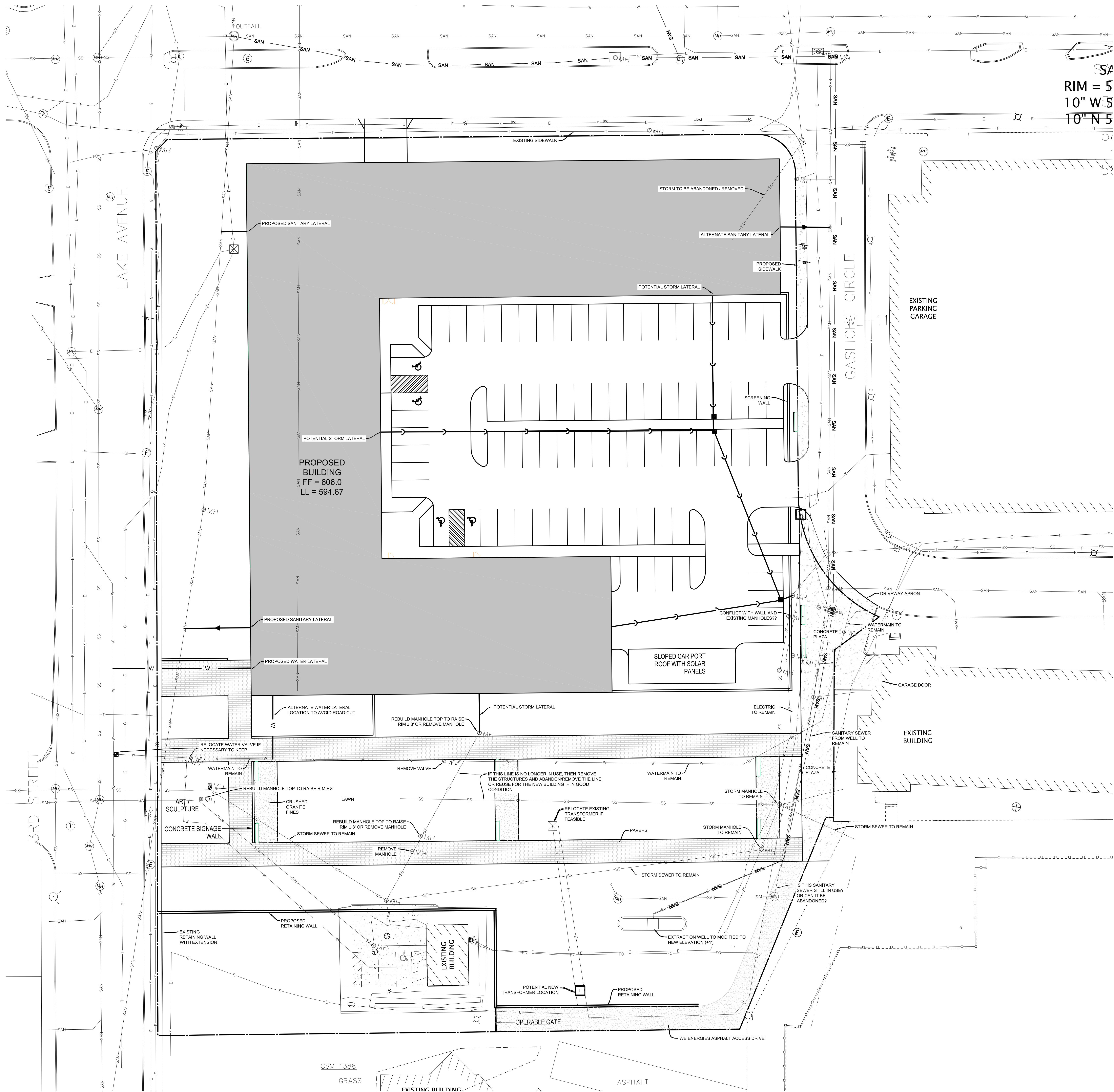
Project No. 218102
HOVDE PROPERTIES
218102

Sheet Title

COVER SHEET

ARCHITECTURAL SHEET INDEX	
Sheet Number	Sheet Name
A100	ARCHITECTURAL SITE PLAN
A110	LOWER LEVEL PLAN
A111	FIRST FLOOR PLAN
A112	SECOND FLOOR PLAN
A115	FIFTH FLOOR PLAN
A116	ROOF PLAN
A210	EXTERIOR ELEVATIONS
A211	EXTERIOR ELEVATIONS
ASK-11	ENLARGED ELEVATION + EXT MATERIALS

CIVIL SHEET INDEX	
Sheet Number	Sheet Name
C102	PRELIM GRADING PLAN
C103	PRELIM UTILITY PLAN



SSA
RIM = 5
10" W5
10" N 5

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CONSTRUCTION

Revisions

Project Status

SCOPE DOCUMENTS

Drawing Date

Issue Date

DOWNTOWN RACINE
MULTIFAMILY

Enter address here

Project No. HOVDE PROPERTIES
Project Number 218102

Sheet Title

PRELIM UTILITY
PLAN

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125 South Clark Street, Suite 675-2, Chicago, Illinois 60603
Telephone 312.789.4516

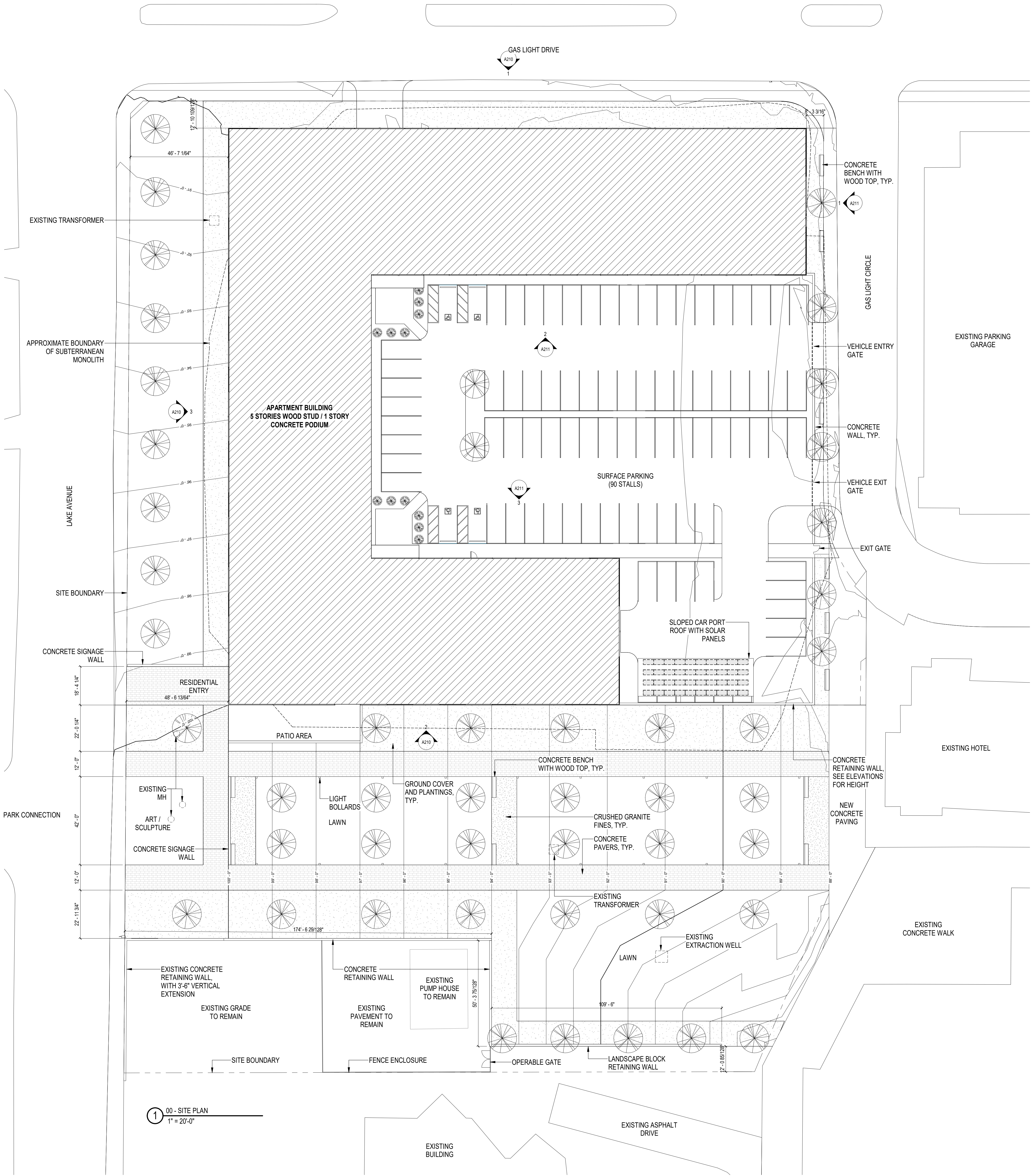
Sheet No.

C103

ZONING ANALYSIS SUMMARY

1.	PARCEL AREA	3.542 ACRES (154,289.52 SF)
2.	BUILDING FOOTPRINT % OF TOTAL LOT AREA	42,324 SF 27.4%
3.	TOTAL BUILDING AREA	238,460 SF
4.	FAR REQUIRED PROVIDED	8.0 1.95
5.	PERMEABLE AREA % OF TOTAL LOT AREA	55,085 SF 35.7%
6.	BUILDING HEIGHT	72' (FROM LOWEST GRADE)
7.	PARKING INTERIOR EXTERIOR	111 90

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Revisions

CONDITIONAL USE PERMIT
REVIEW

SCOPE DOCUMENTS

Drawing Date

11/03/21

BREAKWATER 233
APARTMENTS

233 LAKE AVENUE
RACINE, WI 53403

Project No. HOVDE PROPERTIES
218102 218102

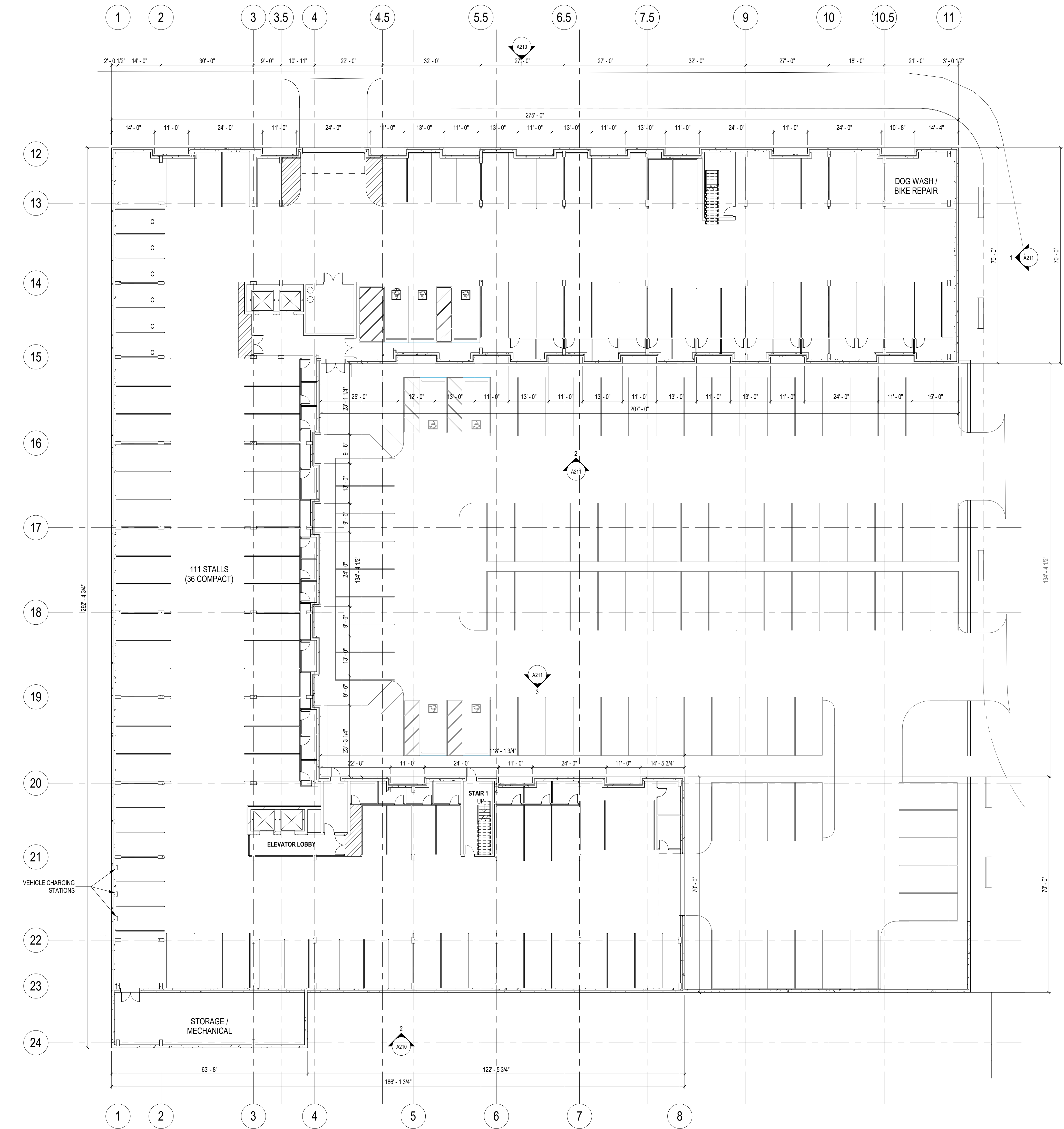
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ARCHITECTURAL SITE
PLAN

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Sheet No.

A100



1 00 - LOWER LEVEL
1/16" = 1'-0"

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CONDITIONAL USE PERMIT
REVIEW

SCOPE DOCUMENTS

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11/03/21

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LOWER LEVEL PLAN

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Sheet No.

A110

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REVIEW

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11/03/21

BREAKWATER 233
APARTMENTS

233 LAKE AVENUE
RACINE, WI 53403

Project No. HOVDE PROPERTIES
218102 218102

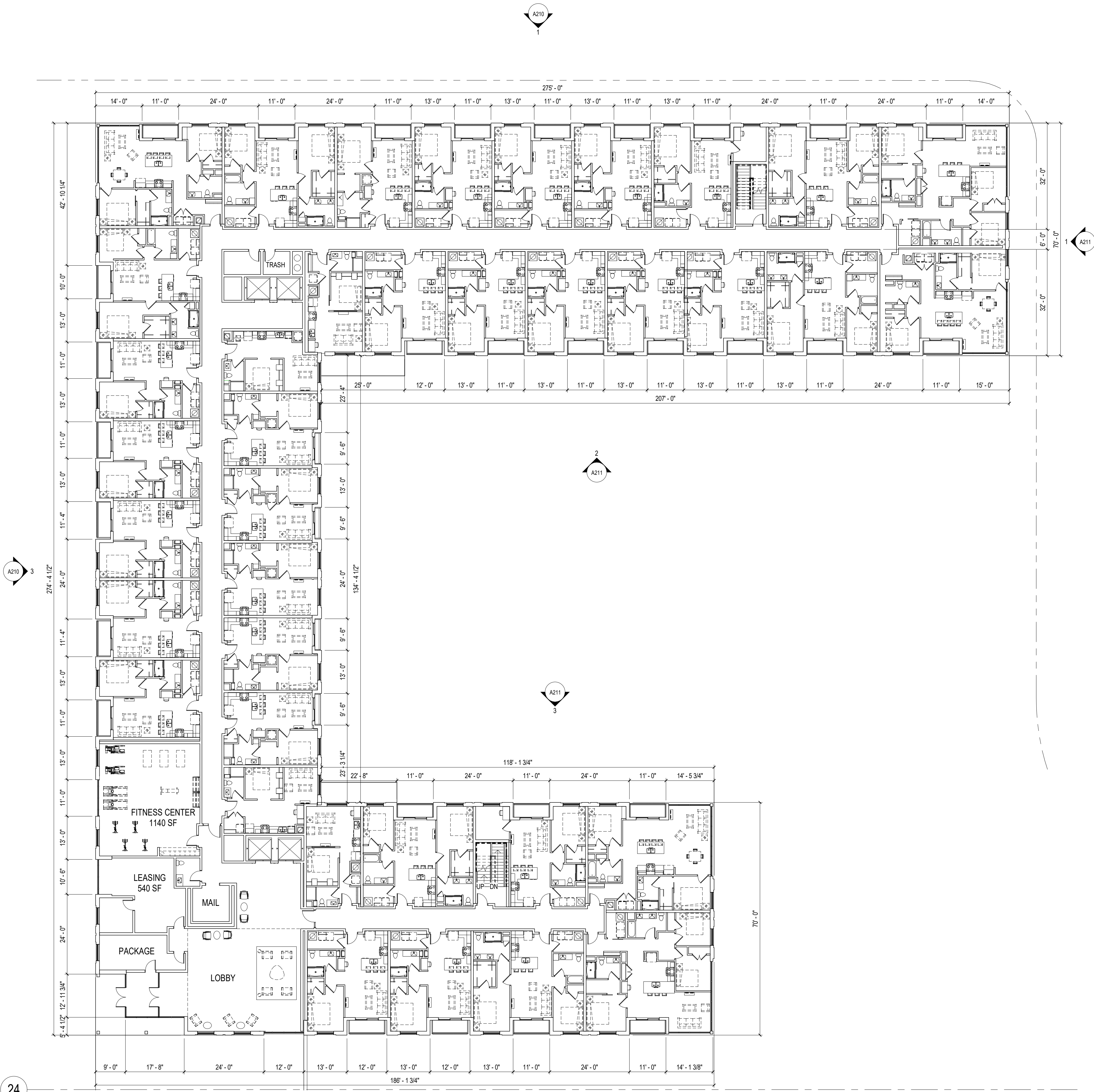
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FIRST FLOOR PLAN

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Telephone 312.789.4516

Sheet No.

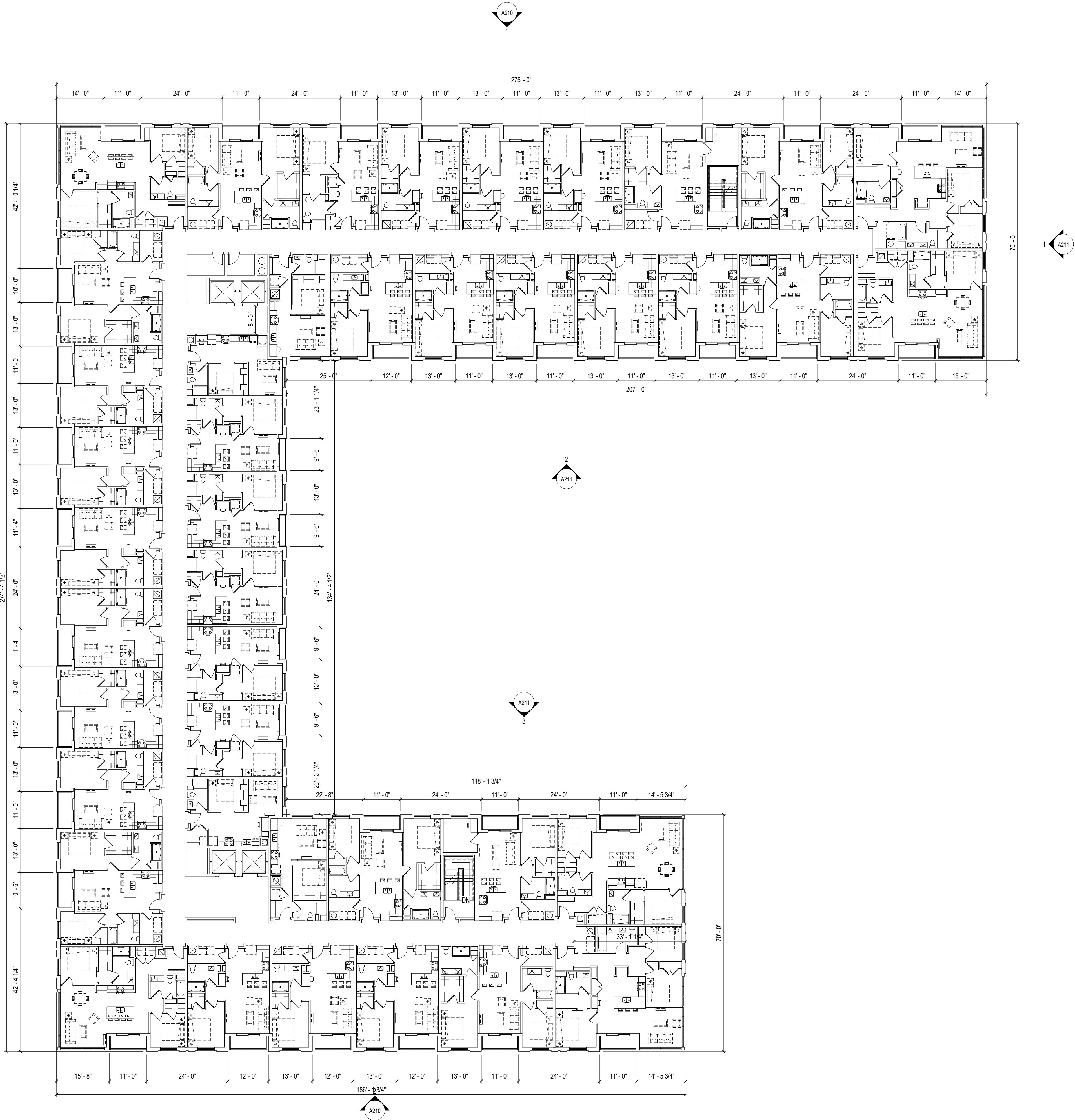
A111



24

01 - 1ST FLOOR - UNITS
1/16" = 1'-0"

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CONSTRUCTION



1 02 - 2ND FLOOR - UNITS
1/16" = 1'-0"

Revisions

CONDITIONAL USE PERMIT
REVIEW

SCOPE DOCUMENTS

Drawing Date

11/03/21

BREAKWATER 233
APARTMENTS

233 LAKE AVENUE
RACINE, WI 53403

Project No. HOVDE PROPERTIES
218102 218102

Sheet Title

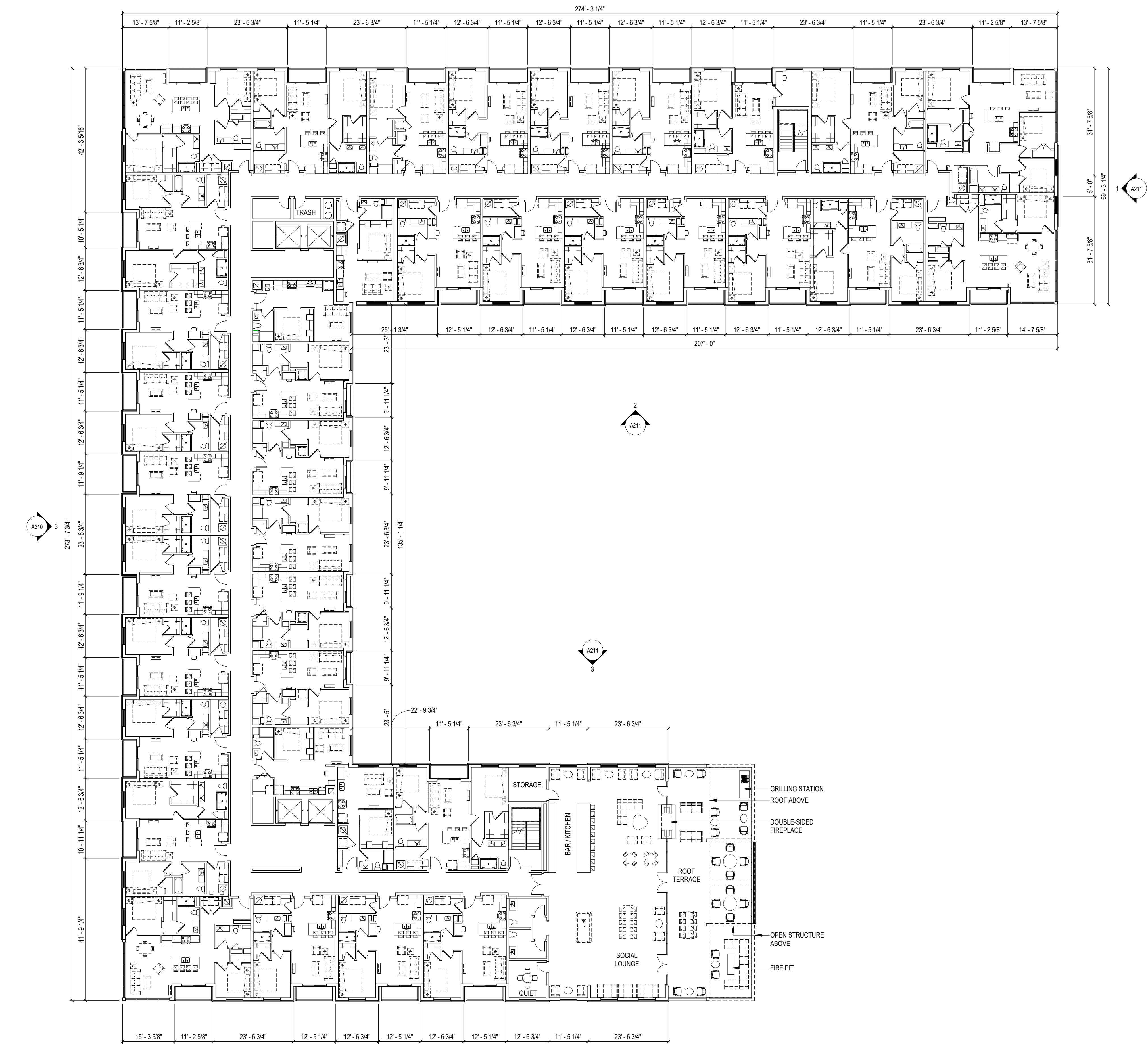
SECOND FLOOR PLAN

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Sheet No.

A112

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CONSTRUCTION



1 05 - 5TH FLOOR - UNITS
1/16" = 1'-0"

Revisions

CONDITIONAL USE PERMIT
REVIEW

SCOPE DOCUMENTS

Drawing Date

11/03/21

BREAKWATER 233
APARTMENTS

233 LAKE AVENUE
RACINE, WI 53403

Project No. HOVDE PROPERTIES
218102 218102

Sheet Title

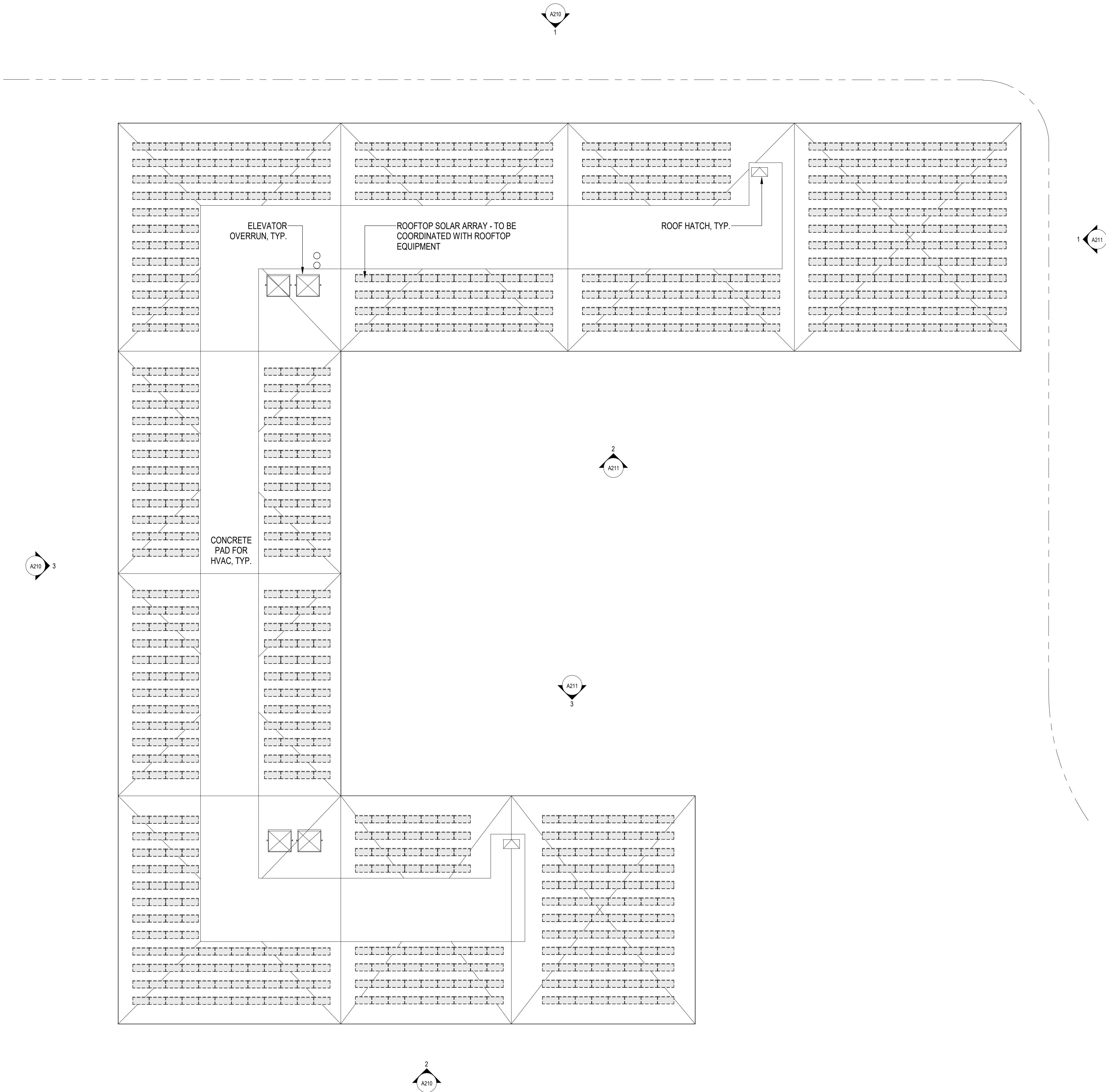
FIFTH FLOOR PLAN

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Sheet No.

A115

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1 06 - ROOF PLAN
1/16" = 1'-0"

Revisions

CONDITIONAL USE PERMIT
REVIEW

SCOPE DOCUMENTS

Drawing Date
11/03/21

BREAKWATER 233
APARTMENTS

233 LAKE AVENUE
RACINE, WI 53403

Project No. HOVDE PROPERTIES
218102 218102

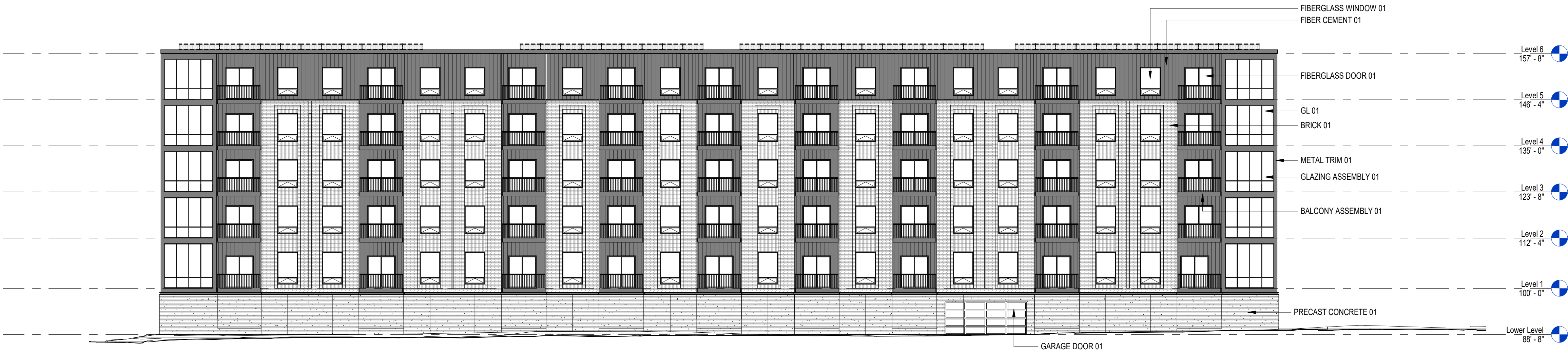
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ROOF PLAN

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Sheet No.
A116

NOT FOR
CONSTRUCTION

KEYNOTES - ASSEMBLIES & COMPONENTS	
BALCONY ASSEMBLY 01	WOOD FRAMED, METAL CLAD BALCONY, PREFABRICATED PAINTED STEEL GUARDRAIL, 42", BALCONY MOUNTED
BRICK 01	UTILITY BRICK, COUNTY MATERIALS HERITAGE COLLECTION DESIGNER CONCRETE BRICK
FIBER CEMENT 01	VERTICAL FIBER CEMENT PANEL, HIDDEN FASTENERS
FIBERGLASS DOOR 01	SLIDING DOOR, PELLA IMPERVIA SERIES, BLACK FRAME
FIBERGLASS WINDOW 01	PELLA IMPERVIA SERIES, BLACK FRAM
GARAGE DOOR 01	SECTIONAL ALUMINUM GARAGE DOOR, GLASS PANEL INFILL
GL 01	GLAZING - VISION GLASS, 1" INSULATED GLAZING UNIT
GLAZING ASSEMBLY 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS
GUARDRAIL 01	PREFABRICATED ALUMINUM GUARDRAIL WITH GLASS INFILL, 42"
METAL TRIM 01	ALUMINUM TRIM METAL, BLACK POWDER COAT
PRECAST CONCRETE 01	ARCHITECTURAL PRECAST CONCRETE, TEXTURED FINISH



1 ELEVATION - NORTH
1/16" = 1'-0"



3 ELEVATION - WEST
1/16" = 1'-0"



2 ELEVATION - SOUTH
1/16" = 1'-0"

Revisions

CONDITIONAL USE PERMIT
REVIEW

SCOPE DOCUMENTS

Drawing Date

11/03/21

BREAKWATER 233
APARTMENTS

233 LAKE AVENUE
RACINE, WI 53403

Project No. HOVDE PROPERTIES
218102 218102

Sheet Title

EXTERIOR ELEVATIONS

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Sheet No.

A210

NOT FOR
CONSTRUCTION

KEYNOTES - ASSEMBLIES & COMPONENTS	
BALCONY ASSEMBLY 01	WOOD FRAMED, METAL CLAD BALCONY, PREFABRICATED PAINTED STEEL GUARDRAIL, 42" BALCONY MOUNTED
BRICK 01	UTILITY BRICK, COUNTY MATERIALS HERITAGE COLLECTION DESIGNER CONCRETE BRICK
FIBER CEMENT 01	VERTICAL FIBER CEMENT PANEL, HIDDEN FASTENERS
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PRECAST CONCRETE 01	ARCHITECTURAL PRECAST CONCRETE, TEXTURED FINISH



1 ELEVATION - EAST
1/16" = 1'-0"



3 ELEVATION - COURTYARD SOUTH
1/16" = 1'-0"



2 ELEVATION - COURTYARD NORTH
1/16" = 1'-0"

Revisions

CONDITIONAL USE PERMIT
REVIEW

SCOPE DOCUMENTS

Drawing Date

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BREAKWATER 233
APARTMENTS

233 LAKE AVENUE
RACINE, WI 53403

Project No. HOVDE PROPERTIES
218102 218102

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EXTERIOR ELEVATIONS


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Sheet No.


A211

KEYNOTES - ASSEMBLIES & COMPONENTS	
BRICK 01	UTILITY BRICK, COUNTY MATERIALS HERITAGE COLLECTION DESIGNER CONCRETE BRICK
FIBER CEMENT 01	VERTICAL FIBER CEMENT PANEL, HIDDEN FASTENERS
GL 01	GLAZING - VISION GLASS, 1" INSULATED GLAZING UNIT
METAL TRIM 01	ALUMINUM TRIM METAL, BLACK POWDER COAT
PRECAST CONCRETE 01	ARCHITECTURAL PRECAST CONCRETE, TEXTURED FINISH

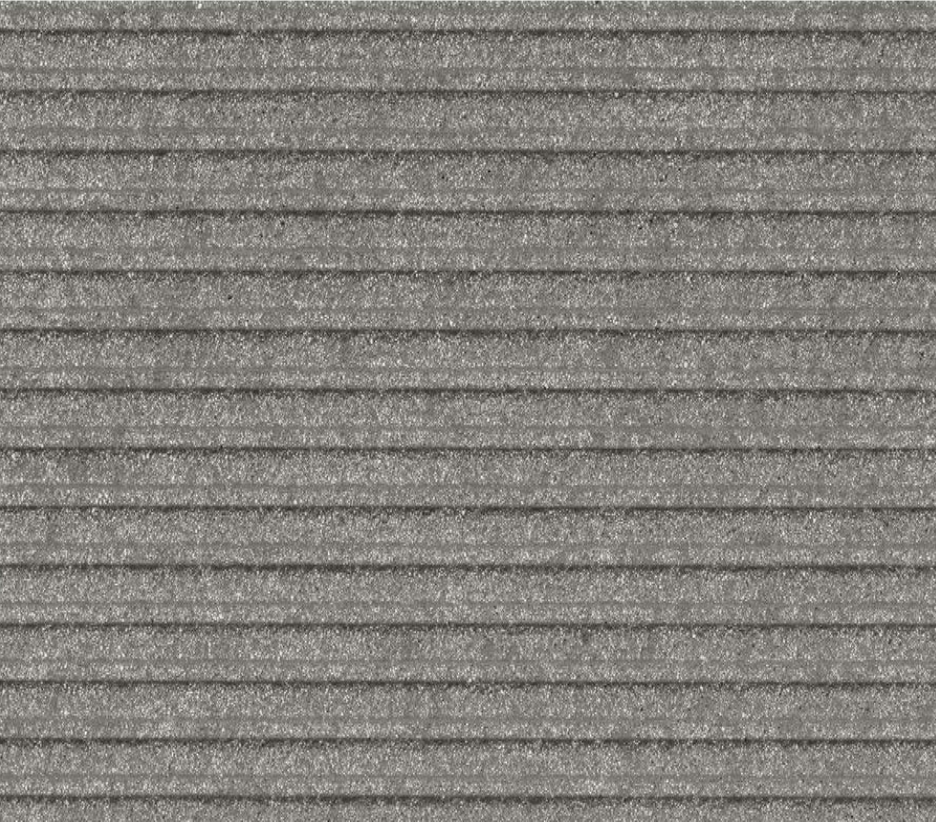
MATERIAL BOARD



FIBER CEMENT 01



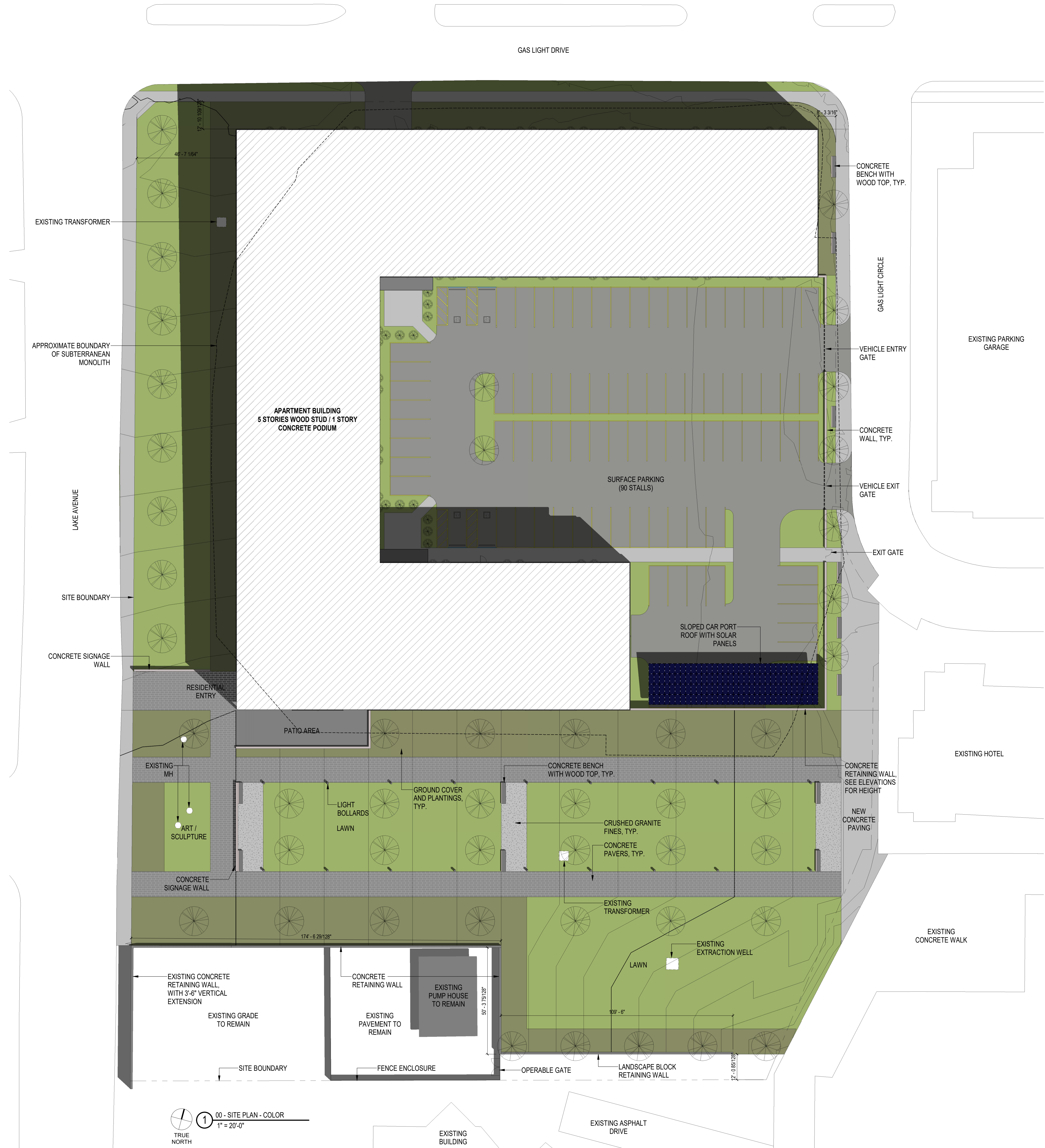
BRICK 01



PRECAST CONCRETE 01



ENLARGED ELEVATION + EXT MATERIALS



KEYNOTES - ASSEMBLIES & COMPONENTS	
BALCONY ASSEMBLY 01	WOOD FRAMED, METAL CLAD BALCONY, PREFABRICATED PAINTED STEEL GUARDRAIL, 42", BALCONY MOUNTED
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PRECAST CONCRETE 01	ARCHITECTURAL PRECAST CONCRETE, TEXTURED FINISH



5 ELEVATION - COURTYARD NORTH - COLOR
1/16" = 1'-0"



3 ELEVATION - NORTH - COLOR
1/16" = 1'-0"



6 ELEVATION - COURTYARD SOUTH - COLOR
1/16" = 1'-0"



2 ELEVATION - WEST - COLOR
1/16" = 1'-0"



4 ELEVATION - EAST - COLOR
1/16" = 1'-0"



1 ELEVATION - SOUTH - COLOR
1/16" = 1'-0"

EXTERIOR ELEVATIONS - COLOR

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Kahler Slater

**HOVDE PROPERTIES
BREAKWATER 233 APARTMENTS**

ASK-12 | 11/10/21



RENDERING - LAKE AVENUE LOOKING NE



RENDERING - LAKE AVENUE LOOKING SE



RENDERING - LAKE WALK LOOKING NW